

TMI

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SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING

PROGRAM MANAGEMENT

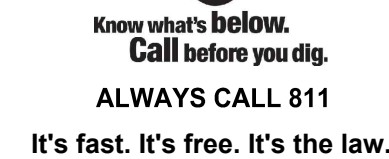
LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MAA220228.
DRAWN BY: JWT/CJ
CHECKED BY: NPD/RN
DATE: 01/25/20
CAD I.D.: MAA220228.00-SPPD-

— FOR —

**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS**

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

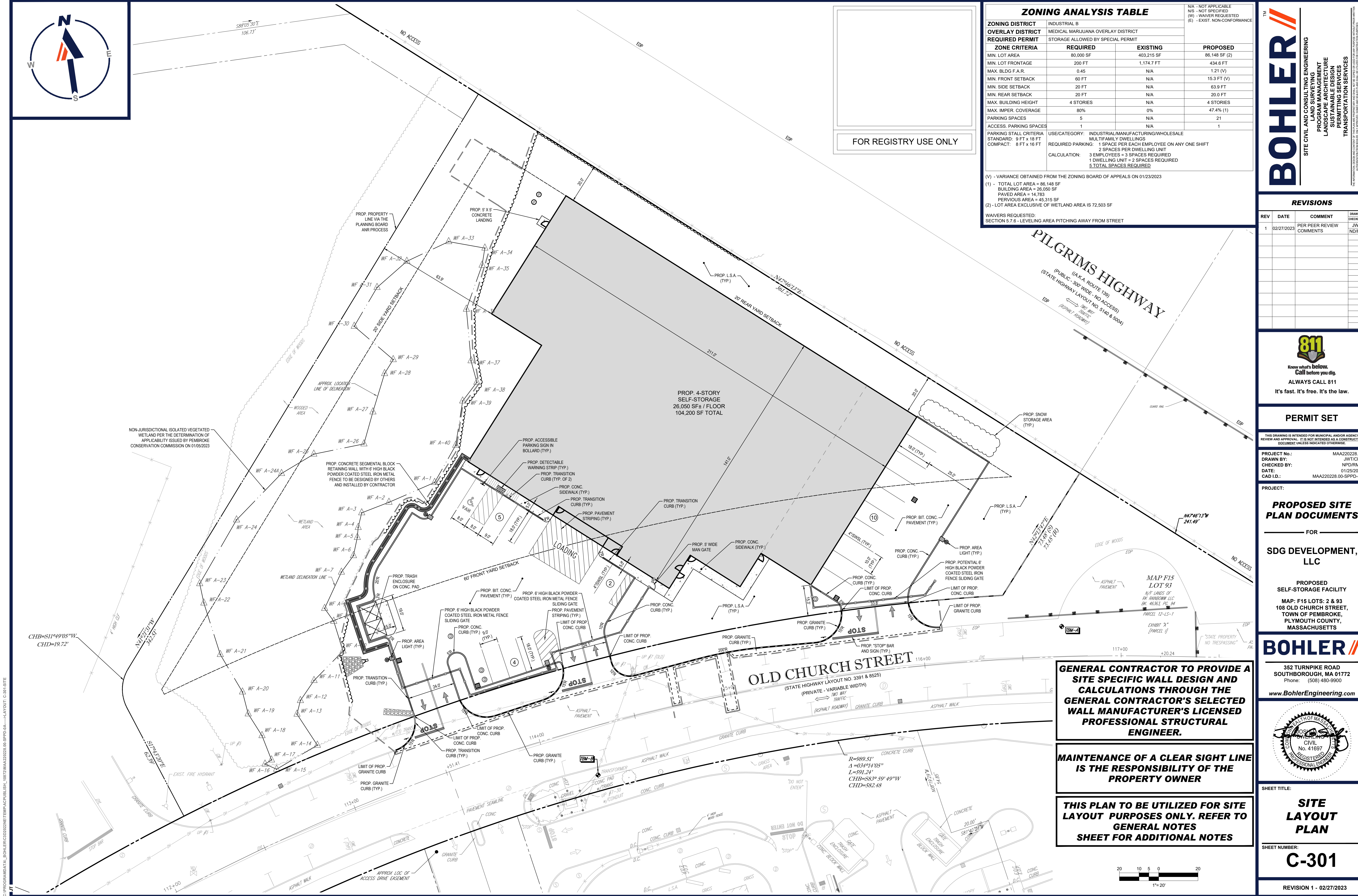
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SHEET NUMBER:

C-201

REVISION 1 - 02/27/2023



ZONING ANALYSIS TABLE			
ZONING DISTRICT	INDUSTRIAL B		
OVERLAY DISTRICT	MEDICAL MARIJUANA OVERLAY DISTRICT		
REQUIRED PERMIT	STORAGE ALLOWED BY SPECIAL PERMIT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	80,000 SF	403,215 SF	86,148 SF (2)
MIN. LOT FRONTAGE	200 FT	1,174.7 FT	434.6 FT
MAX. BLDG F.A.R.	0.45	N/A	1.21 (V)
MIN. FRONT SETBACK	60 FT	N/A	15.3 FT (V)
MIN. SIDE SETBACK	20 FT	N/A	63.9 FT
MIN. REAR SETBACK	20 FT	N/A	20.0 FT
MAX. BUILDING HEIGHT	4 STORIES	N/A	4 STORIES
MAX. IMPER. COVERAGE	80%	0%	47.4% (1)
PARKING SPACES	5	N/A	21
ACCESS. PARKING SPACES	1	N/A	1
PARKING STALL CRITERIA	USE/CATEGORY: INDUSTRIAL/MANUFACTURING/WHOLESALE		
STANDARD: 9 FT x 18 FT	MULTIFAMILY DWELLINGS		
COMPACT: 8 FT x 16 FT	REQUIRED PARKING: 1 SPACE PER EACH EMPLOYEE ON ANY ONE SHIFT		
	CALCULATION: 3 EMPLOYEES + 3 SPACES REQUIRED		
	1 DWELLING UNIT = 2 SPACES REQUIRED		
	5 TOTAL SPACES REQUIRED		

(V) - VARIANCE OBTAINED FROM THE ZONING BOARD OF APPEALS ON 01/23/2023
(1) - TOTAL LOT AREA = 86,148 SF
BUILDING AREA = 26,050 SF
PAVED AREA = 14,783
PERVIOUS AREA = 45,315 SF
(2) - LOT AREA EXCLUSIVE OF WETLAND AREA IS 72,503 SF

WAIVERS REQUESTED:
SECTION 5.7.6 - LEVELING AREA PITCHING AWAY FROM STREET

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SITE CIVIL AND CONSULTING ENGINEERING
PROFESSIONAL ENGINEERING
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	02/27/2023	PER PEER REVIEW COMMENTS	JWT	ND/RM

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PROJECT No.: MAA220228.00
DRAWN BY: JWC/CFD
CHECKED BY: NPD/RMM
DATE: 01/25/2023
CAD ID: MAA220228.00-SFPD-0A

PROJECT:
PROPOSED
SELF-STORAGE FACILITY
MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS

PROPOSED SITE PLAN DOCUMENTS

FOR

SDG DEVELOPMENT, LLC

PROPOSED
SELF-STORAGE FACILITY
MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS

GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

MAINTENANCE OF A CLEAR SIGHT LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES

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SHEET TITLE:
SITE LAYOUT PLAN

SHEET NUMBER:
C-301

REVISION 1 - 02/27/2023



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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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REVISIONS

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1	02/27/2023	PER PEER REVIEW COMMENTS	JWT



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PROJECT No.: MAA202228.00
DRAWN BY: JWC/CFD
DATE: 01/25/2023
CAD ID: MAA202228.00-SFPD-0A

PROPOSED SITE PLAN DOCUMENTS

FOR
SDG DEVELOPMENT, LLC

PROPOSED
SELF-STORAGE FACILITY
MAP: F15 LOTS: 2 & 93
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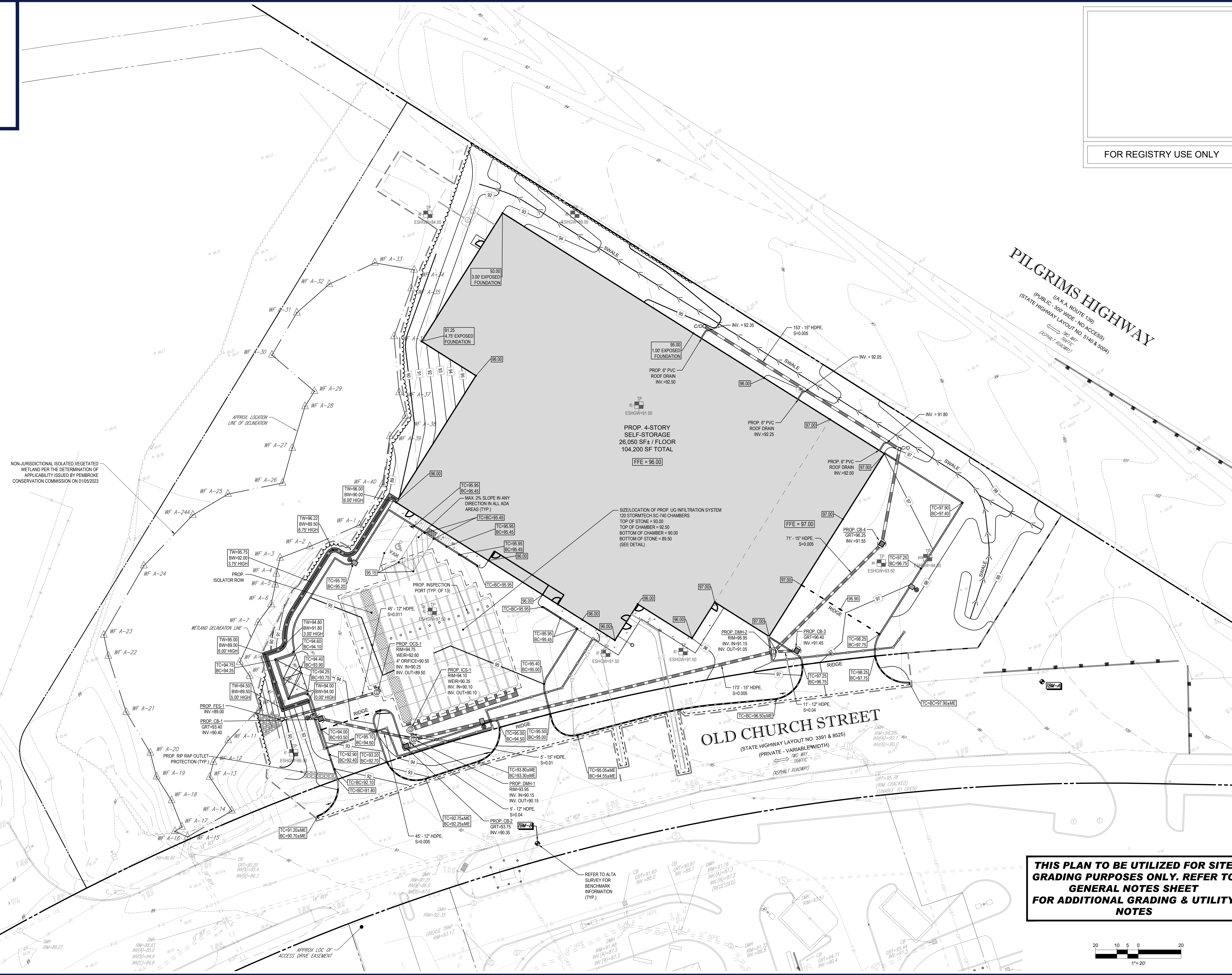
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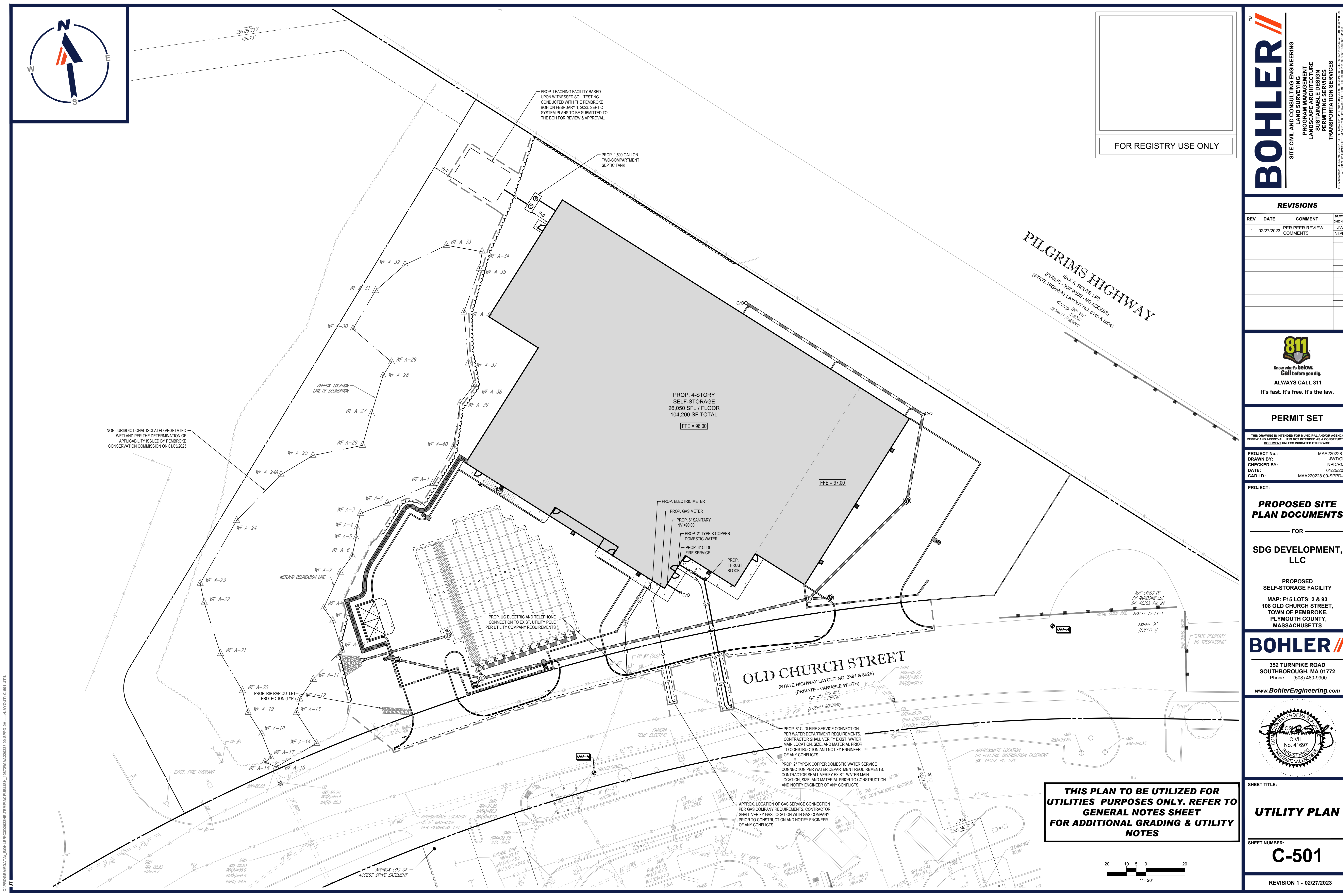
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-401

