

_____ FOR _____

PROPOSED SELF-STORAGE FACILITY

DRAWING SHEET INDEX

PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MAA220228.00
DRAWN BY:	CFD
CHECKED BY:	RMM
DATE:	01/25/2023
CAD I.D.:	MAA220228.00-SPPD-0A

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

_____ FOR _____

SDG DEVELOPMENT,
LLC

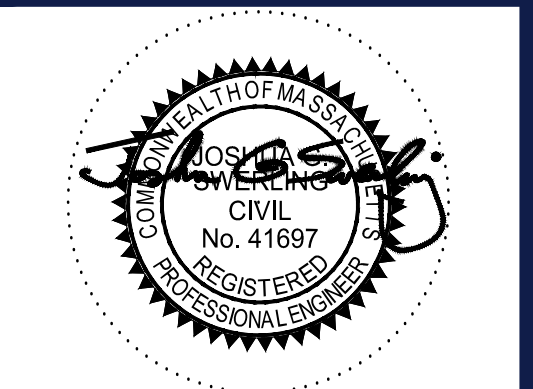
PROPOSED SELF-STORAGE FACILITY

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS**

BOHLER//

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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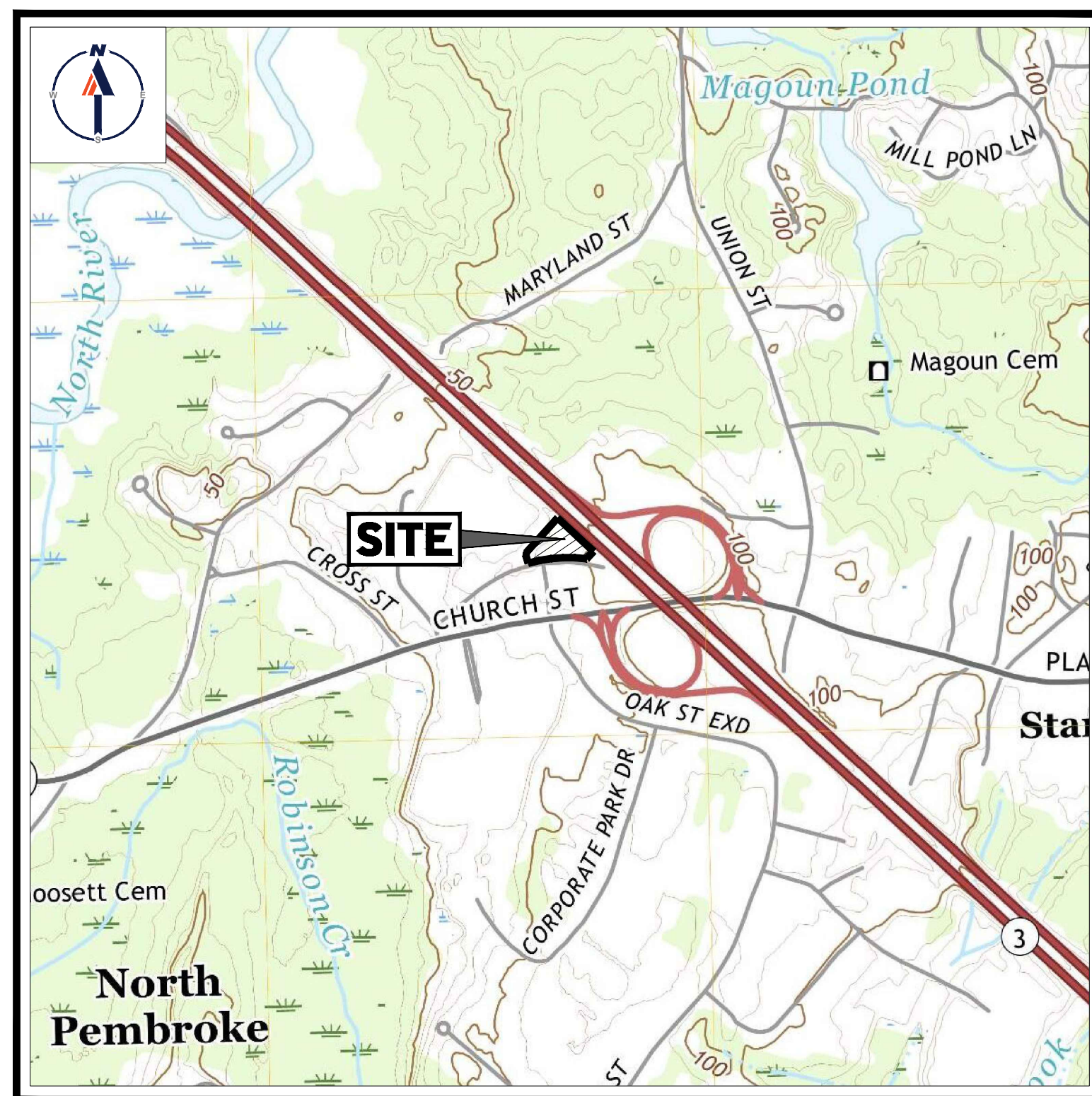
SHEET TITLE:

COVER SHEET

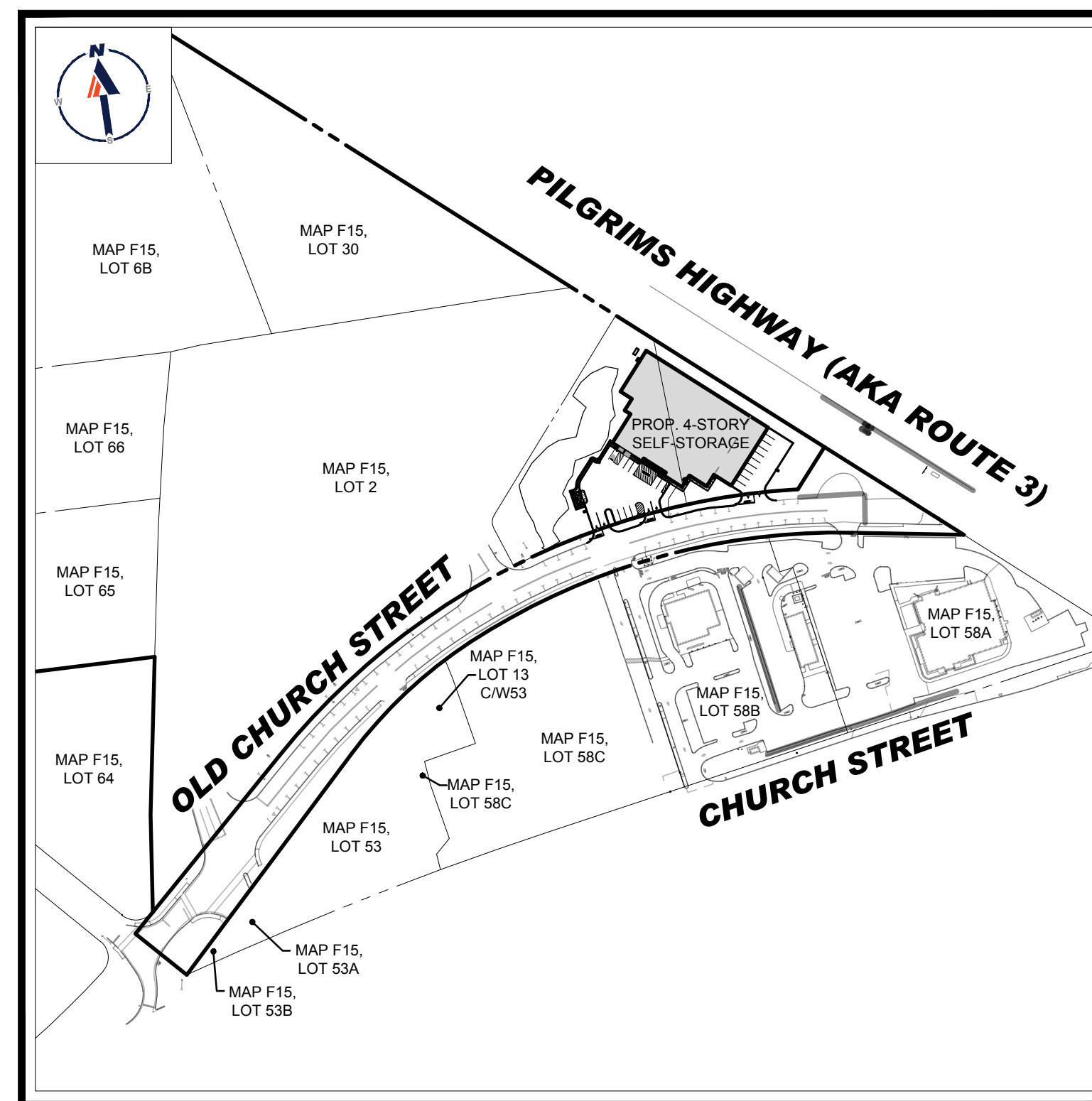
SHEET NUMBER:

C-101

ORG. DATE - 01/25/2023

**USGS MAP**

SCALE: 1" = 1,000'
SOURCE: HANOVER MASSACHUSETTS USGS QUADRANGLE



SITE MAP

SCALE: 1" = 200'

PREPARED BY

BOHLER//

PLANNING BOARD APPROVAL

THE SITE PLAN DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE ZONING BY-LAW.