REVISION 1 - 02/27/2023



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THE

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LAND SURVEYING

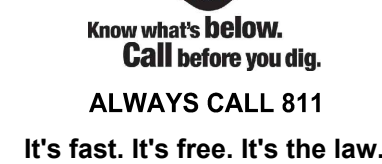
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PROJECT No.:	MAA220228.
DRAWN BY:	JWT/CJ
CHECKED BY:	NPD/RR
DATE:	01/25/2020
CAD I.D.:	MAA220228.00-SPPD

FOR

**SDG DEVELOPMENT,
LLC**

**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
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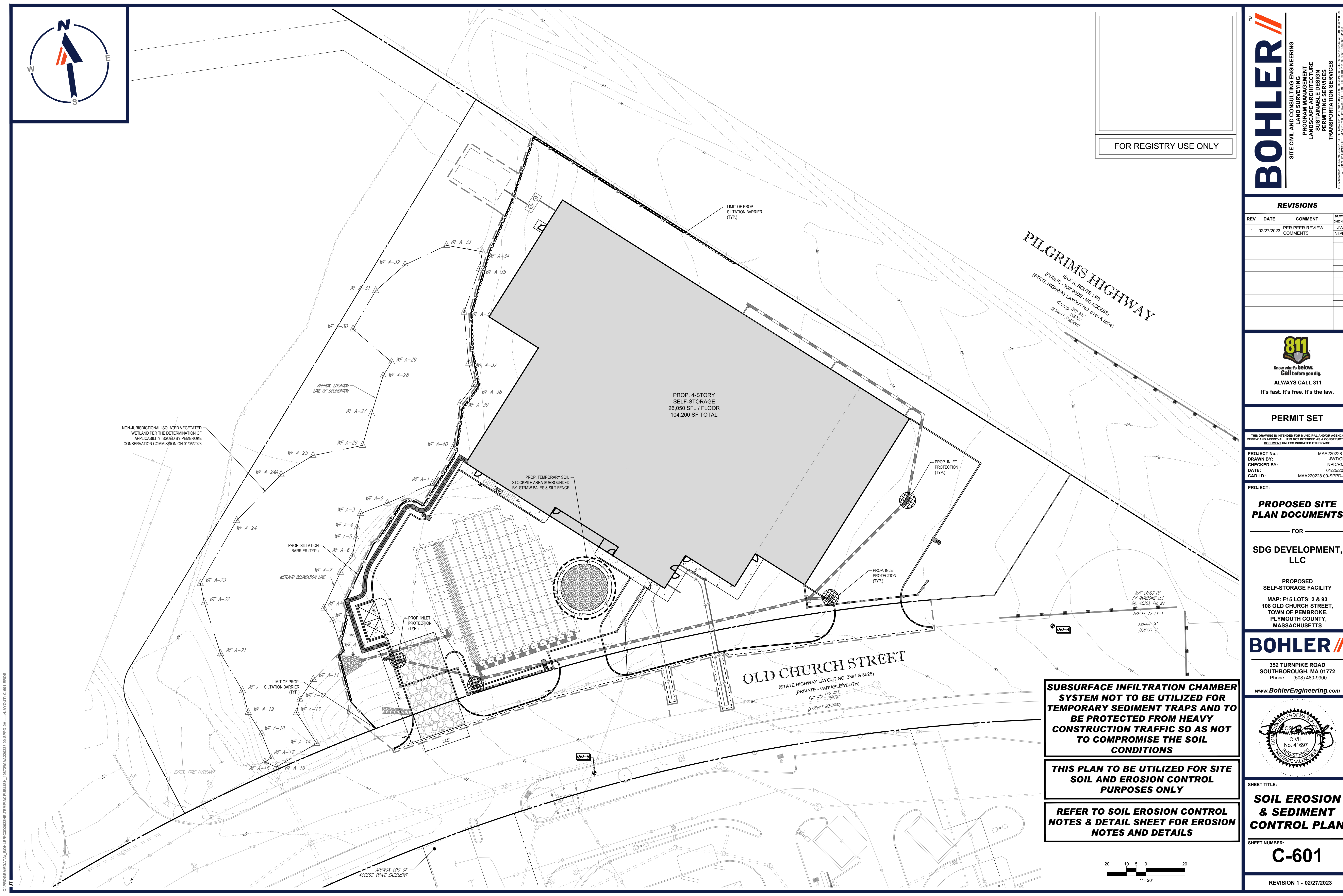


SHEET TITLE:

SHEET NUMBER:

C-501

REVISION 1 - 02/27/2023



C:\PROGRAMS\DATA\BOHLER\CADD\TEMP\MAA220228-00-SPPD.dwg - LAYOUT: C-601.ERCOS

The drawing is a detailed engineering plan for a proposed self-storage facility. It features a large central building footprint labeled "PROP. 4-STORY SELF-STORAGE 26,050 SF ± / FLOOR 104,200 SF TOTAL". To the left of the main building is a circular area labeled "PROP. TEMPORARY SOIL STOCKPILE AREA SURROUNDED BY STRAW BALES & SILT FENCE". The plan shows numerous wetland delineation points (WF A-1 to WF A-40) and lines. Key roads include "PILGRIMS HIGHWAY ((A.K.A. ROUTE 139)) (PUBLIC - 300' WIDE - NO ACCESS) (STATE HIGHWAY LAYOUT NO. 5140 & 5004)", "OLD CHURCH STREET (STATE HIGHWAY LAYOUT NO. 3391 & 8525) (PRIVATE - VARIABLE WIDTH) TWO WAY TRAFFIC (ASPHALT ROADWAY)", and "N/F LANDS OF RK RAINBOW LLC BK. 46363, PLS. 94 PARCEL 12-15-1 EXHIBIT 'A' (PARCEL 'J')". Other features include "LIMIT OF PROP. SILTATION BARRIER (TYP.)", "WETLAND DELINEATION LINE", "APPROX LOC. OF ACCESS DRIVE EASEMENT", "EXIST. FIRE HYDRANT", and several "PROP. INLET PROTECTION (TYP.)" structures. A north arrow is located in the upper left corner.

FOR REGISTRY USE ONLY

PILGRIMS HIGHWAY
((A.K.A. ROUTE 139))
(PUBLIC - 300' WIDE - NO ACCESS)
(STATE HIGHWAY LAYOUT NO. 5140 & 5004)

OLD CHURCH STREET
(STATE HIGHWAY LAYOUT NO. 3391 & 8525)
(PRIVATE - VARIABLE WIDTH)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)

N/F LANDS OF RK RAINBOW LLC
BK. 46363, PLS. 94
PARCEL 12-15-1
EXHIBIT 'A'
(PARCEL 'J')

PROP. 4-STORY SELF-STORAGE
26,050 SF ± / FLOOR
104,200 SF TOTAL

PROP. TEMPORARY SOIL STOCKPILE AREA SURROUNDED BY STRAW BALES & SILT FENCE

WETLAND DELINEATION LINE

LIMIT OF PROP. SILTATION BARRIER (TYP.)

EXIST. FIRE HYDRANT

APPROX LOC. OF ACCESS DRIVE EASEMENT

PROP. INLET PROTECTION (TYP.)

WF A-1 through WF A-40

SUBSURFACE INFILTRATION CHAMBER SYSTEM NOT TO BE UTILIZED FOR TEMPORARY SEDIMENT TRAPS AND TO BE PROTECTED FROM HEAVY CONSTRUCTION TRAFFIC SO AS NOT TO COMPROMISE THE SOIL CONDITIONS

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

SDG DEVELOPMENT, LLC

PROPOSED SELF-STORAGE FACILITY

MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
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Phone: (508) 480-9900
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SOIL EROSION & SEDIMENT CONTROL PLAN

C-601

REVISION 1 - 02/27/2023

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	02/27/2023	PER PEER REVIEW COMMENTS	JVN

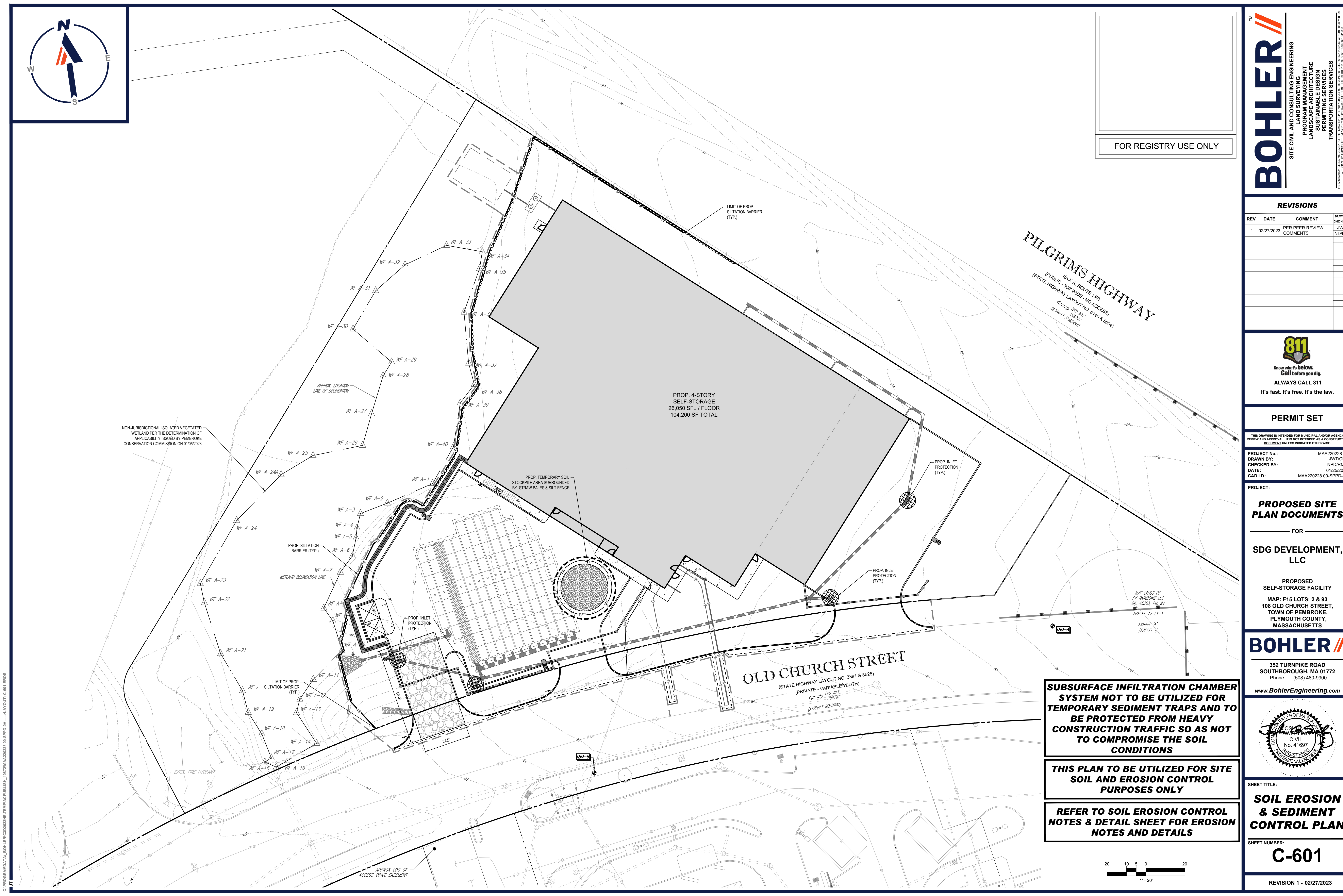
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PROJECT No.: MAA220228
DRAWN BY: JVT/CJ
CHECKED BY: NPD/RJA
DATE: 01/25/2023
CAD I.D.: MAA220228-00-SPPD-

PROJECT:

[illegible][illegible][illegible][illegible][illegible]

C:\PROGRAMDATA\BOHLER\CADD\TEMP\LAYOUT.CAD - LAYOUT C-601.ECRS

The main site plan shows a large rectangular area designated as "PROP. 4-STORY SELF-STORAGE 26,050 SF± / FLOOR 104,200 SF TOTAL". To the west of this area are numerous numbered wetland features labeled "WF A-1" through "WF A-40". A dashed line indicates the "WETLAND DELINEATION LINE". Several circular areas represent "SUBSURFACE INFILTRATION CHAMBERS", each surrounded by "PROP. INLET PROTECTION (TYP.)". One chamber is also noted as being "PROTECTED FROM HEAVY CONSTRUCTION TRAFFIC SO AS NOT TO COMPROMISE THE SOIL CONDITIONS". Other features include a "LIMIT OF PROP. SILTATION BARRIER (TYP.)", "APPROX LOC OF ACCESS DRIVE EASEMENT", and "EXIST FIRE HYDRANT". The plan is bordered by "PILGRIMS HIGHWAY ((A.K.A. ROUTE 139)) (PUBLIC - 300' WIDE - NO ACCESS) (STATE HIGHWAY LAYOUT NO. 5140 & 5004)" to the northeast and "OLD CHURCH STREET (STATE HIGHWAY LAYOUT NO. 3391 & 8525) (PRIVATE - VARIABLE WIDTH) TWO WAY STOPPED (ASPHALT ROADWAY)" to the south.

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PROJECT No.: MAA220228
DRAWN BY: JVT/CJ
CHECKED BY: NPD/RK
DATE: 01/25/2023
CAD I.D.: MAA220228.00-SPPD-

PROPOSED SITE PLAN DOCUMENTS

FOR

SDG DEVELOPMENT, LLC

PROPOSED SELF-STORAGE FACILITY

MAP: F15 LOTS: 2 & 93
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PLYMOUTH COUNTY,
MASSACHUSETTS

BOHLER

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SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
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SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
C-601

REVISION 1 - 02/27/2023

SUBSURFACE INFILTRATION CHAMBER SYSTEM NOT TO BE UTILIZED FOR TEMPORARY SEDIMENT TRAPS AND TO BE PROTECTED FROM HEAVY CONSTRUCTION TRAFFIC SO AS NOT TO COMPROMISE THE SOIL CONDITIONS

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

[illegible][illegible][illegible][illegible][illegible][illegible]

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1	02/27/2023	PER PEER REVIEW COMMENTS	JVN

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PROPOSED SELF-STORAGE FACILITY

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NON-JURISDICTIONAL ISOLATED VEGETATED WETLAND PER THE DETERMINATION OF APPLICABILITY ISSUED BY PEMBROKE CONSERVATION COMMISSION ON 01/05/2023

APPROX LOCATION LINE OF DELINEATION

PROP SILTATION BARRIER (TYP.)

WETLAND DELINEATION LINE

LIMIT OF PROP SILTATION BARRIER (TYP.)

EXIST FIRE HYDRANT

APPROX LOC OF ACCESS DRIVE EASEMENT

LIMIT OF PROP SILTATION BARRIER (TYP.)

PROP 4-STORY SELF-STORAGE
26,050 SF ± / FLOOR
104,200 SF TOTAL

PROP TEMPORARY SOIL STOCKPILE AREA SURROUNDED BY STRAW BALES & SILT FENCE

PROP INLET PROTECTION (TYP.)

PROP INLET PROTECTION (TYP.)

OLD CHURCH STREET
(STATE HIGHWAY LAYOUT NO. 3391 & 8525)
(PRIVATE - VARIABLE WIDTH)

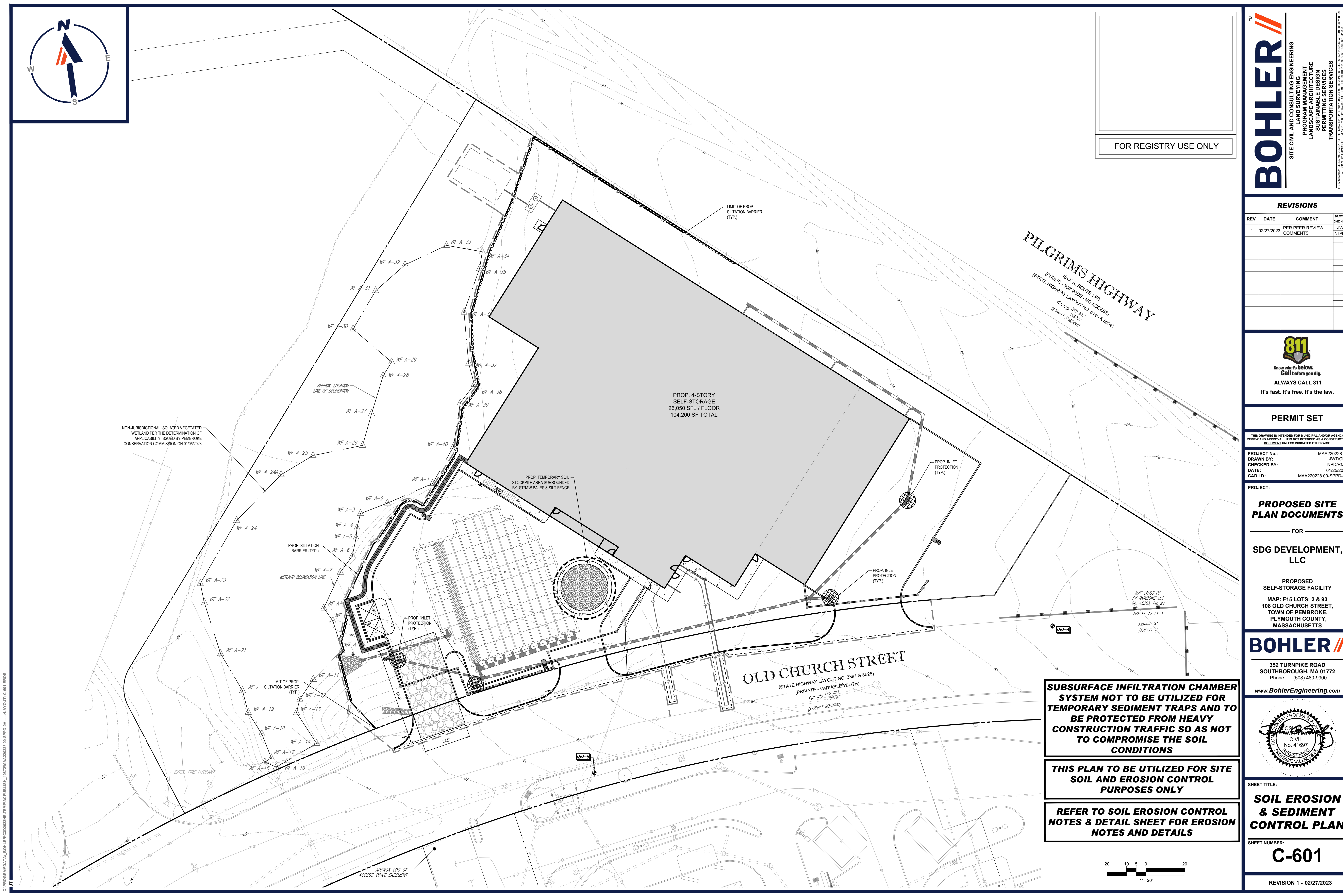
N/E LANDS OF RK RAINBOW LLC BK 46363, PG 94

PARCEL 12-15-1

EXHIBIT "A"

[PARCEL "I"]

TWO WAY STOPPED (ASPHALT ROADWAY)

[illegible][illegible][illegible][illegible][illegible][illegible][illegible]

- EROSION AND SEDIMENT CONTROL NOTES**
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
 - THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
 - SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
 - INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
 - ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS SLOPES ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
 - NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
 - IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
 - TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
 - DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
 - REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (188 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOG MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOG ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
 - ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
 - WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
 - ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
 - ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

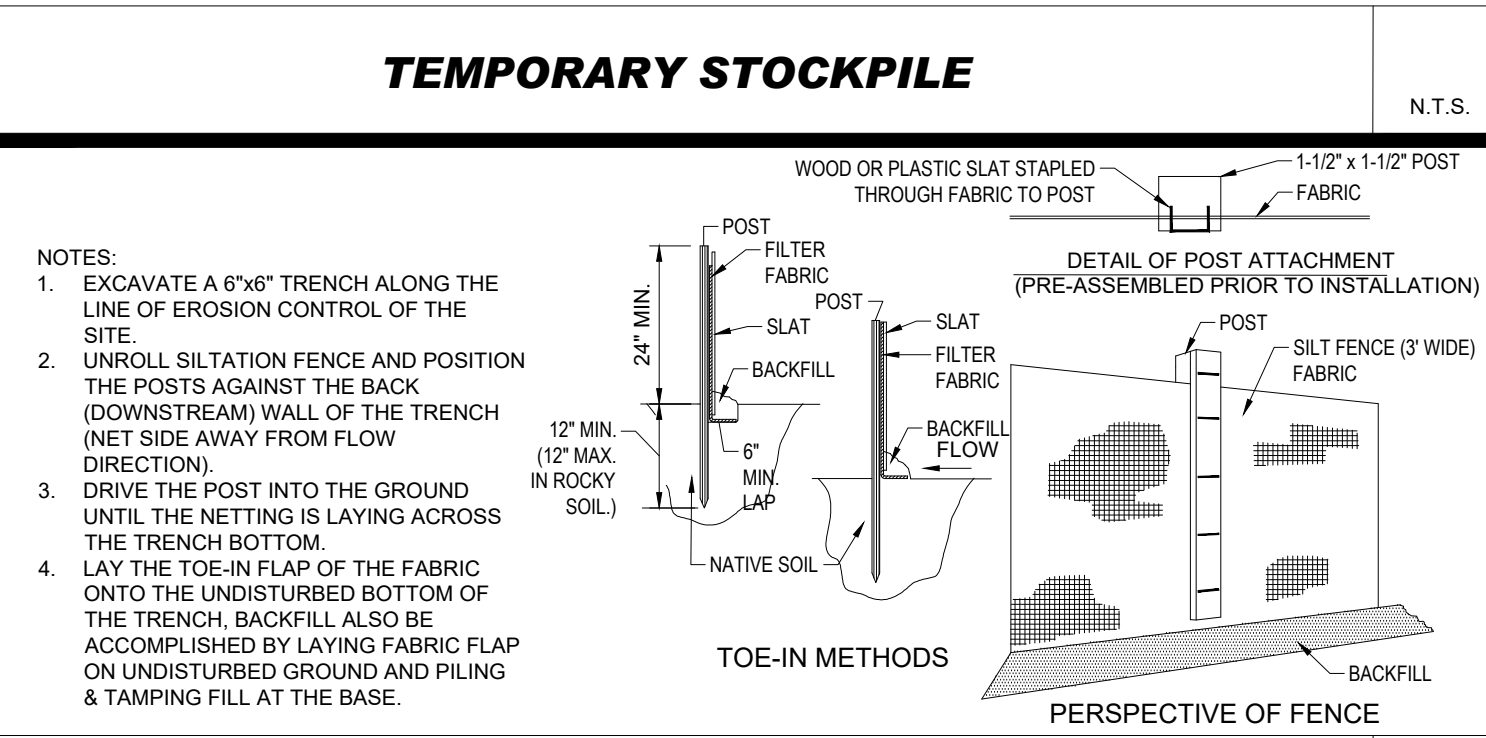
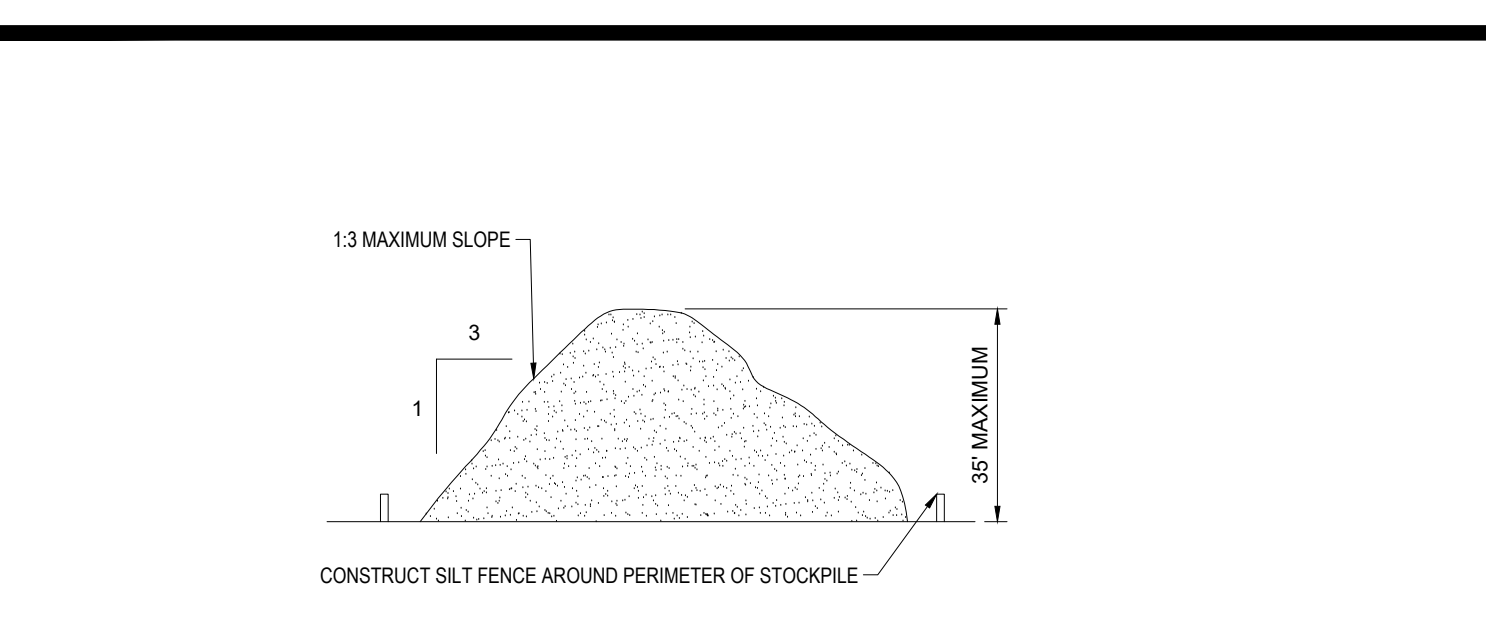
* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

- PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 OF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES. MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.