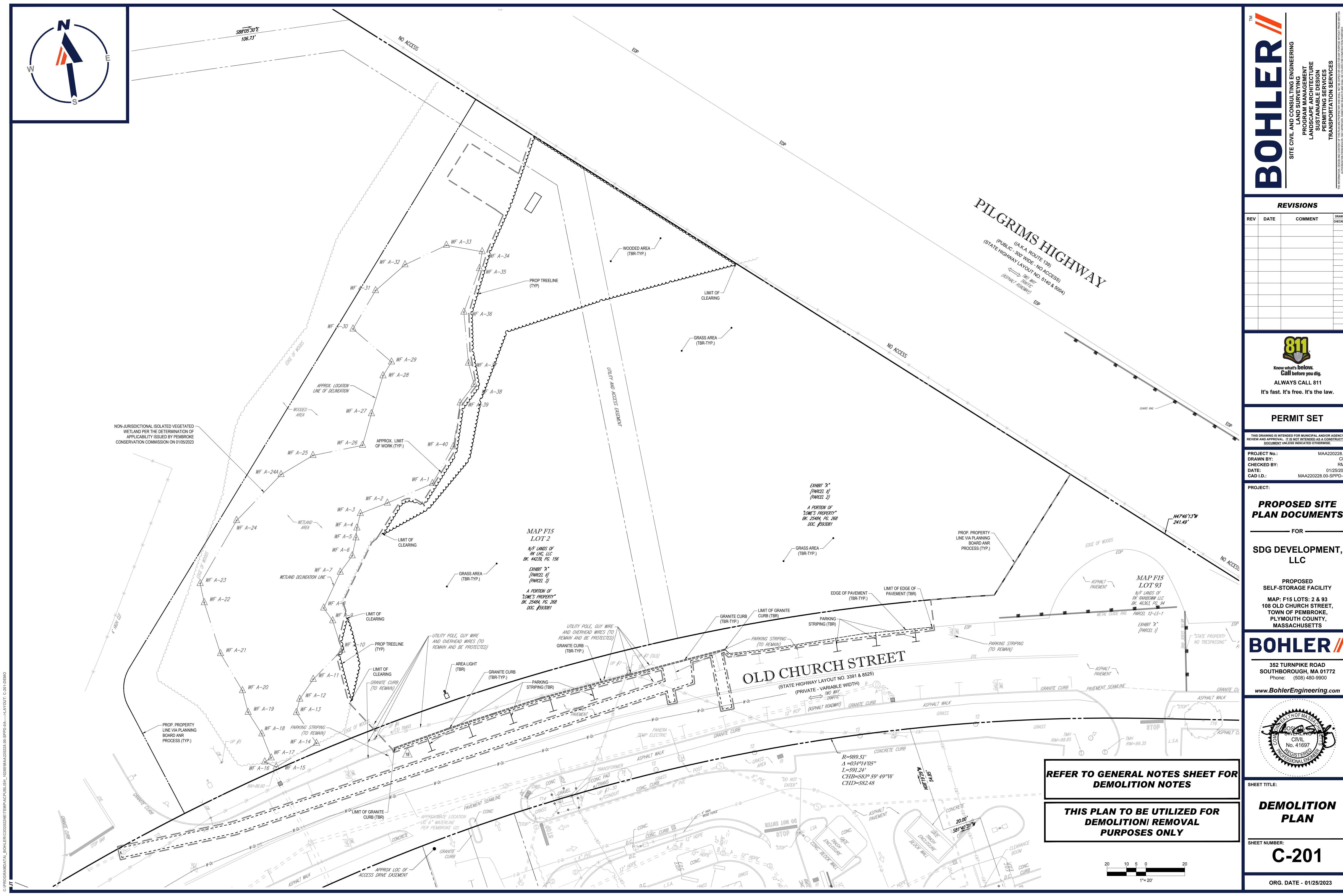
DATE APPROVED: _____

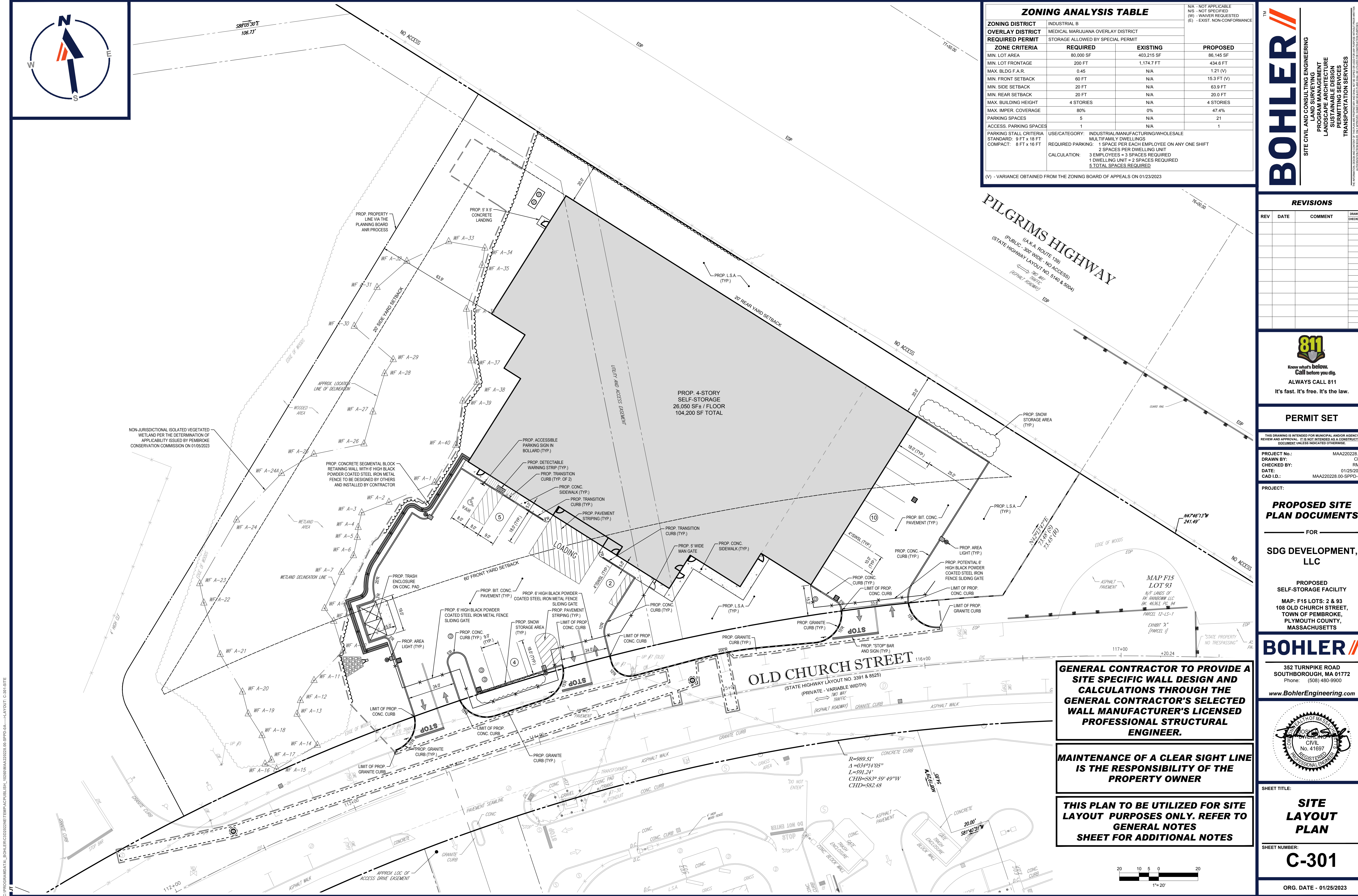
PEMBROKE TOWN CLERK:

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____

TOWN CLERK, TOWN OF PEMBROKE





ZONING ANALYSIS TABLE			
ZONING DISTRICT	INDUSTRIAL B		
OVERLAY DISTRICT	MEDICAL MARIJUANA OVERLAY DISTRICT		
REQUIRED PERMIT	STORAGE ALLOWED BY SPECIAL PERMIT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	80,000 SF	403,215 SF	86,145 SF
MIN. LOT FRONTAGE	200 FT	1,174.7 FT	434.6 FT
MAX. BLDG F.A.R.	0.45	N/A	1.21 (V)
MIN. FRONT SETBACK	60 FT	N/A	15.3 FT (V)
MIN. SIDE SETBACK	20 FT	N/A	63.9 FT
MIN. REAR SETBACK	20 FT	N/A	20.0 FT
MAX. BUILDING HEIGHT	4 STORIES	N/A	4 STORIES
MAX. IMPER. COVERAGE	80%	0%	47.4%
PARKING SPACES	5	N/A	21
ACCESS, PARKING SPACES	1	N/A	1
PARKING STALL CRITERIA	USE/CATEGORY: INDUSTRIAL/MANUFACTURING/WHOLESALE		
STANDARD: 9 FT x 18 FT	MULTIFAMILY DWELLINGS		
COMPACT: 8 FT x 16 FT	REQUIRED PARKING: 1 SPACE PER EACH EMPLOYEE ON ANY ONE SHIFT		
	2 SPACES PER DWELLING UNIT		
	CALCULATION: 3 EMPLOYEES + 3 SPACES REQUIRED		
	1 DWELLING UNIT = 2 SPACES REQUIRED		
	5 TOTAL SPACES REQUIRED		

(V) - VARIANCE OBTAINED FROM THE ZONING BOARD OF APPEALS ON 01/23/2023

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SITE CIVIL AND CONSULTING ENGINEERING
PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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PROJECT No.: MAA220228.00
DRAWN BY: CFD
CHECKED BY: RMM
DATE: 01/25/2023
CAD ID: MAA220228.00-SFPD-0A

PROPOSED SITE PLAN DOCUMENTS

FOR

SDG DEVELOPMENT, LLC

PROPOSED SELF-STORAGE FACILITY

MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS

GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

MAINTENANCE OF A CLEAR SIGHT LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES

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352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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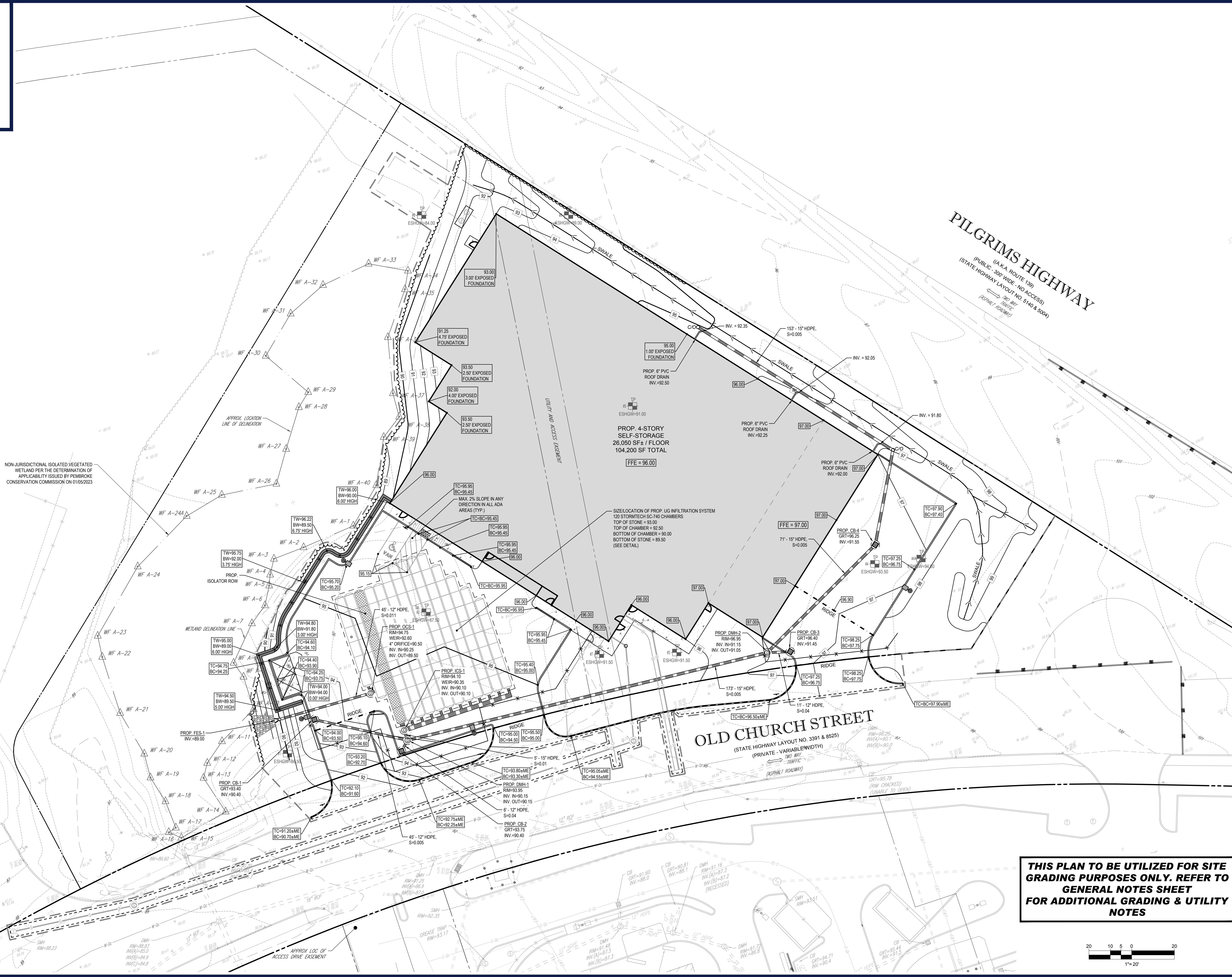
SHEET TITLE:

SITE LAYOUT PLAN

SHEET NUMBER:

C-301

ORG. DATE - 01/25/2023



NON-JURISDICTIONAL ISOLATED VEGETATED WETLAND PER THE DETERMINATION OF APPLICABILITY ISSUED BY PEMBROKE CONSERVATION COMMISSION ON 01/05/2023

APPROX LOCATION LINE OF DEVIATION

WETLAND DELINEATION LINE

APPROX LOC OF ACCESS DRIVE EASEMENT

UTILITY AND ACCESS EASEMENT

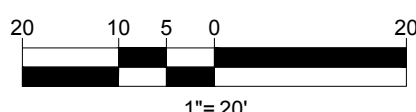
PROP. 4-STORY SELF-STORAGE
26,050 SF± / FLOOR
104,200 SF TOTAL
FFE = 96.00

SIZE/LOCATION OF PROP. UG INFILTRATION SYSTEM
120 STORMTECH SC-740 CHAMBERS
TOP OF STONE = 93.00
TOP OF CHAMBER = 92.50
BOTTOM OF CHAMBER = 90.00
BOTTOM OF STONE = 89.50
(SEE DETAIL)

OLD CHURCH STREET
(STATE HIGHWAY LAYOUT NO. 3391 & 8525)
(PRIVATE - VARIABLE WIDTH)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)

PILGRIMS HIGHWAY
(A.K.A. ROUTE 139)
(PUBLIC - 300' WIDE - NO ACCESS)
(STATE HIGHWAY LAYOUT NO. 5140 & 3004)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
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DRAWN BY: CFJ
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DATE: 01/25/2023
CAD ID: MAA220228.00-SPPD-0A

PROPOSED SITE PLAN DOCUMENTS

FOR

SDG DEVELOPMENT, LLC

PROPOSED SELF-STORAGE FACILITY
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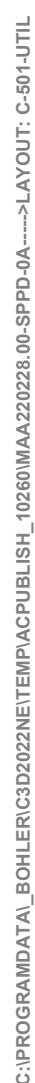


SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-401

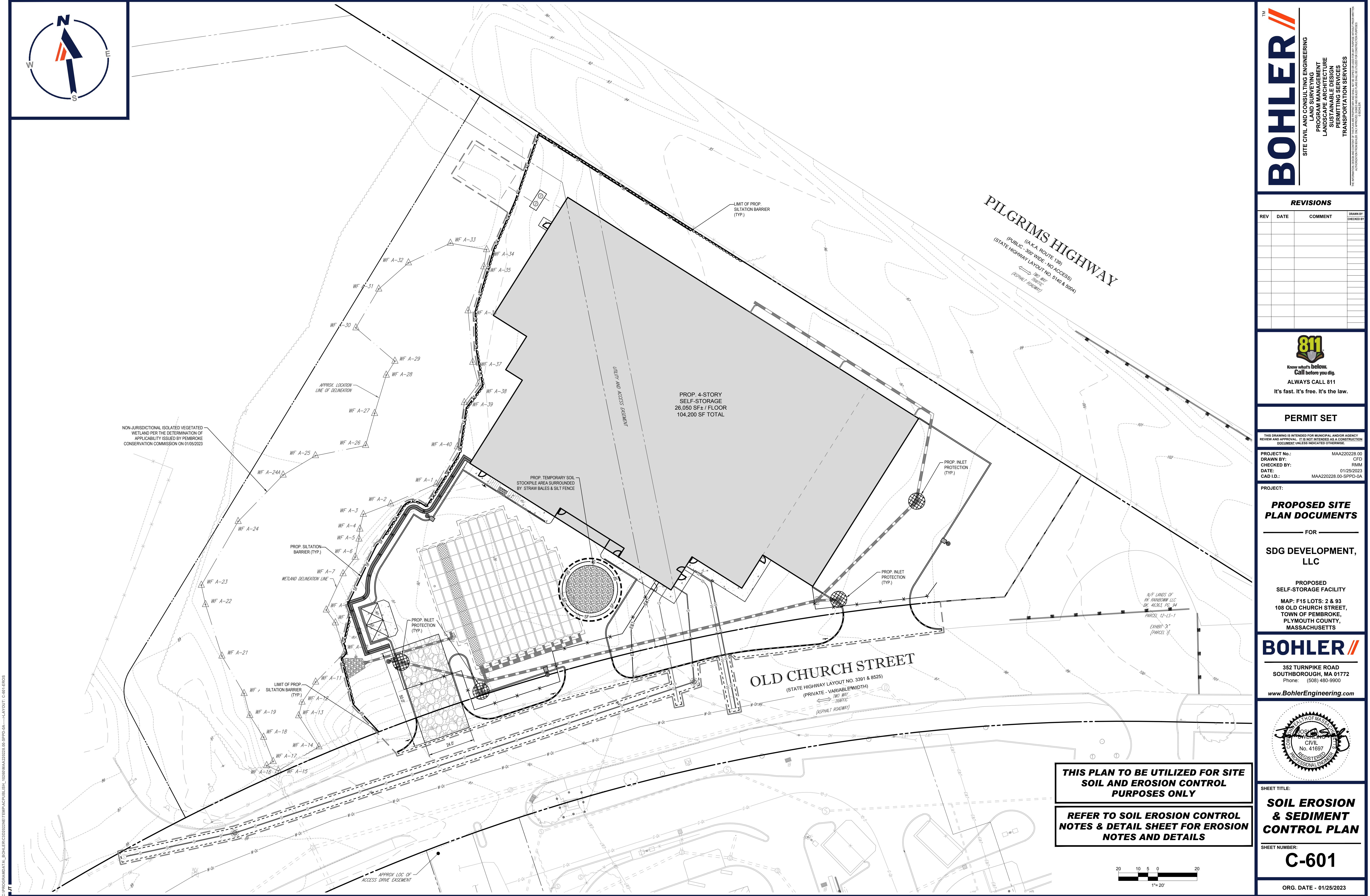
ORG. DATE - 01/25/2023

C:\PROGRAMDATA\BOHLER\320222\TEMP\AC\PUBLISH_10260\MAA220228.00-SPPD-0A---LAYOUT: C-401-GRAD_DRAIN



20 10 5 0 20

1" = 20'



C:\PROGRAMDATA\BOHLER\302022\NET\TEMP\AC\PUB\SH_10260\MAA202228.00-SPPD-0A---3-LAYOUT: C-601-EROS

TM

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SITE CIVIL AND CONSULTING ENGINEERING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

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PROJECT No.: MAA202228.00

DRAWN BY: CFD

CHECKED BY: RMM

DATE: 01/25/2023

CAD ID: MAA202228.00-SPPD-0A

PROJECT:

PROPOSED SITE
PLAN DOCUMENTS

FOR

SDG DEVELOPMENT,
LLC

PROPOSED
SELF-STORAGE FACILITY

MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS

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SHEET TITLE:

**SOIL EROSION
& SEDIMENT
CONTROL PLAN**

SHEET NUMBER:

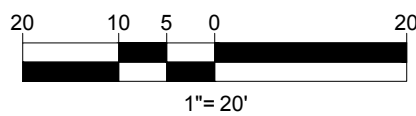
C-601

ORG. DATE -

01/25/2023

**THIS PLAN TO BE UTILIZED FOR SITE
SOIL AND EROSION CONTROL
PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL
NOTES & DETAIL SHEET FOR EROSION
NOTES AND DETAILS**