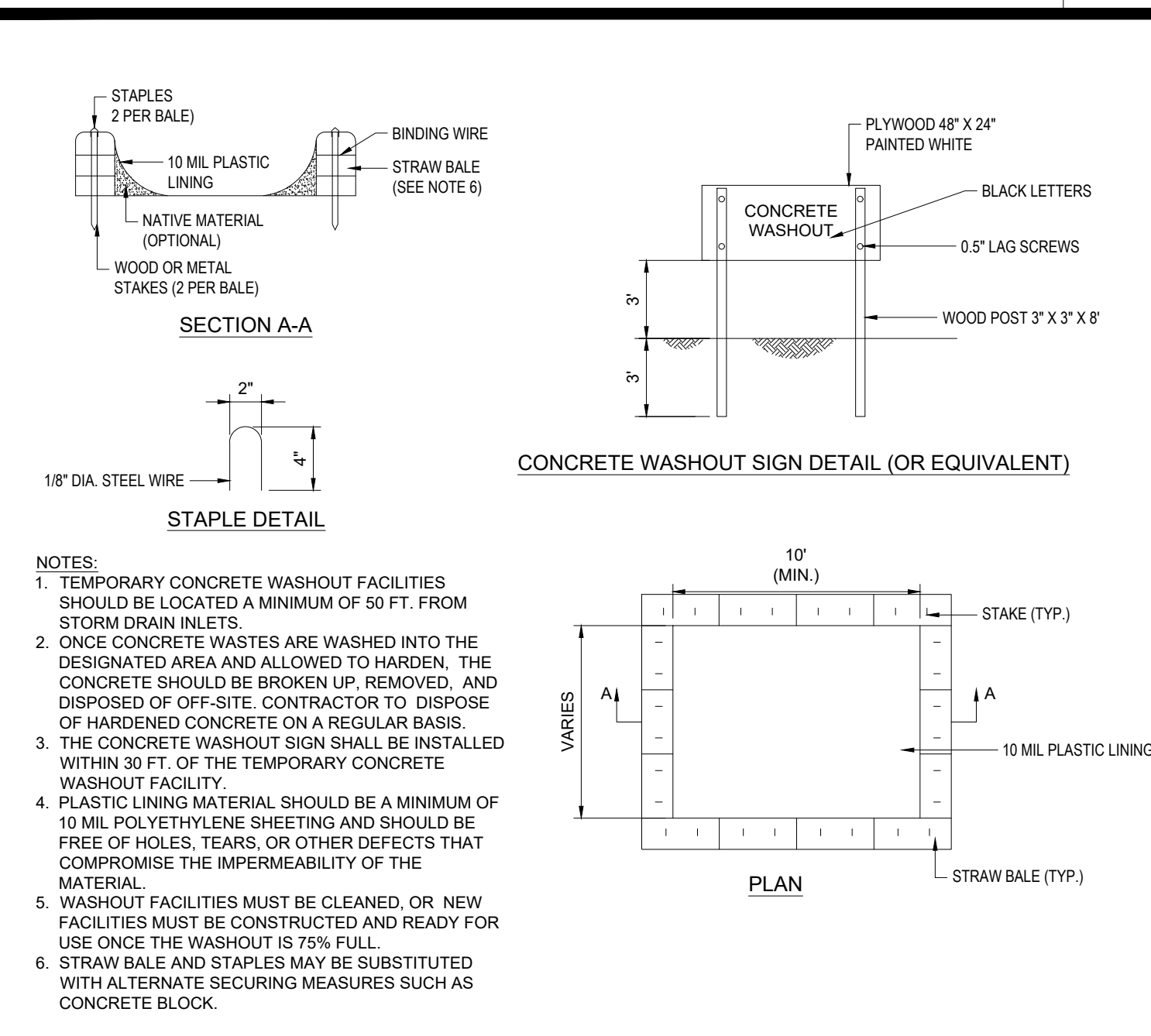
- EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.

- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES**
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
 - EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
 - THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX.XXX ACRES.
 - THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.
 - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
 - THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" OR HALF THE OF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
 - THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
 - THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
 - THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
 - THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
 - THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES. MEASURES AND STRUCTURES ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
 - THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
 - THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
 - SILT EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
 - THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



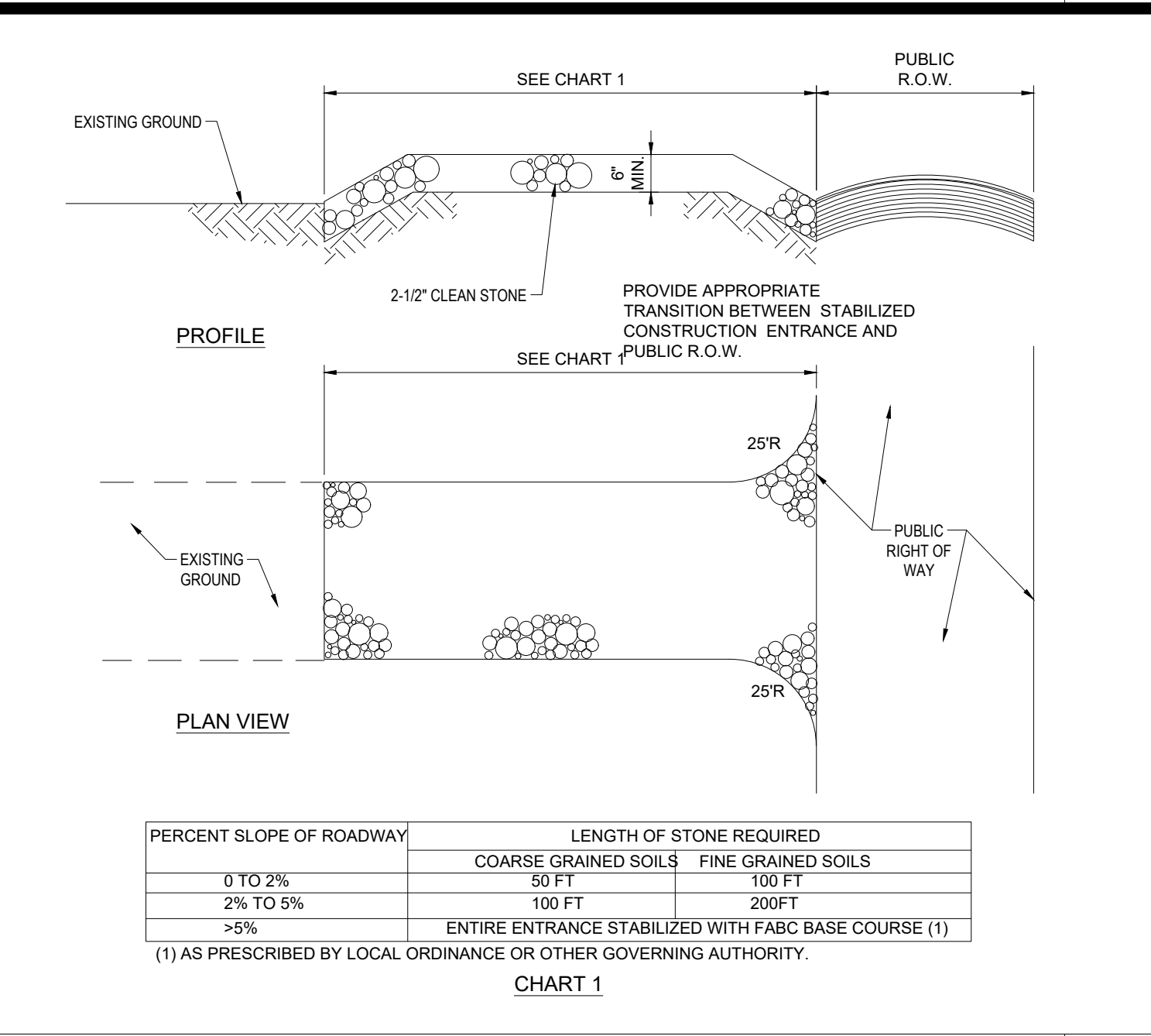
TYP. SILTATION FENCE



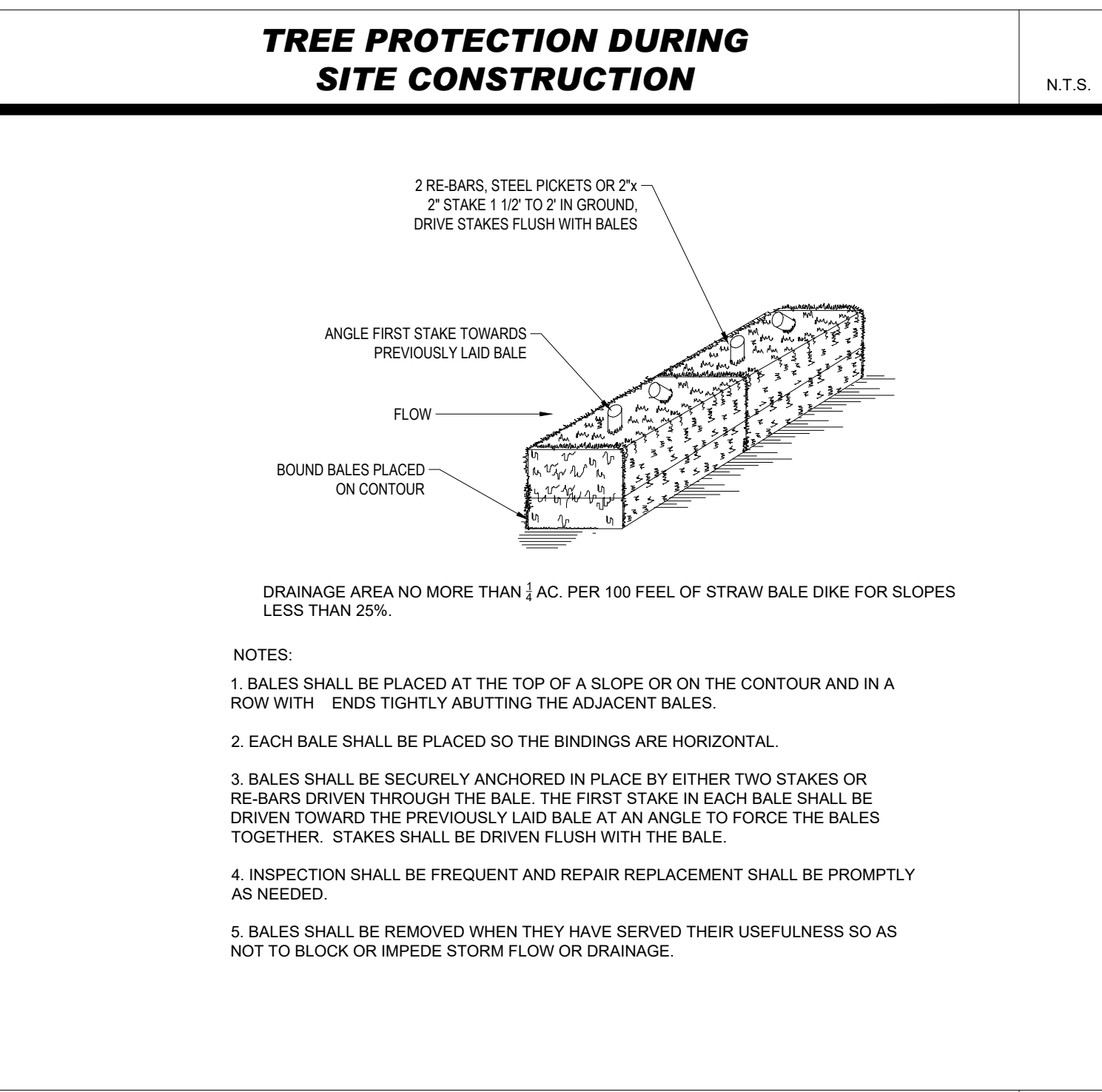
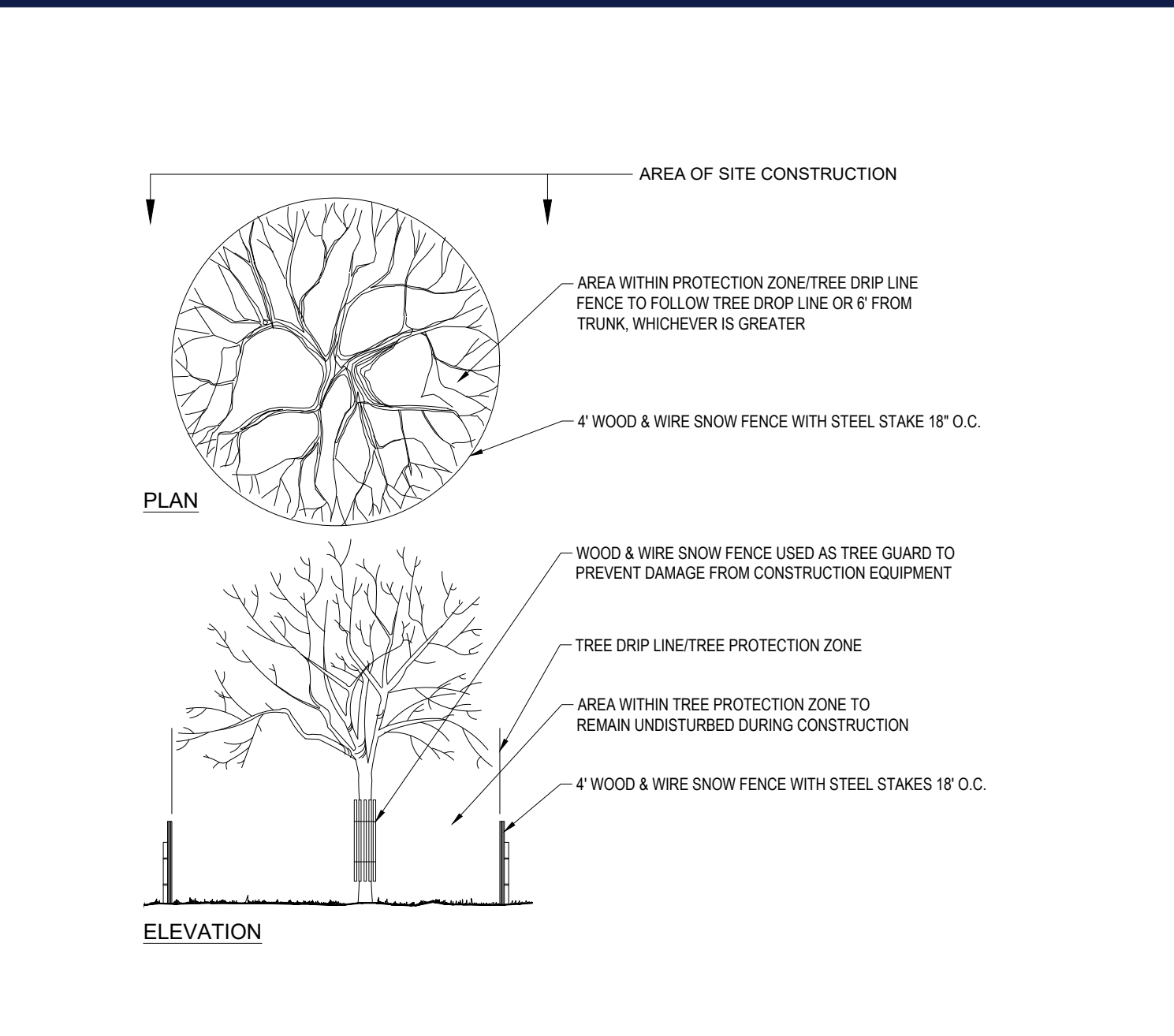
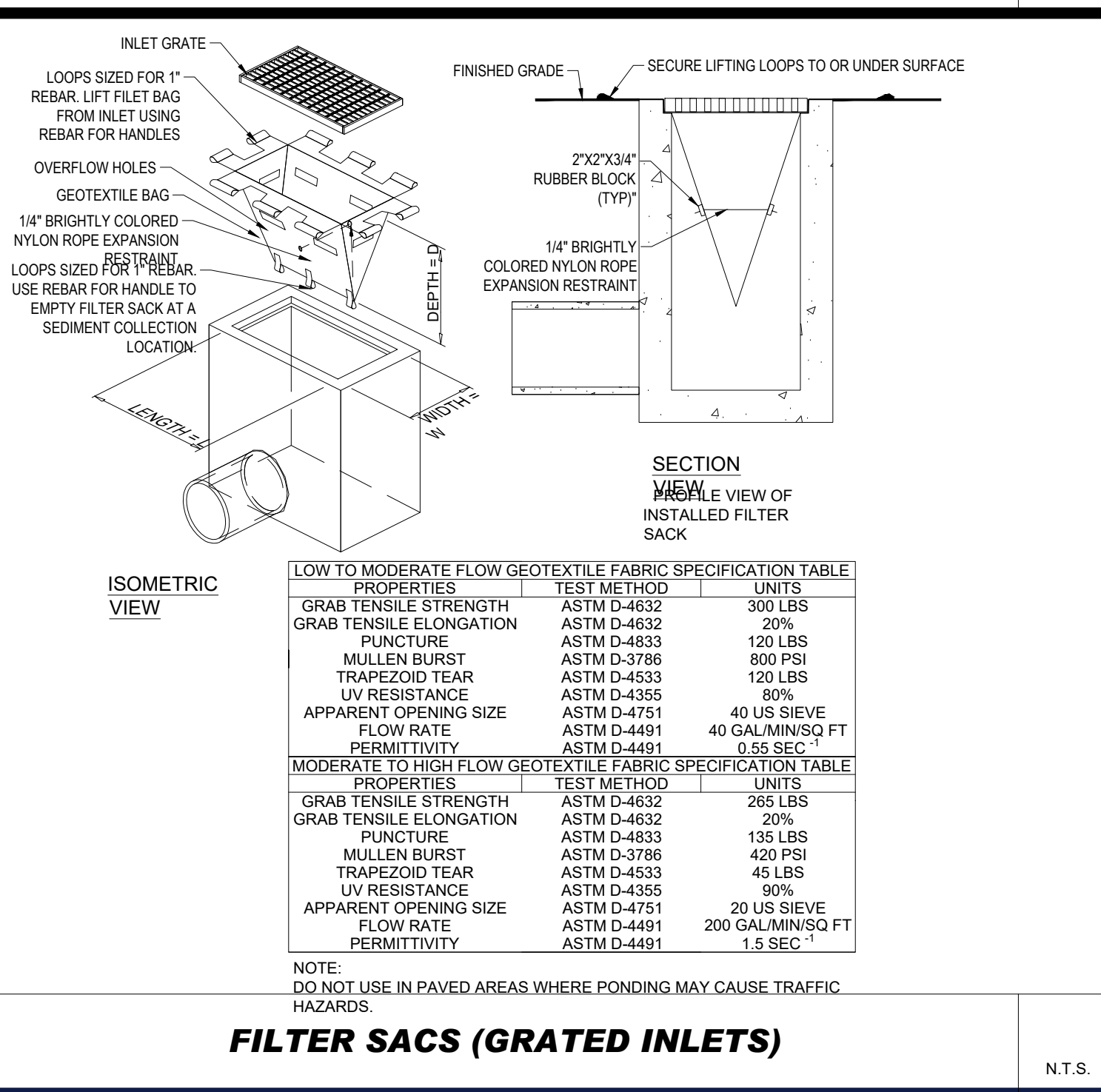
CONCRETE WASTE MANAGEMENT AREA

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
 - CLEARING AND GRUBBING
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDING
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - REMOVAL OF THE TEMPORARY SEDIMENT BASINS
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

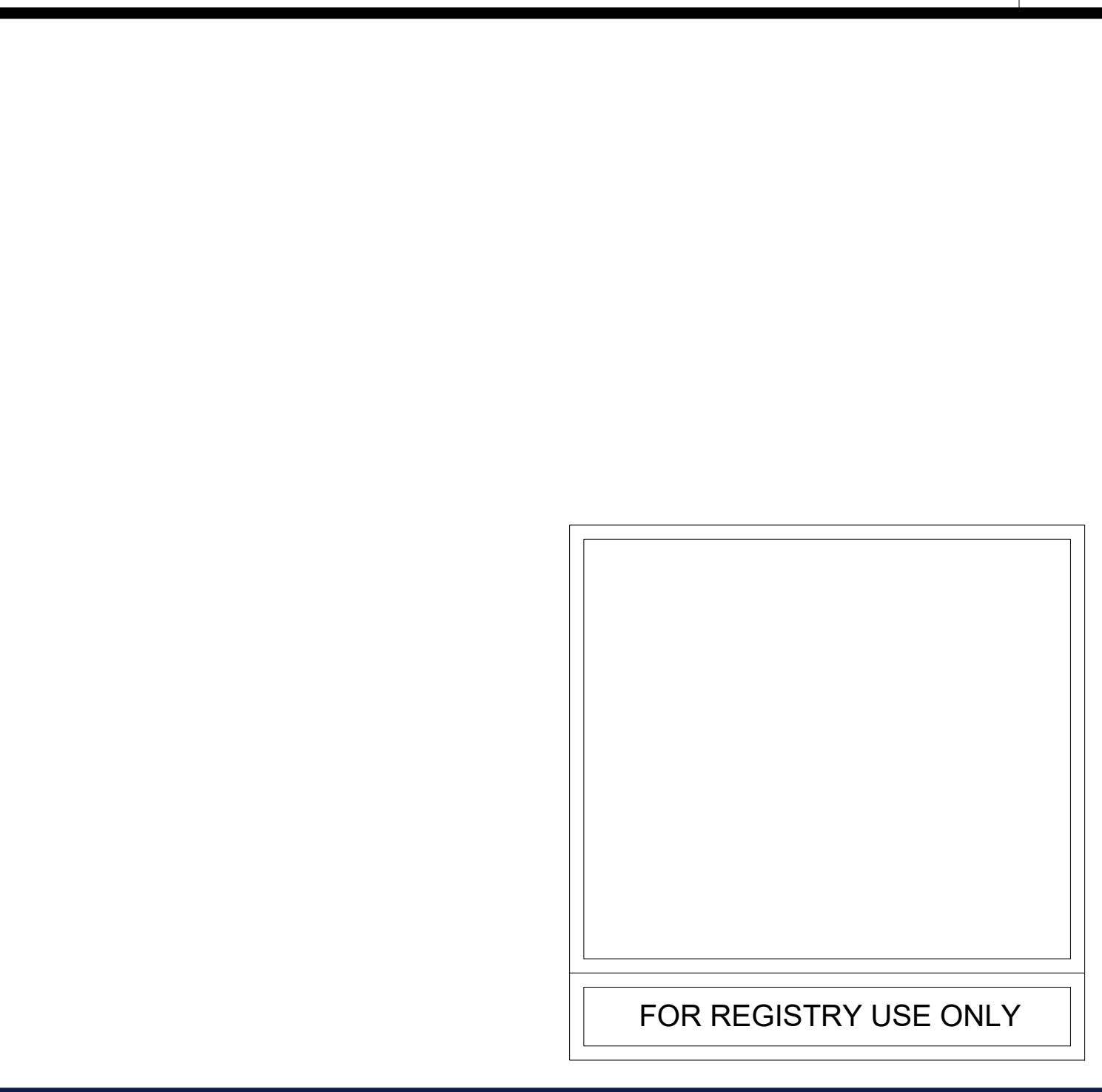
RECOMMENDED CONSTRUCTION SEQUENCE



STABILIZED CONSTRUCTION ENTRANCE



STRAW BALE



BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	02/27/2023	PER PEER REVIEW COMMENTS	JWT/ND/IRM

811

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DRAWN BY: JWC/CFD
CHECKED BY: NPD/IRM
DATE: 01/25/2023
CAD ID: MAA220228.00-SFPD-0A

PROPOSED SITE PLAN DOCUMENTS

FOR

SDG DEVELOPMENT, LLC

PROPOSED SELF-STORAGE FACILITY

MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS

BOHLER™

352 TURNPIKE ROAD
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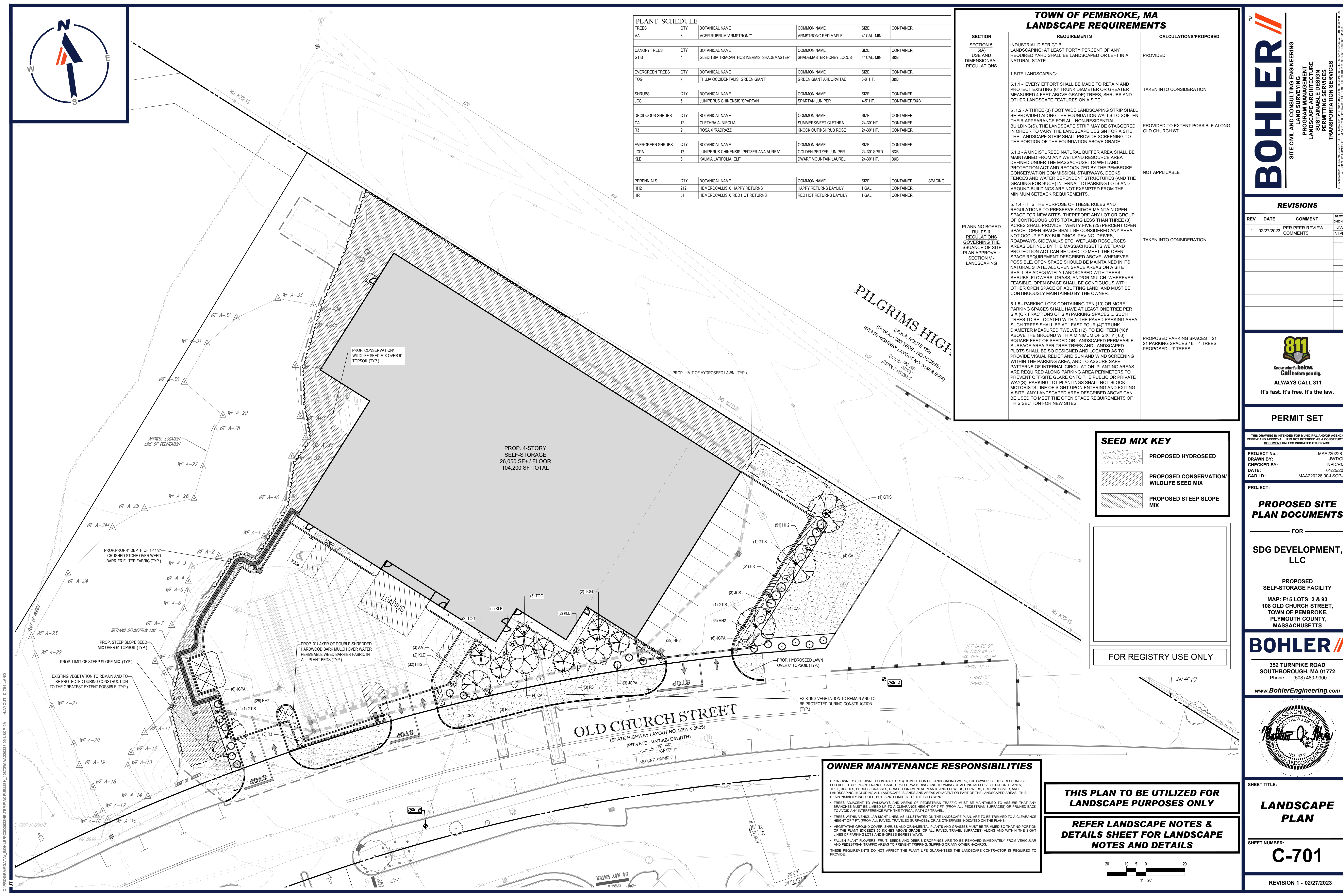
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SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

SHEET NUMBER: **C-602**

REVISION 1 - 02/27/2023

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JT

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

- 1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

- 2.1. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

- 2.2. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

- 2.3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN

- 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.