1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SLT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR OVERGROWTH. SEDIMENT BARRIERS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 1. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SQ YD USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SQ YD).
 3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 4% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% PERENNIAL BLUEGRASS, 4% CREEPING RED FESCUE, AND 12% PERENNIAL FLYWATER. SEEDING RATE IS 1.0 LBS PER 1,000 SQ LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1, SOI ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 4. STRAW/MULCH AT THE RATE OF 10-20 LBS PER 1,000 SQ YD. HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
12. WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SLT FENCE OR A COMBINATION THEREOF.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

15. PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- 15.1. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
16. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
17. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
18. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
19. THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
20. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

21. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
22. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
23. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
24. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDS, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
25. FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCH IS NOT APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
26. MULCHING REQUIREMENTS:
 - 26.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - 26.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - 26.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%, AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
27. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
28. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOT SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES MUST BE READ AND UNDERSTOOD IN CONJUNCTION WITH THESE NOTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX.XXX ACRES.
4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - 4.1. STABILIZE CONSTRUCTION ENTRANCE (EASE) AT THE CONSTRUCTION ENTRANCE TO THE SITE BY INSTALLING AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - 4.2. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND EXCAVATION AREAS, AND OTHER AREAS AS NECESSARY.
 - 4.3. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON ALL SLOPES DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE AROUND THE LIMITS OF THE DISTURBED AREA.
5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH INLETS OF THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" OR HALF THE HEIGHT OF THE EROSION CONTROL BARRIERS. HEIGHT CALCULATED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
7. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
8. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY OF THE INCIDENTAL DISCHARGE OF SILT-ADEN RUNOFF FROM EXITING THE SITE.
9. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURFLANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-ADEN RUNOFF FROM EXITING THE SITE.
13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN EFFECTIVENESS.
17. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



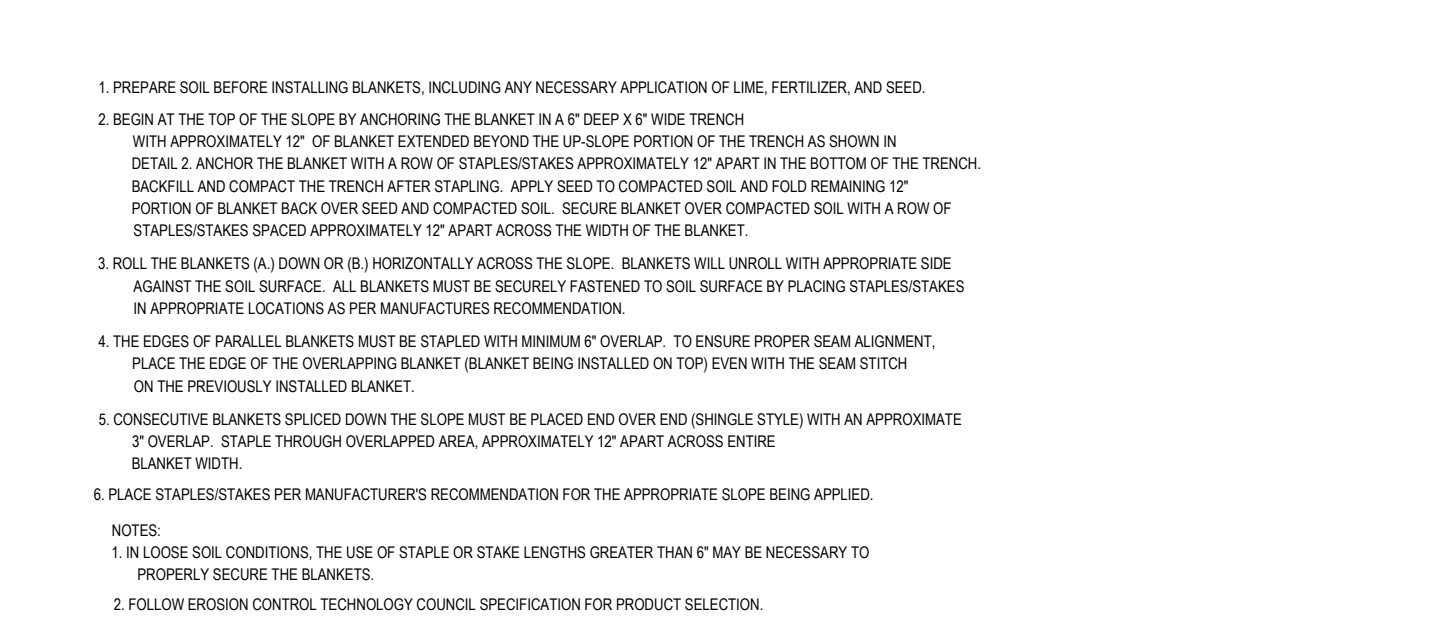
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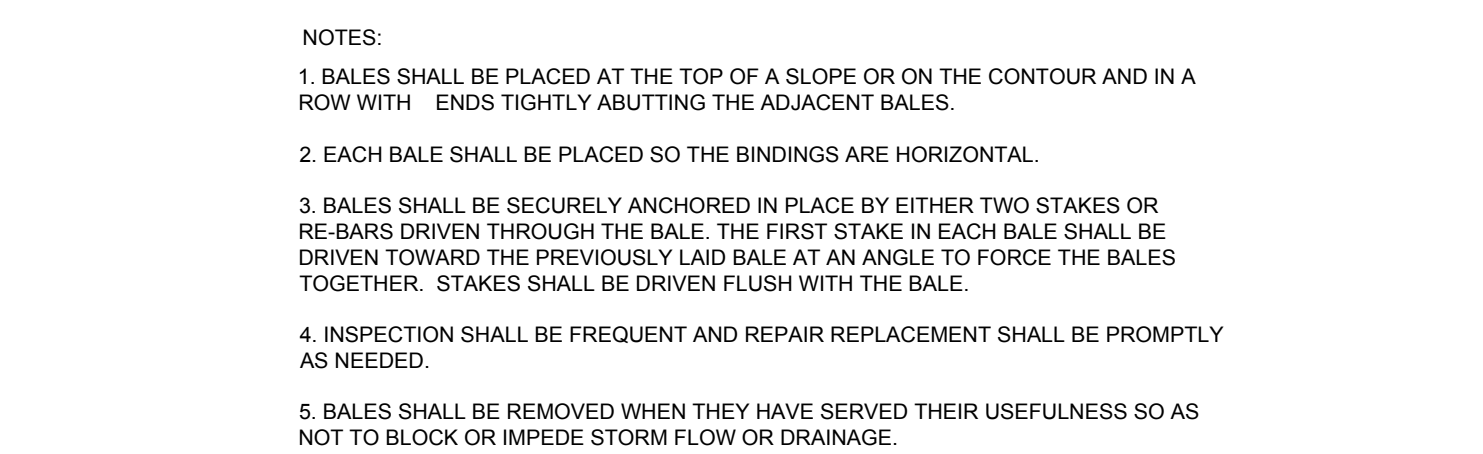
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MIXTURE TO BE INSTALLED AS REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION

N.T.S.

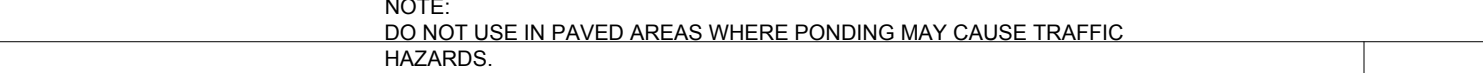


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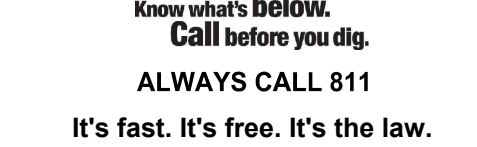
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PROJECT No.: MAA220228.
DRAWN BY: C
CHECKED BY: RM
DATE: 01/25/20
CAD I.D.: MAA220228.00-SPPD-
PROJECT:

PROJECT:

_____ FOR _____

**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS**

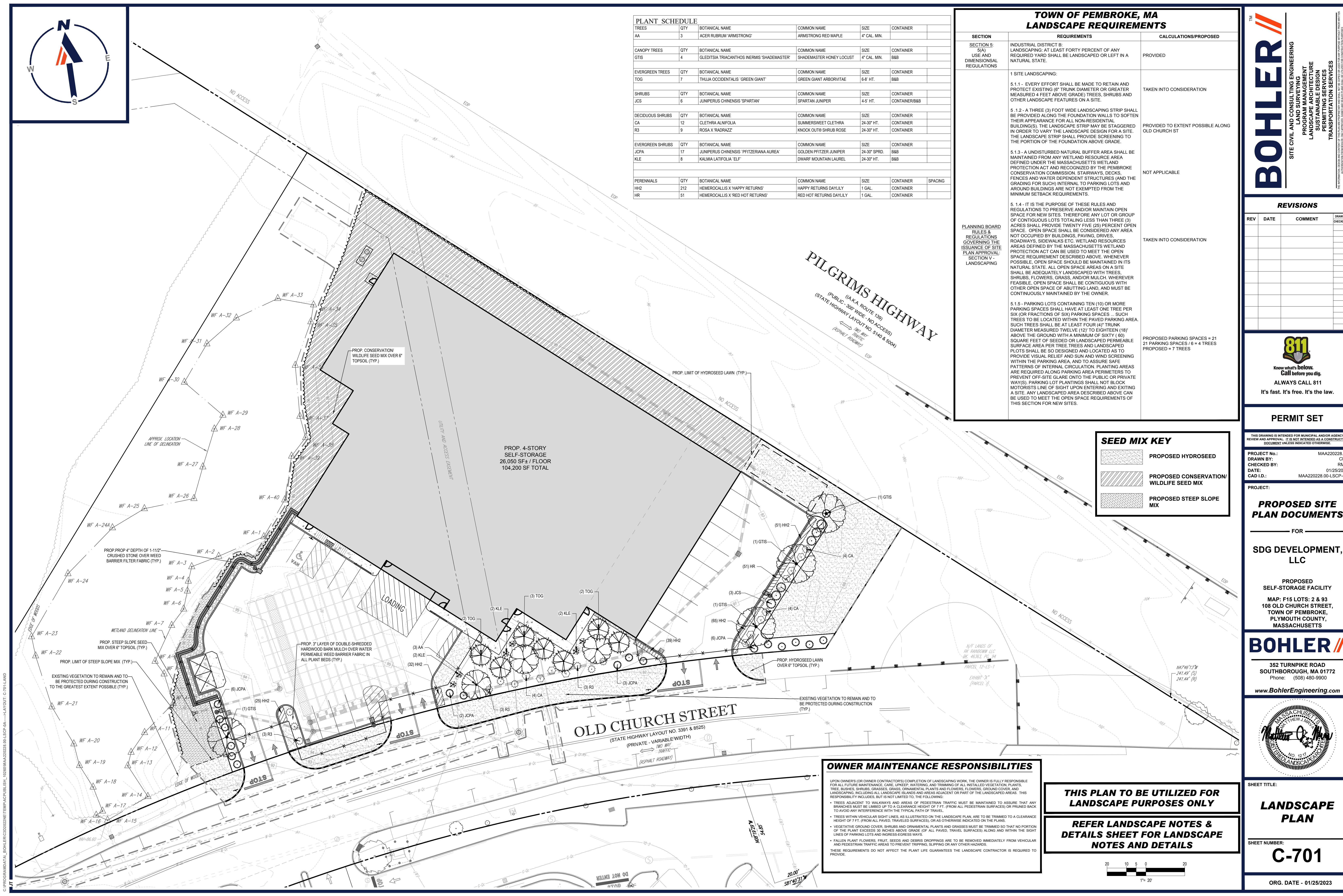
352 TURNPIKE ROAD

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C-602

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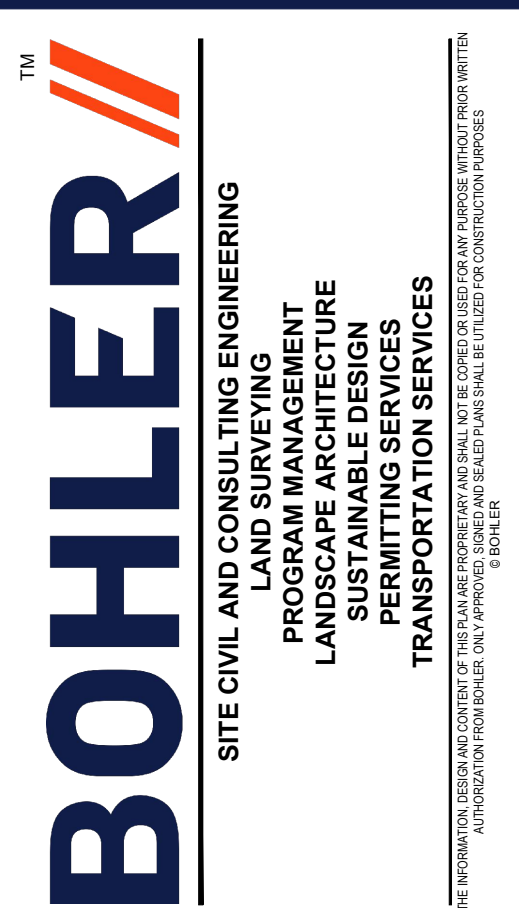


1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSPENDED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS, THEREFORE, PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN LUMINAIRE ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL FLUORESCENT LUMINAIRES. THESE FACTORS ARE BASED ON INDUSTRY STANDARDS INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENTLY CHECKING FOR DIRT ACCUMULATIONS, LEAKING OF LENSES, AND RELAXATION (IF NOT NEW) AT LEAST ONCE EVERY SIX MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. EXISTING ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LIGHTING FIXTURES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL ELECTRICAL, LIGHTING, AND MECHANICAL CODES. THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND ACCESSORIES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES WITHIN THE CONSTRUCTION AREMENS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.

LUMINAIRE SCHEDULE					
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
 A	4	SINGLE	10384	0.90	LSI LIGHTING TYPE 3 LED AREA LIGHT WITH SHIELD MOUNTED @ 25'; XGM-3-LED-S8-NW-HSS
 B	7	BUILDING	3377	0.90	LSI LIGHTING FORWARD THROW LED WALL LIGHT MOUNTED @ 10'; XGBWM-FT-LED-28-450-NW-UE



**THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY**

[illegible]

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PROJECT:

- FOR -

**PROPOSED
SELF-STORAGE FACILITY**

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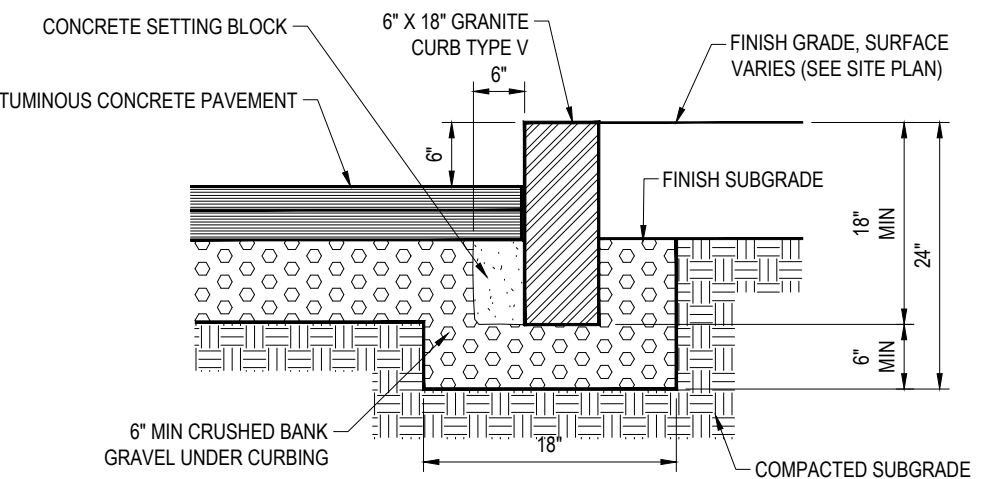
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PAVEMENT SECTION

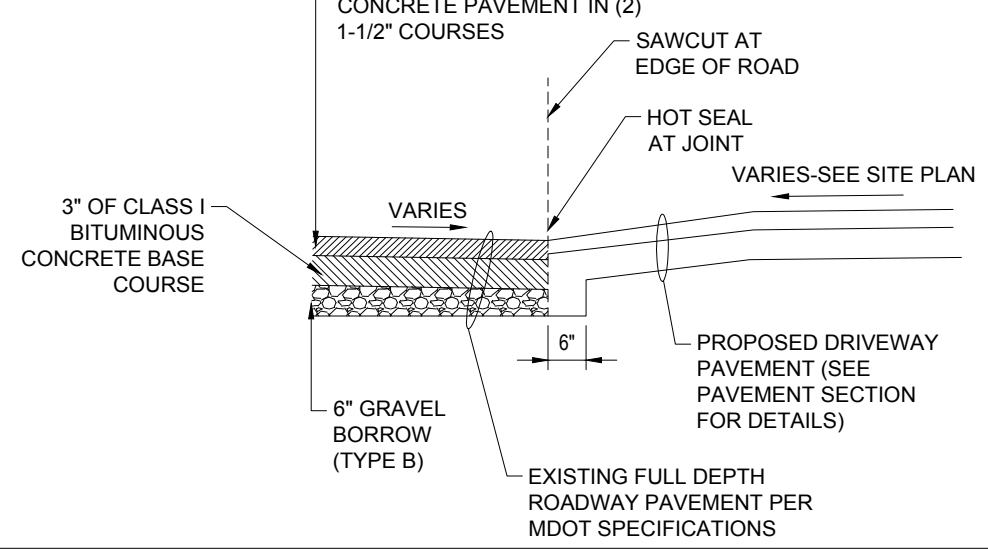
- NOTE: 1. CURB SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE, EXPOSED EDGES TO HAVE RUBBED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANT/SEALER.
2. THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.
3. THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.
4. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.
5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.