- 2.3.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

- 2.4. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.

2.5. FERTILIZER

- 2.5.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.

- 2.5.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

2.6. PLANT MATERIAL

- 2.6.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).

- 2.6.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

- 2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.

- 2.6.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

- 2.6.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.

- 2.6.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.

- 2.6.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.

- 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

- 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

- 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

- 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

- 4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

- 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION

- 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

- 5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VIS-FENCE", OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

- 5.3. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

- 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS

- 6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

- 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

- 6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.

- 6.3.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO BETWEEN 10% AND 20% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.

- 6.3.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO BETWEEN 10% AND 20% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.

- 6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING

- 7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

- 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

- 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

- 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING

- 8.1. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

- 8.2. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

- 8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

- 8.4. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY) [SEE SPECIFICATION 6.A.):

- 8.4.1. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER

- 8.4.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

- 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

- 9.1. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

- 9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

- 9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

- 9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

- 9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

- 9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

- 9.6.1. PLANTS: MARCH 15 TO DECEMBER 15

- 9.6.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

- 9.6.3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

- 9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

- ACER RUBRUM

- BETULA VARIETIES

- CARPINUS VARIETIES

- CRATAEGUS VARIETIES

- KOELREUTERIA

- LIQUIDAMBAR SYRACIFLUA

- LIQUIDAMBAR SYRACIFLUA

- LIQUIDAMBAR SYRACIFLUA

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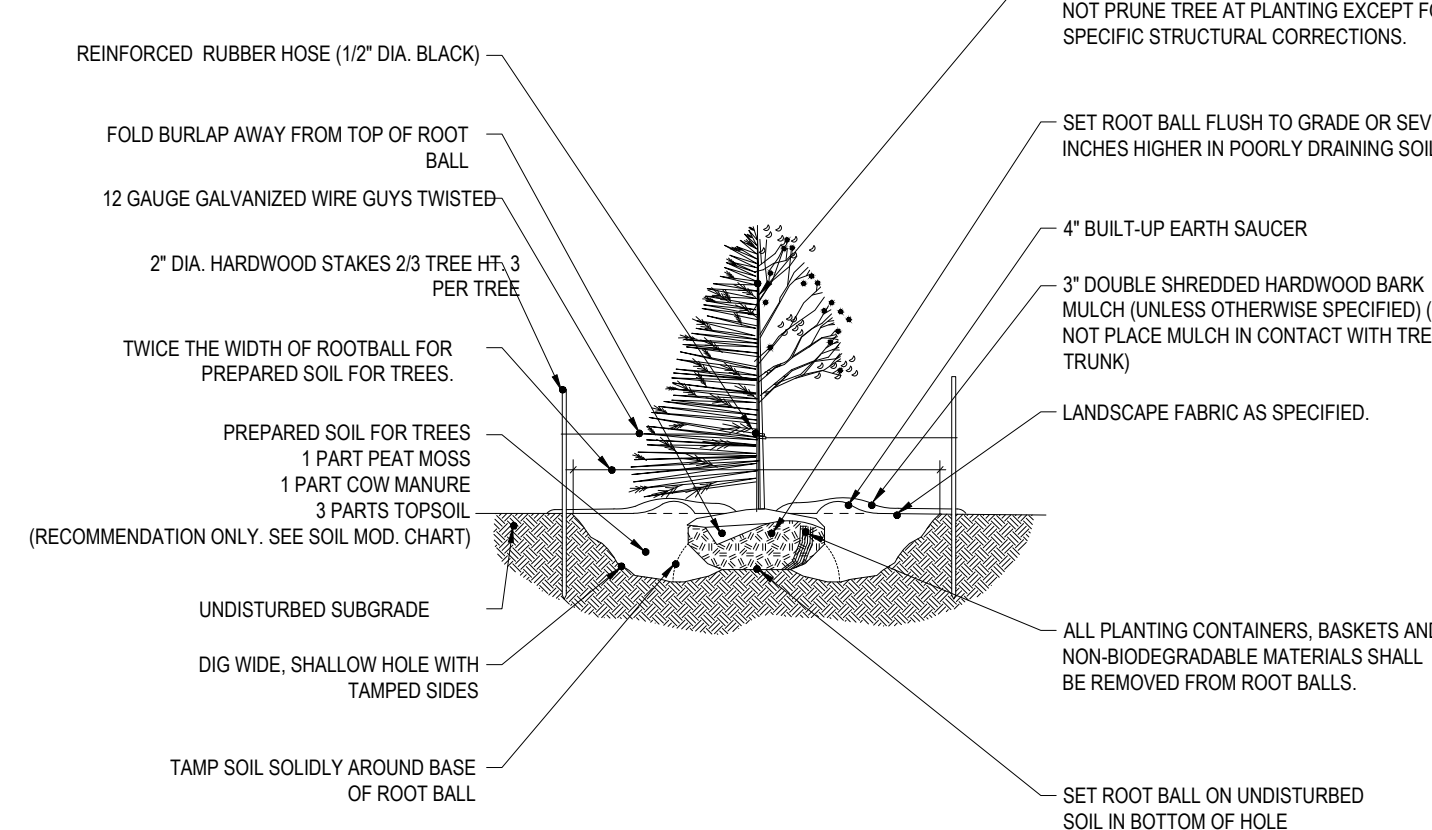
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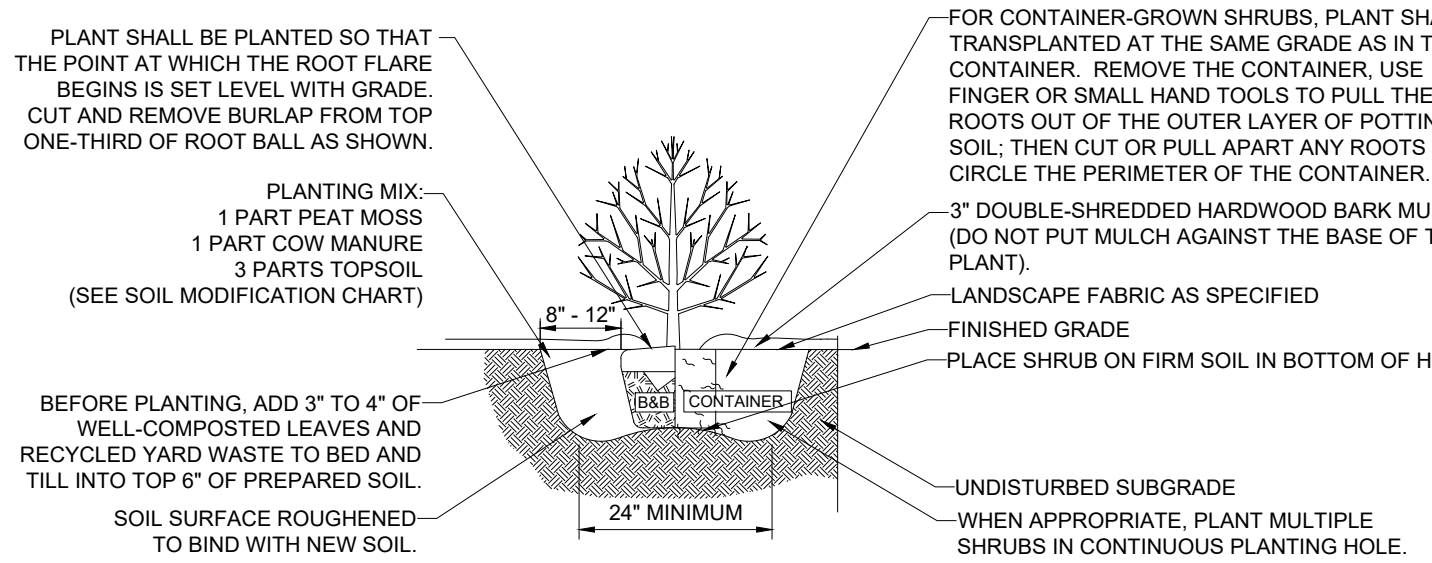
- LIQUIDAMBAR SYRACIFLUA

- NOTES:
1.) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2.) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3" FROM ROOT BALL.
3.) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4.) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5.) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERRED TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6.) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL.
7.) SUBSTITUTE ARBORVITAE STAKING SYSTEM WHEN SPECIFIED.



TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

- "NATIVE DETENTION AREA MIX" AS PREPARED BY:
ERNST CONSERVATION SEEDS, INC.
8884 MERCER PIKE, MEADVILLE, PA 16335
PHONE: 800-873-3321 / 814-336-2404
EMAIL: SALES@ERNSTSEED.COM
WEBSITE: WWW.ERNSTSEED.COM

- APPLICATION RATE: 1/2 LB. / 1000 SQ. FT. (20 LBS. / ACRE)
MIX COMPOSITION:
25.0% PANICUM VIRGATUM, 'SHELTER' (SWITCHGRASS, 'SHELTER')
24.0% PANICUM CLANDESTINUM, 'TIOGA' (DEERTONGUE, 'TIOGA')
22.0% CAREX VULPINOLIA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
21.0% ELYMUS VIRGINICUS, PA ECOTYPE (VIRGINIA WILDRYE, PA ECOTYPE)
6.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE)
1.0% LUNCUS EFFLUSUS (SOFT RUSH)
1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)

BASIN SEED MIX SPECIFICATIONS

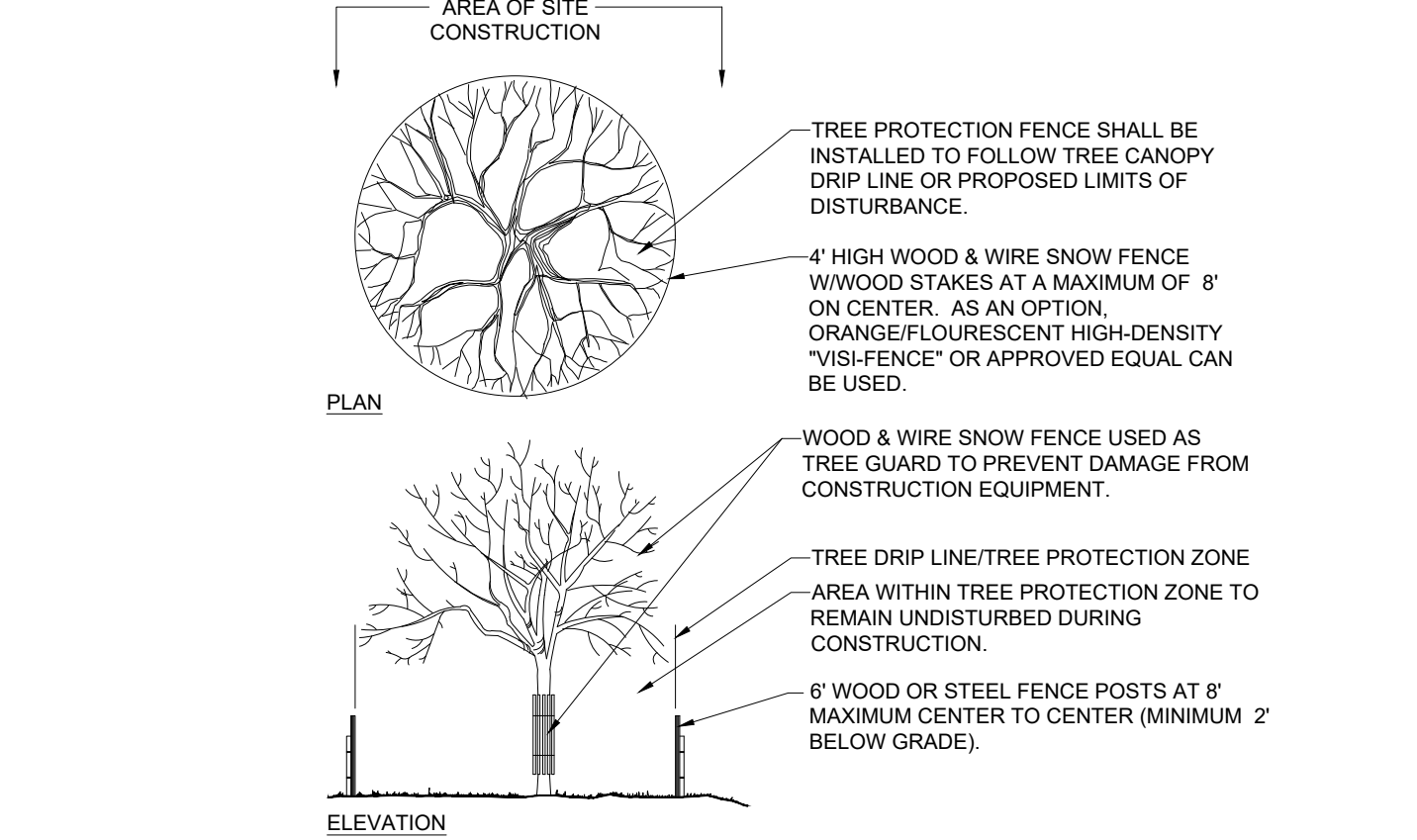
1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
• PERENNIAL RYEGRASS 1/2 LB/1000 SQ FT
• KENTUCKY BLUEGRASS 1 LB/1000 SQ FT
• RED FESCUE 1/2 LB/1000 SQ FT
• SPREADING FESCUE 1/2 LB/1000 SQ FT
• FERTILIZER (16.32 LB) 1 GAL/800 GAL
• LIQUID LIME 35 LB/800 GAL
• TANK TACKIFIER 30 LB/1000 SQ FT
• TANK FIBER MULCH
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

HYDROSEED SPECIFICATIONS

- "NEW ENGLAND CONSERVATION/ WILDLIFE SEED MIX" AS PREPARED BY:
NEW ENGLAND WETLAND PLANTS, INC
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000
EMAIL: INFO@NEWP.COM
WEBSITE: WWW.NEWP.COM

- SPECIES: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLED LEAF TICK TREFLOID (DESMODIUM PANICULATUM), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYED SUSAN (RUBICEKIA HIRTA), COMMON SNEEZEWEED (HELENIUM AUTUNALE), HEATH ASTER (ASTERILOPUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).



NEW ENGLAND CONSERVATION/ WILDLIFE SEED MIX SPECIFICATIONS

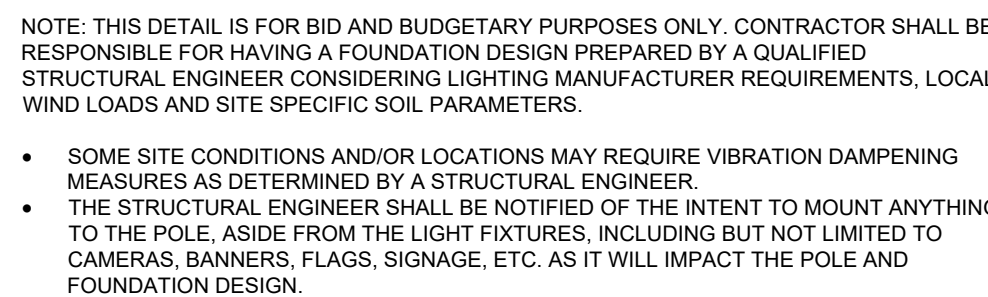


TREE PROTECTION DURING SITE CONSTRUCTION



1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS(S). ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL, GEOMETRIC PLANE AT ELEVATION ZERO (GROUND) AND LEVEL UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDLES.
4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND REFLOWING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO MAINTAIN OR REPLACE ABOVE LISTED LUMINAIRES, LAMPS AND LENSES TO WORK PROPERLY TO FUNCTION.
5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS SHADING, REFLECTIONS, AND UNPREDICTABLE ENVIRONMENTAL CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP ENGINEER, OR LIGHTING CONSULTANT. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REGULATIONS AND ORDINANCES, AND ALL APPLICABLE CODES AND STANDARDS, AND ALL GENERAL RULES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE

LUMINAIRE SCHEDULE					
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
	4	SINGLE	10384	0.90	LSI LIGHTING TYPE 3 LED AREA LIGHT WITH SHIELD MOUNTED @ 20' XGM-3-LED-SS-WN-HSS
	7	BUILDING	3377	0.90	LSI LIGHTING FORWARD THROW LED WALL LIGHT MOUNTED @ 10' XGBWM-FT-LED-28-450-WN-UJE



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PROJECT:

- FOR -

**PROPOSED
SELF-STORAGE FACILITY**

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SHEET NUMBER

REVISION 1 - 02/27/2023

PAVEMENT SECTION

PRECAST CONCRETE CURB

RETAINING WALL CROSS SECTION

VERTICAL GRANITE CURB

DRIVEWAY CONSTRUCTION

ACCESSIBLE RAMP

CONCRETE SIDEWALK

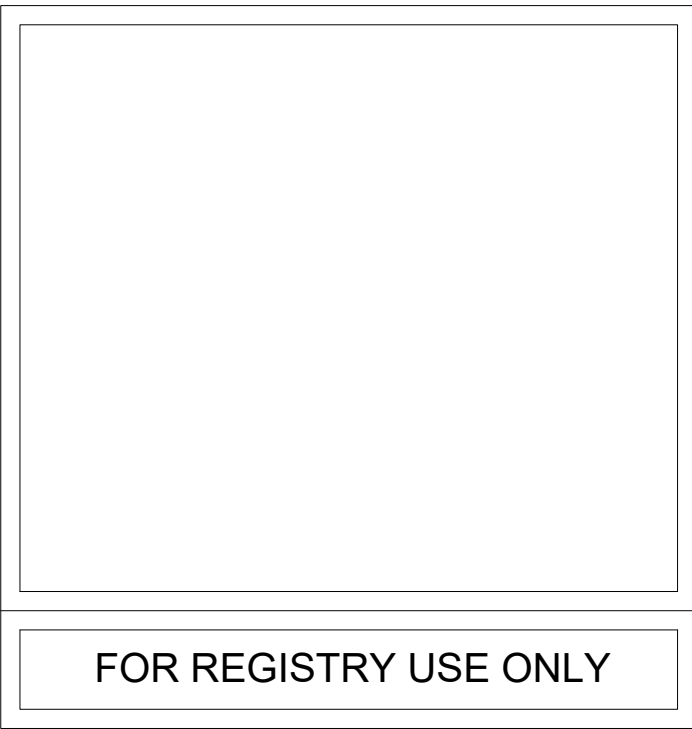
"STOP" SIGN

STOP BAR

ACCESSIBLE PARKING SYMBOL

ACCESSIBLE PARKING STALL MARKINGS

ACCESSIBLE PARKING SIGN ON CONCRETE BOLLARD

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PROJECT No.: MAA220228
DRAWN BY: JWT/C
CHECKED BY: NPD/RM
DATE: 01/25/20
CAD I.D.: MAA220228.00-SPPD-

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR -

**SDG DEVELOPMENT,
LLC**

**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS**

BOHLER //

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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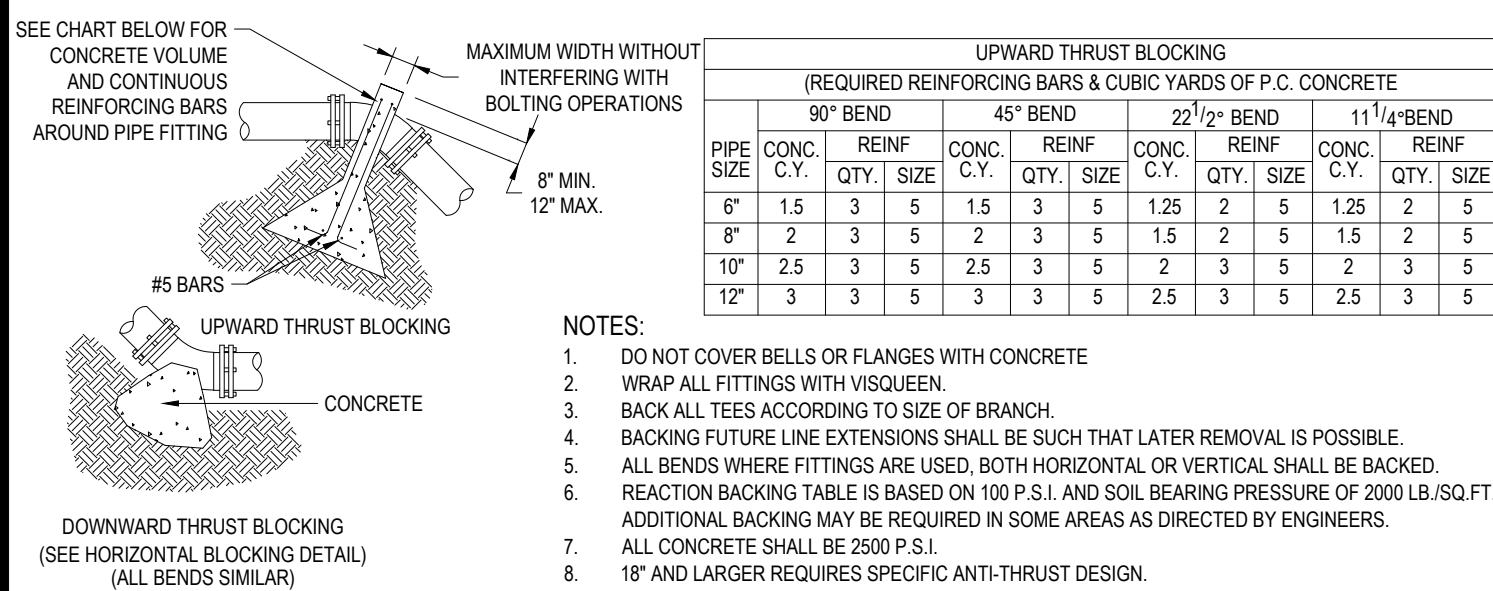
SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:

C-901

REVISION 1 - 02/27/2023



N.T.S.

N.T.S.

SHEET TITLE

DETAIL SHEET

SHEET NUMBER

C-903

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DRAWN BY: JWT/CF
CHECKED BY: NPD/RM
DATE: 01/25/2021
CAD I.D.: MAA220228.00-SPPD-0

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

- FOR

**SDG DEVELOPMENT,
LLC**

**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS**

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352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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SHEET TITLE

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DRAWN BY:	JWT/CFD
CHECKED BY:	NPD/RMM
DATE:	01/25/2023
CAD I.D.:	MAA220228.00-SPPD-0A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOI

**SDG DEVELOPMENT,
LLC**

**PROPOSED
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**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET
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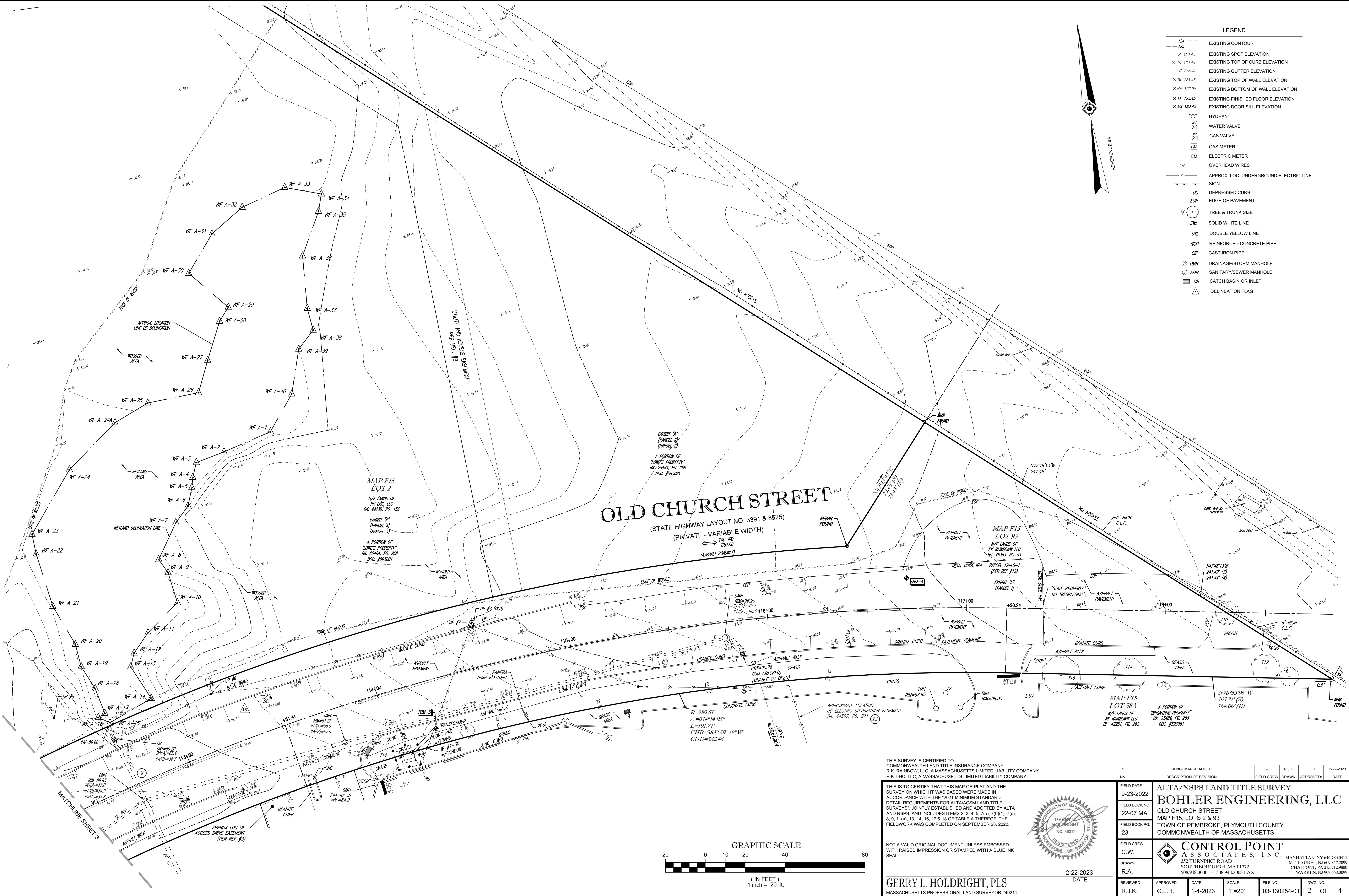
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R.K. LHC, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 23, 2022.