PRECAST CONCRETE CURB

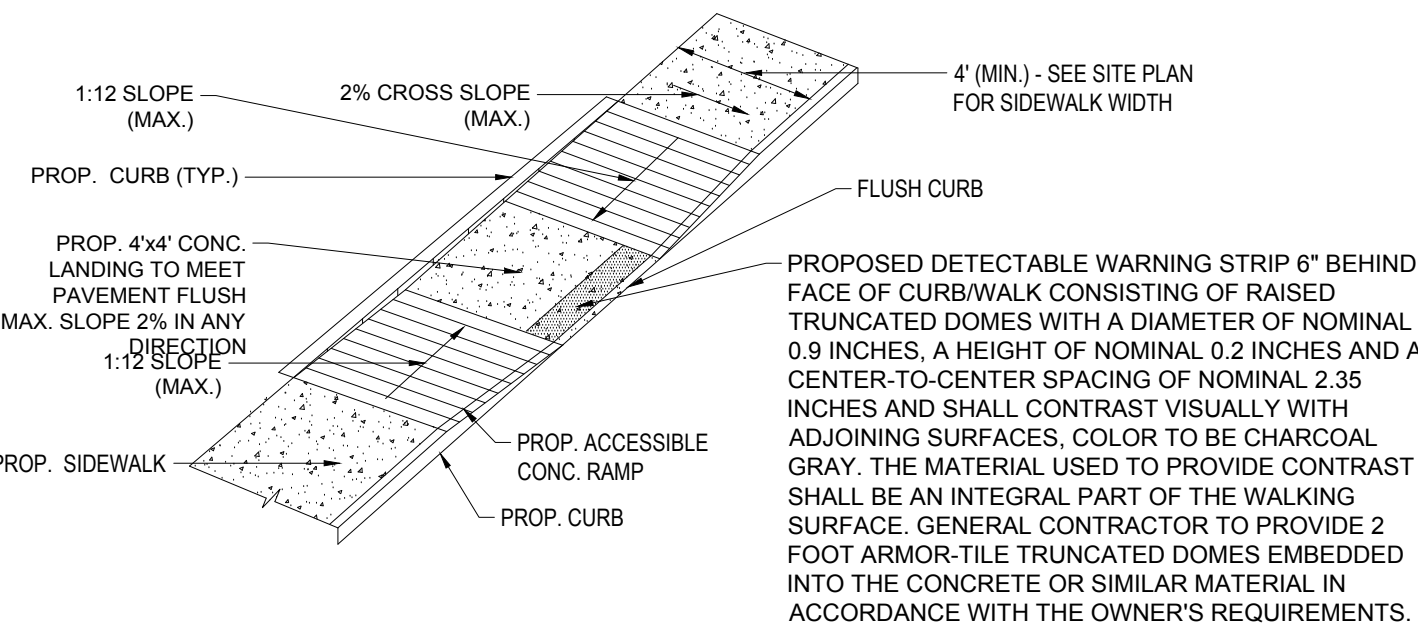
RETAINING WALL CROSS SECTION



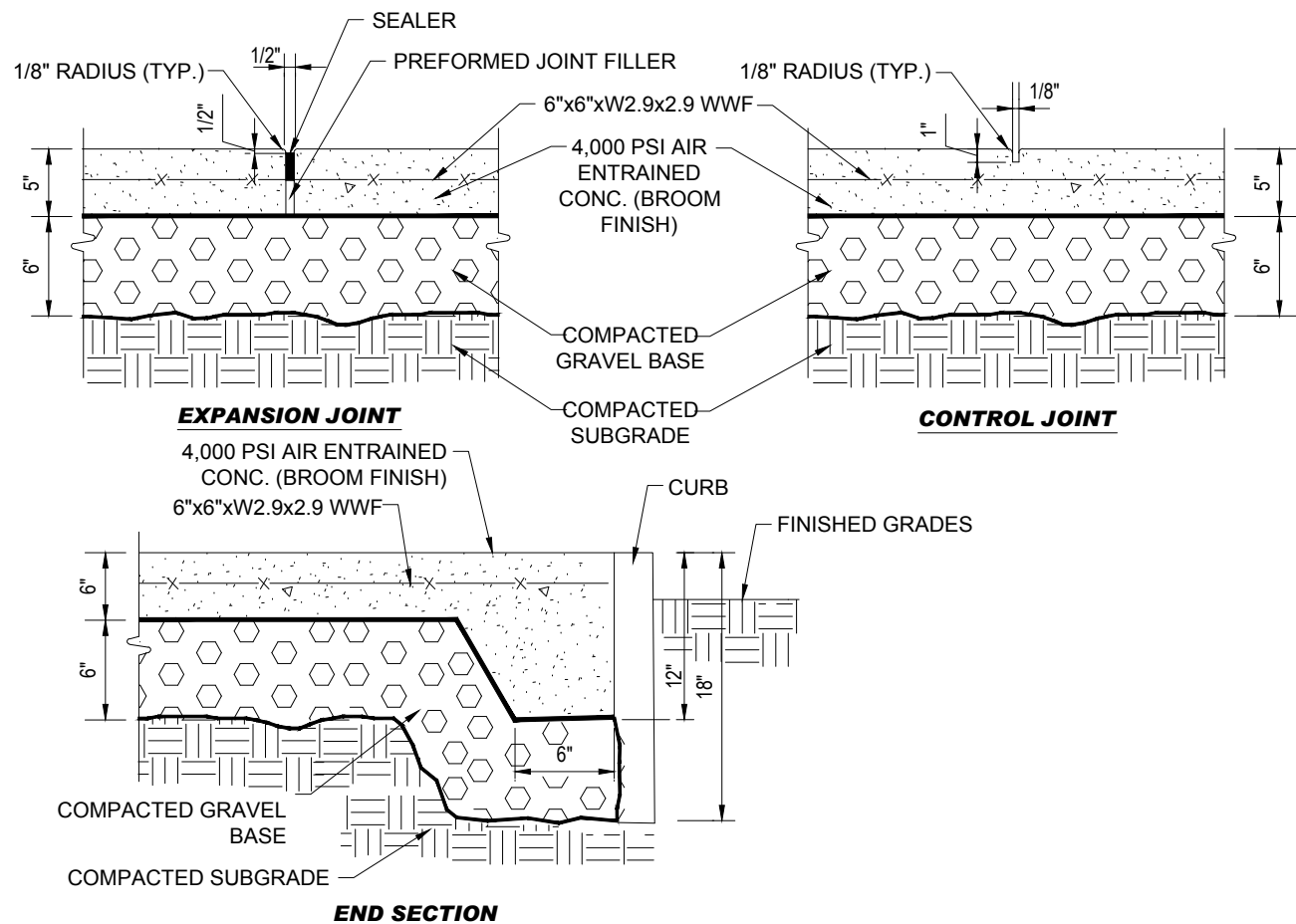
VERTICAL GRANITE CURB



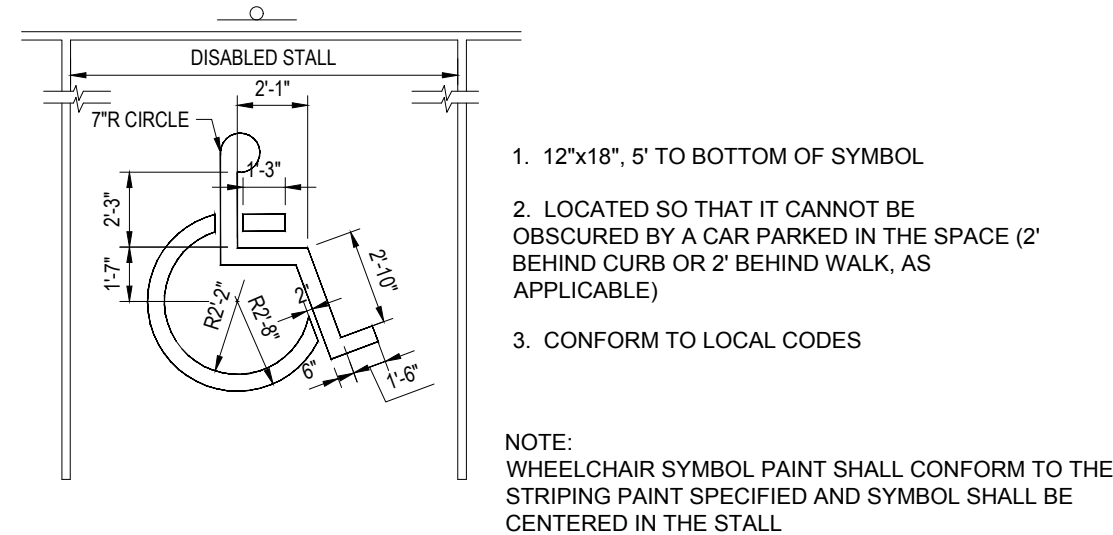
DRIVEWAY CONSTRUCTION



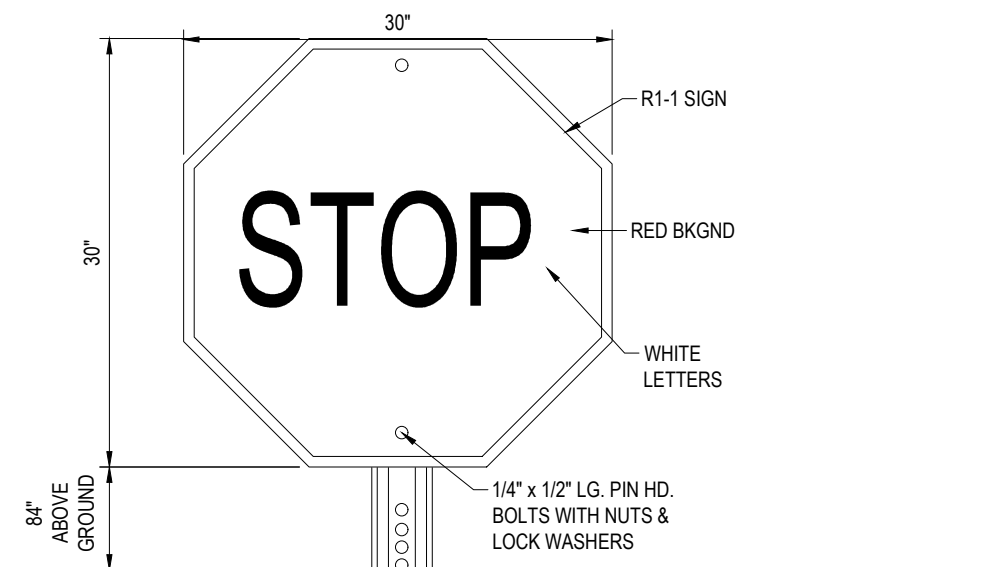
ACCESSIBLE RAMP



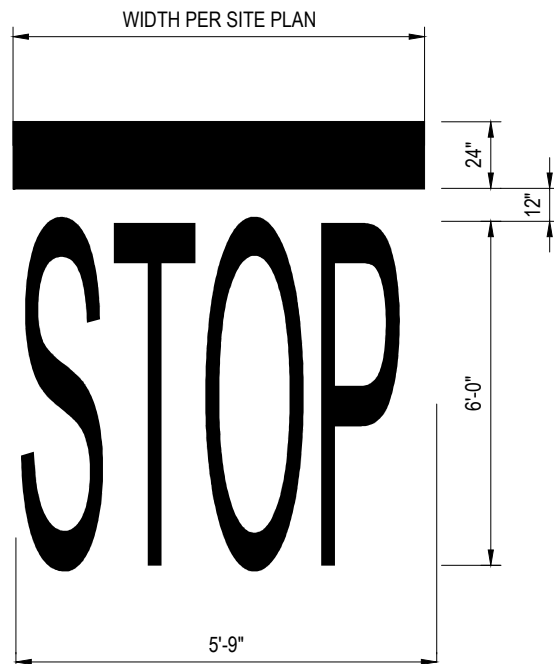
CONCRETE SIDEWALK



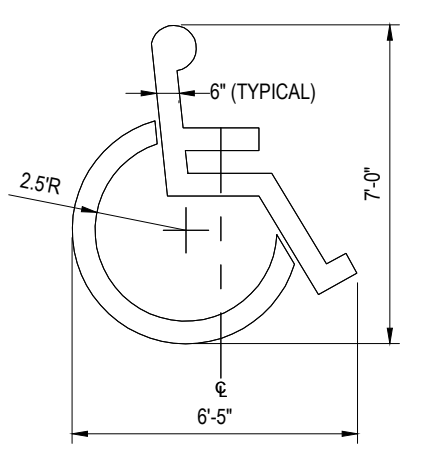
ACCESSIBLE PARKING STALL MARKINGS



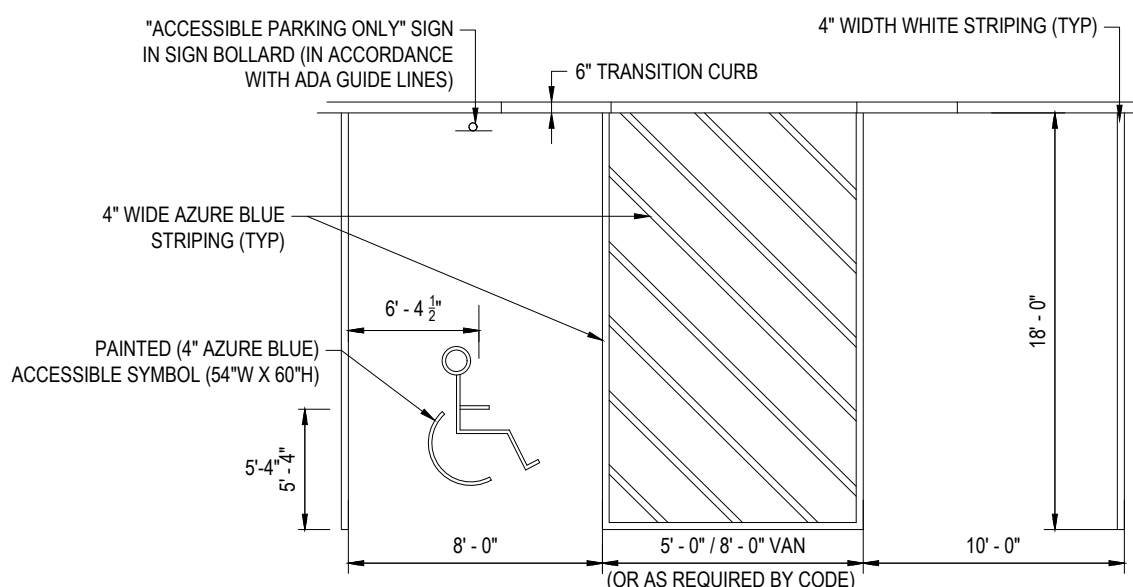
"STOP" SIGN



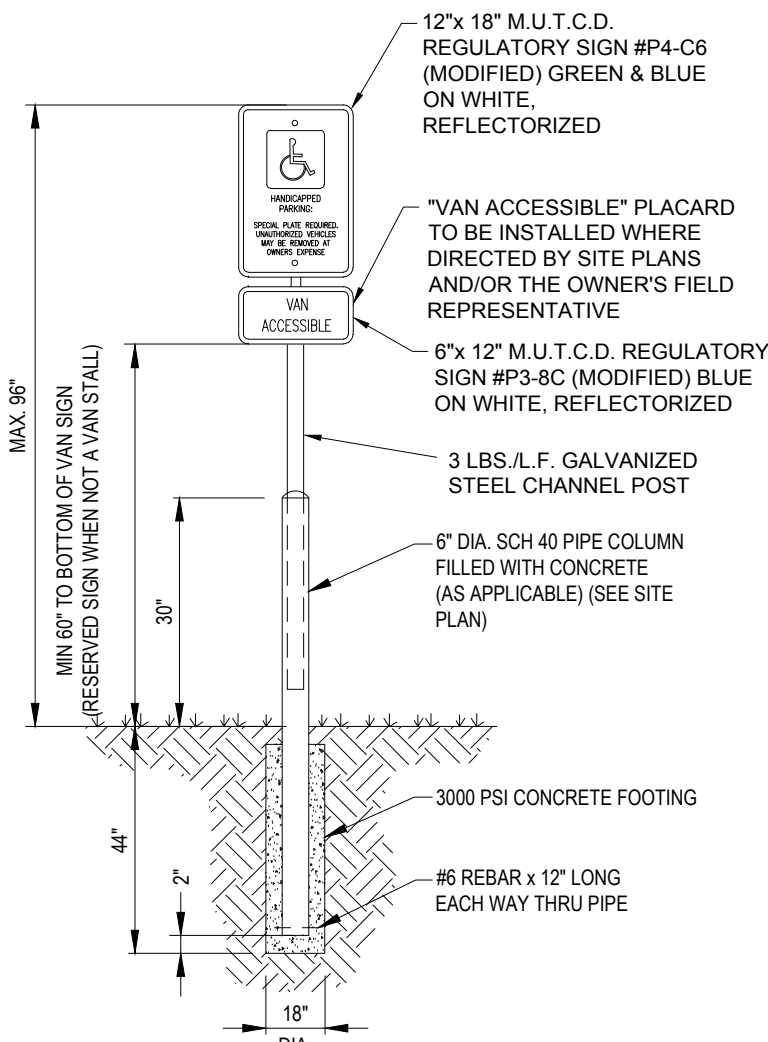
STOP BAR



ACCESSIBLE PARKING SYMBOL



ACCESSIBLE PARKING STALL MARKINGS



ACCESSIBLE PARKING SIGN ON CONCRETE BOLLARD

[illegible]

Know what's **below**.
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 ALWAYS CALL 811
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DRAWN BY:	CFD
CHECKED BY:	RMM
DATE:	01/25/2023
CAD I.D.:	MAA220228.00-SPPD-0A

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

FOR -

**SDG DEVELOPMENT,
LLC**

**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET,
TOWN OF PEMBROKE,
PLYMOUTH COUNTY,
MASSACHUSETTS**

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SHEET TITLE:

DETAIL SHEET

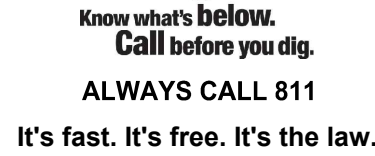
SHEET NUMBER:

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ORG. DATE - 01/25/2023



REVISIONS

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DRAWN BY:	CL
CHECKED BY:	RM
DATE:	01/25/20
CAD I.D.:	MAA220228.00-SPPD-