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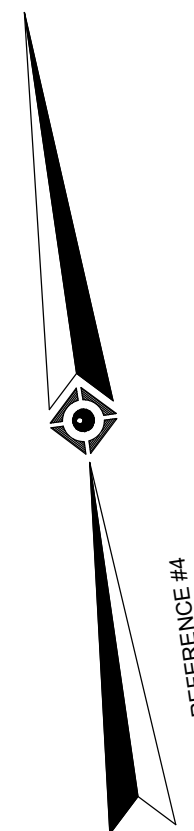
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211






























2-22-2023
DATE

1	BENCHMARKS ADDED	-	R.J.K.	G.L.H.	2-22-2023
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	9-23-2022	ALTA/NSPS LAND TITLE SURVEY			
FIELD BOOK NO.	22-07 MA	BOHLER ENGINEERING, LLC			
FIELD BOOK PG.	23	OLD CHURCH STREET			
FIELD CREW	C.W.	MAP F15, LOTS 2 & 93			
DRAWN:	R.A.	TOWN OF PEMBROKE, PLYMOUTH COUNTY			
REVIEWED:	R.J.K.	COMMONWEALTH OF MASSACHUSETTS			
APPROVED:	G.L.H.	DATE	SCALE	FILE NO.	DWG. NO.
		1-4-2023	1"=20'	03-130254-01	2 OF 4

1. THE TAX ASSESSOR'S MAP OF THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP F15.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PLYMOUTH COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 207 OF 650," MAP NUMBER 25023C0207J, EFFECTIVE DATE: JULY 17, 2012.
3. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: JUNE 28, 1980, STATE HIGHWAY LAYOUT NO. 5004, SHEETS 1 & 2 OF 5 SHEETS.
4. MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, BRIGANTINE VILLAGE & RAINBOW SQUARE, CHURCH STREET PEMBROKE, MA (PLYMOUTH COUNTY), PREPARED FOR RK CENTERS," PREPARED BY COLER AND CO/ANTONIO, INC., DATED NOVEMBER 13, 2012, PROVIDED BY CLIENT.
5. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: JUNE 3, 1941, STATE HIGHWAY LAYOUT NO. 3391, SHEETS 8 OF 10.
6. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/CHURCH STREET IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT GROUP, INC., DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 2 OF 3.
7. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, CHURCH STREET IN PEMBROKE, MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT, LP," DATED APRIL 8, 1999, PREPARED BY THE BSC GROUP INC., SHEET 1 OF 1.
8. MAP ENTITLED, "COMPILED PLAN OF LAND, OLD CHURCH STREET, PEMBROKE, MASSACHUSETTS, PREPARED FOR A. W. PERRY INC., " PREPARED BY PERKINS ENGINEERING, INC., DATED JULY 8, 1986, FILED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 28, PAGE 408 ON DECEMBER 31, 1986.
9. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/IVERSIDE DRIVE IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR DUCOUT AND ASSOCIATES," DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 1 OF 4.
10. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/CHURCH STREET IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT GROUP, INC., DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 2 OF 3.
11. MAP ENTITLED, "LOWE'S HOME IMPROVEMENT WAREHOUSE, PROPOSED BUILDING & ASSOCIATES, DRIVES, OLD CHURCH STREET, TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY BOHLER ENGINEERING, P.C., DATED NOVEMBER 30, 2000. LAST REVISED JUNE 5, 2002.
12. MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION," PREPARED BY CHAPPELL ENGINEERING ASSOCIATES, LLC, DATED NOVEMBER 23, 2015. LAYOUT NO. 8525. THREE SHEETS.
13. MAP ENTITLED "PLAN OF LAND IN PEMBROKE, MASS., DRAWN FOR T. D. BELMONT COMPANY," PREPARED BY BSC, DATED AUGUST 8, 1993, RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 24, PLAN 58.



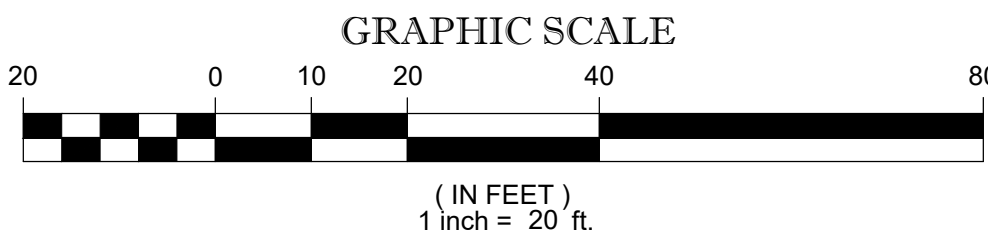
LEGEND


	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING TOP OF CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING TOP OF WALL ELEVATION
	EXISTING BOTTOM OF WALL ELEVATION
	EXISTING FINISHED FLOOR ELEVATION
	EXISTING DOOR SILL ELEVATION
	HYDRANT
	WATER VALVE
	GAS VALVE
	GAS METER
	ELECTRIC METER
	OVERHEAD WIRES
	APPROX. LOC. OVERGROUND ELECTRIC LINE
	SIGN
	DEPRESSED CURB
	EDGE OF PAVEMENT
	TREE & TRUNK SIZE
	SOLID WHITE LINE
	DOUBLE YELLOW LINE
	REINFORCED CONCRETE PIPE
	CAST IRON PIPE
	DRAINAGE/STORM MANHOLE
	SANITARY/SEWER MANHOLE
	CATCH BASIN OR INLET
	DELINEATION FLAG

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS". JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11(a), 13, 14, 16, 17 & 18 OF TABLE THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 23, 2022



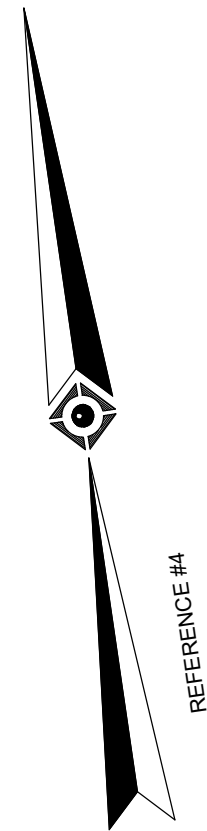
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #4



BENCHMARKS ADDED		-	R.J.K.	G.L.H.	2-22-2023
No	DESCRIPTION OF REVISION	FIELD DRAWN	APPROVED:	DATE	
FIELD DATE	ALTA/NSPS LAND TITLE SURVEY				
9-23-2022	BOHLER ENGINEERING, LLC				
FIELD BOOK NO	OLD CHURCH STREET				
22-07 MA	MAP F15, LOTS 2 & 93				
FIELD BOOK PG.	TOWN OF PEMBROKE, PLYMOUTH COUNTY				
23	COMMONWEALTH OF MASSACHUSETTS				
FIELD CREW	 CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.5000 - 508.948.3003 FAX				
C.W.					
DRAWN:					
R.A.	MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2999 CHALFONT, PA 215.172.9800 WARREN, NJ 908.666.0099				
REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
R.J.K.	G.L.H.	1-4-2023	1"=20'	03-130254-01	3 OF 4

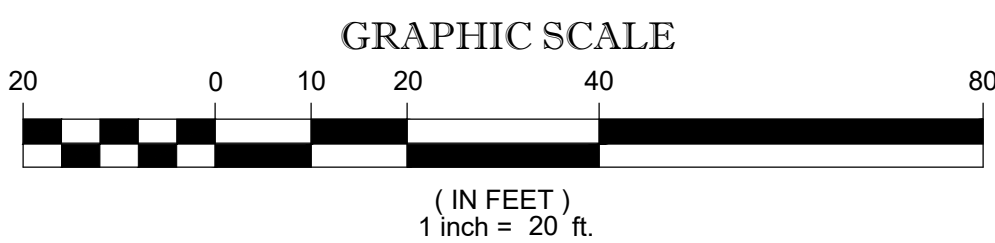
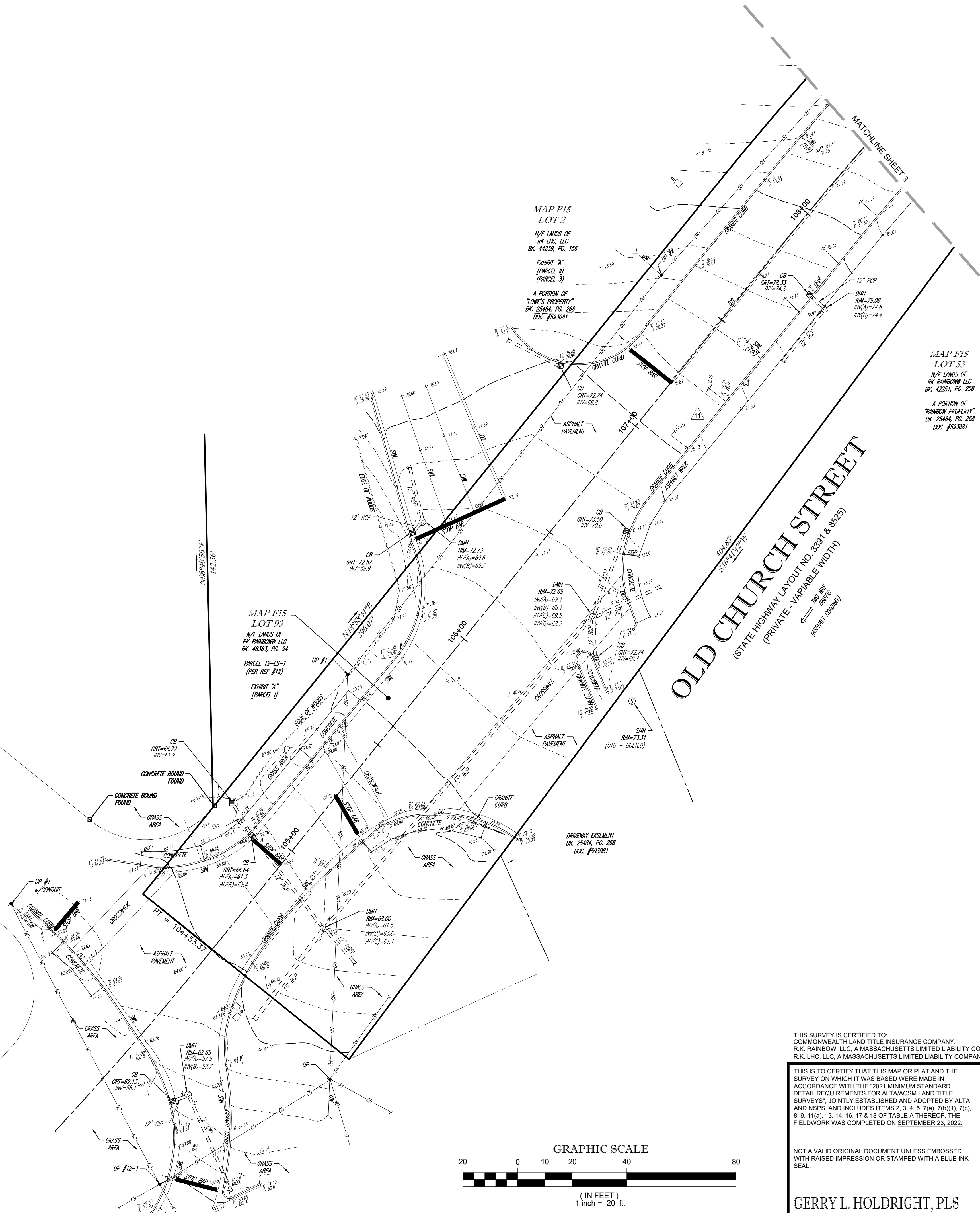
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- LEGEND
- 124 EXISTING CONTOUR
 - 125 EXISTING CONTOUR
 - 123.45 EXISTING SPOT ELEVATION
 - TC 123.45 EXISTING TOP OF CURB ELEVATION
 - G 122.95 EXISTING GUTTER ELEVATION
 - W 123.45 EXISTING TOP OF WALL ELEVATION
 - BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - FF 123.45 EXISTING FINISHED FLOOR ELEVATION
 - DS 123.45 EXISTING DOOR SILL ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - SIGN
 - DC DEPRESSED CURB
 - EOP EDGE OF PAVEMENT
 - TREE & TRUNK SIZE
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - RCP REINFORCED CONCRETE PIPE
 - CIP CAST IRON PIPE
 - DMH DRAINAGE/STORM MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - CB CATCH BASIN OR INLET
 - DELINEATION FLAG



RIVERSIDE DRIVE
(PRIVATE - 50' WIDE R.O.W.)
THRU
(ASPHALT PAVEMENT)

OLD CHURCH STREET
(STATE HIGHWAY LAYOUT NO. 3391 & 8525)
(PRIVATE - VARIABLE WIDTH)
THRU
(ASPHALT PAVEMENT)



THIS SURVEY IS CERTIFIED TO:
COMMONWEALTH LAND TITLE INSURANCE COMPANY.
R.K. RAINBOW, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY
R.K. LHC, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY


THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 23, 2022.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

2-22-2023
DATE

1	BENCHMARKS ADDED	-	R.J.K.	G.L.H.	2-22-2023
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE 9-23-2022	ALTA/NSPS LAND TITLE SURVEY BOHLER ENGINEERING, LLC OLD CHURCH STREET MAP F15, LOTS 2 & 93 TOWN OF PEMBROKE, PLYMOUTH COUNTY COMMONWEALTH OF MASSACHUSETTS				
FIELD BOOK NO. 22-07 MA					
FIELD BOOK PG. 23					
FIELD CREW C.W.	 CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508-948-3000 • 508-948-3003 FAX MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2099 CHALFONT, PA 215.712.9800 WARREN, NJ 908.668.0099				
DRAWN R.A.					
REVIEWED R.J.K.					
APPROVED G.L.H.	DATE 1-4-2023	SCALE 1"=20'	FILE NO. 03-130254-01	DWG. NO. 4	OF 4

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