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

**SDG DEVELOPMENT,
LLC**

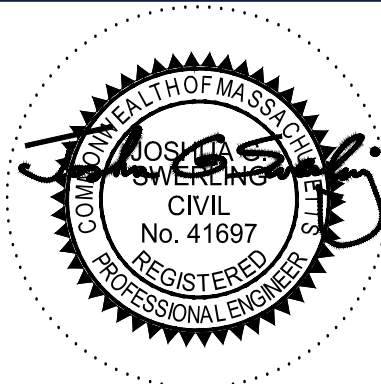
**PROPOSED
SELF-STORAGE FACILITY**

**MAP: F15 LOTS: 2 & 93
108 OLD CHURCH STREET
TOWN OF PEMBROKE,
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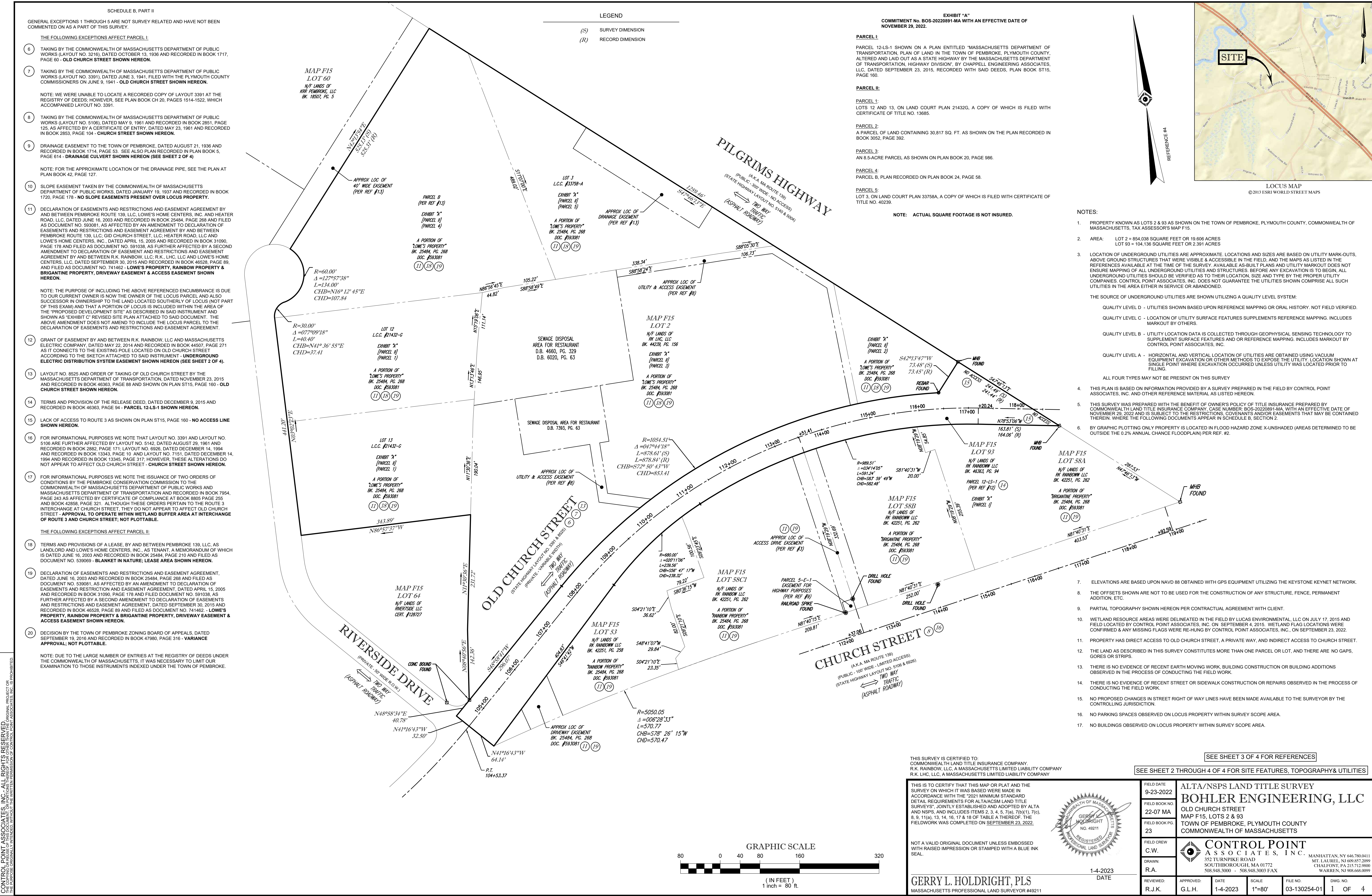
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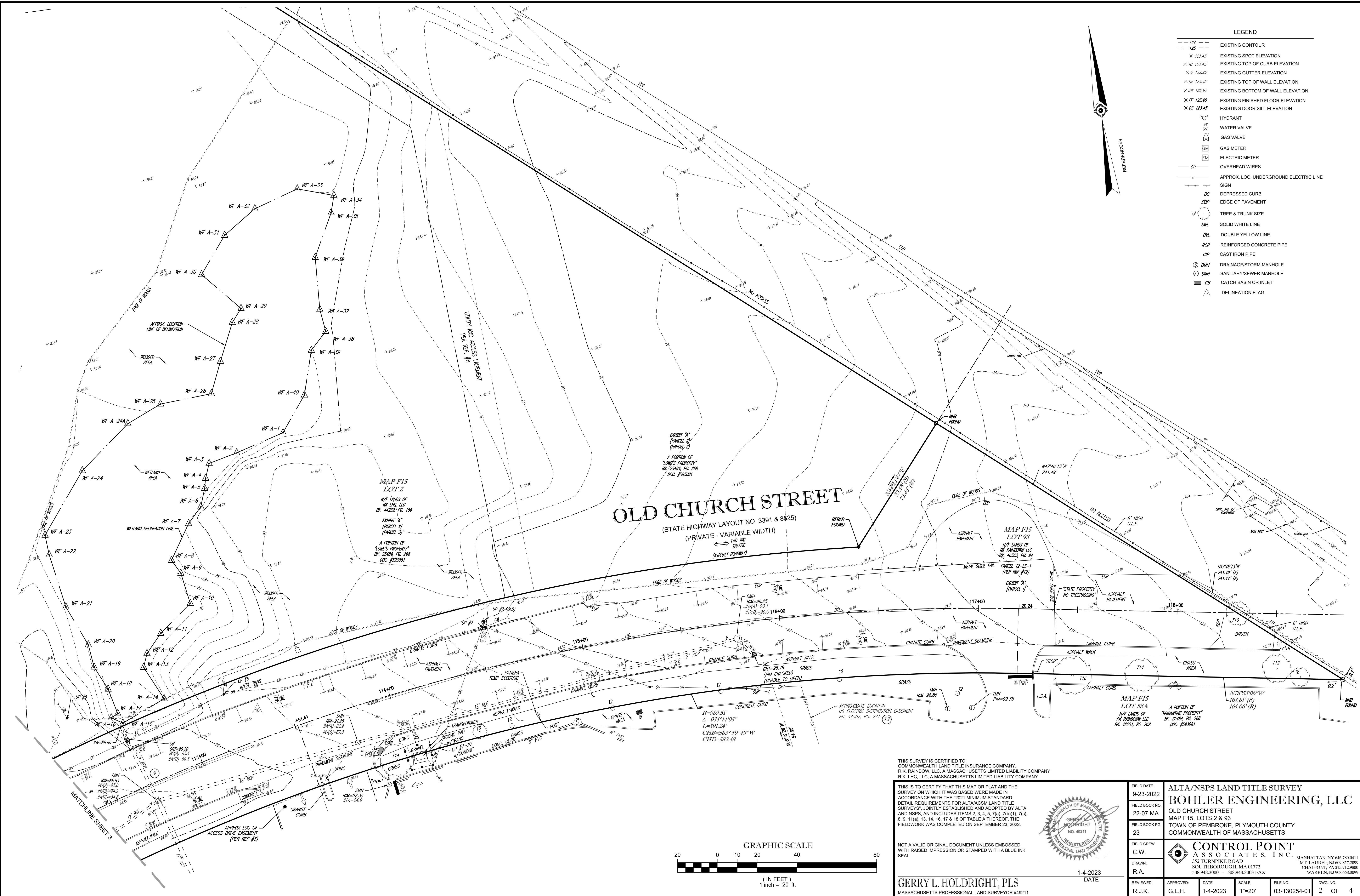
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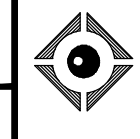
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R.K. RAINBOW, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY
R.K. LHC, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY

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DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE
SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA
AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c),
8, 9, 11(a), 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE
FIELDWORK WAS COMPLETED ON SEPTEMBER 23, 2022.

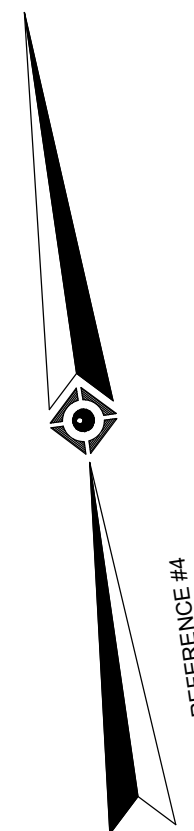
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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



FIELD DATE 9-23-2022	ALTA/NSPS LAND TITLE SURVEY			
FIELD BOOK NO. 22-07 MA	BOHLER ENGINEERING, LLC			
FIELD BOOK PG. 23	OLD CHURCH STREET MAP F15, LOTS 2 & 93 TOWN OF PEMBROKE, PLYMOUTH COUNTY COMMONWEALTH OF MASSACHUSETTS			
FIELD CREW C.W.	 CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD CHATHAM, MA 01722 508.948.3000 - 508.948.3003 FAX MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2099 CHALFONTE, PA 215.712.9000 WARREN, NJ 908.668.0099			
DRAWN: R.A.				
REVIEWED: R.J.K.				
APPROVED: G.L.H.				
DATE 1-4-2023	SCALE 1"=20'	FILE NO. 03-130254-01	DWG. NO. 2 OF 4	

1. THE TAX ASSESSOR'S MAP OF THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP F15.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PLYMOUTH COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 207 OF 650," MAP NUMBER 25023C0207J, EFFECTIVE DATE: JULY 17, 2012.
3. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: JUNE 28, 1980, STATE HIGHWAY LAYOUT NO. 5004, SHEETS 1 & 2 OF 5 SHEETS.
4. MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, BRIGANTINE VILLAGE & RAINBOW SQUARE, CHURCH STREET PEMBROKE, MA (PLYMOUTH COUNTY), PREPARED FOR RK CENTERS," PREPARED BY COLER AND CO/ANTONIO, INC., DATED NOVEMBER 13, 2012, PROVIDED BY CLIENT.
5. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: JUNE 3, 1941, STATE HIGHWAY LAYOUT NO. 3391, SHEET 8 OF 10.
6. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/CHURCH STREET IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT GROUP, INC., DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 2 OF 3.
7. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, CHURCH STREET IN PEMBROKE, MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT, LP," DATED APRIL 8, 1999, PREPARED BY THE BSC GROUP INC., SHEET 1 OF 1.
8. MAP ENTITLED, "COMPILED PLAN OF LAND, OLD CHURCH STREET, PEMBROKE, MASSACHUSETTS, PREPARED FOR A. W. PERRY INC., " PREPARED BY PERKINS ENGINEERING, INC., DATED JULY 8, 1986, FILED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 28, PAGE 408 ON DECEMBER 31, 1986.
9. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/IVERSIDE DRIVE IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR DOUCET AND ASSOCIATES," DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 1 OF 4.
10. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/CHURCH STREET IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT GROUP, INC., DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 2 OF 3.
11. MAP ENTITLED, "LOWE'S HOME IMPROVEMENT WAREHOUSE, PROPOSED BUILDING & ASSOCIATES, DRIVES, OLD CHURCH STREET, TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY BOHLER ENGINEERING, P.C., DATED NOVEMBER 30, 2000. LAST REVISED JUNE 5, 2002.
12. MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION," PREPARED BY CHAPPELL ENGINEERING ASSOCIATES, LLC, DATED NOVEMBER 23, 2015. LAYOUT NO. 8525. THREE SHEETS.
13. MAP ENTITLED "PLAN OF LAND IN PEMBROKE, MASS., DRAWN FOR T. D. BELMONT COMPANY," PREPARED BY BSC, DATED AUGUST 8, 1993, RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 24, PLAN 58.




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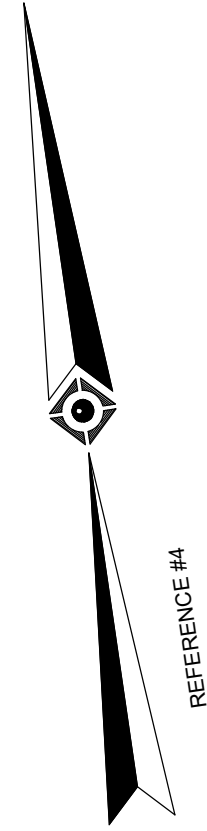
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MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #4921

FIELD DATE 9-23-2022	ALTA/NSPS LAND TITLE SURVEY			
FIELD BOOK NO. 22-07 MA	BOHLER ENGINEERING, LLC			
FIELD BOOK PG. 23	OLD CHURCH STREET MAP F15, LOTS 2 & 93 TOWN OF PEMBROKE, PLYMOUTH COUNTY COMMONWEALTH OF MASSACHUSETTS			
FIELD CREW C.W.	 CONTROL POINT ASSOCIATES, INC.		MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2099 CHALFONT, PA 215.712.9800 WARREN, NJ 908.363.0099	
DRAWN: R.A.	352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.945.3900 - 508.945.3063 FAX			
REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.
R.J.K.	G.L.H.	1-4-2023	1"=20'	03-130254-01
				DWG. NO. 3 OF 4

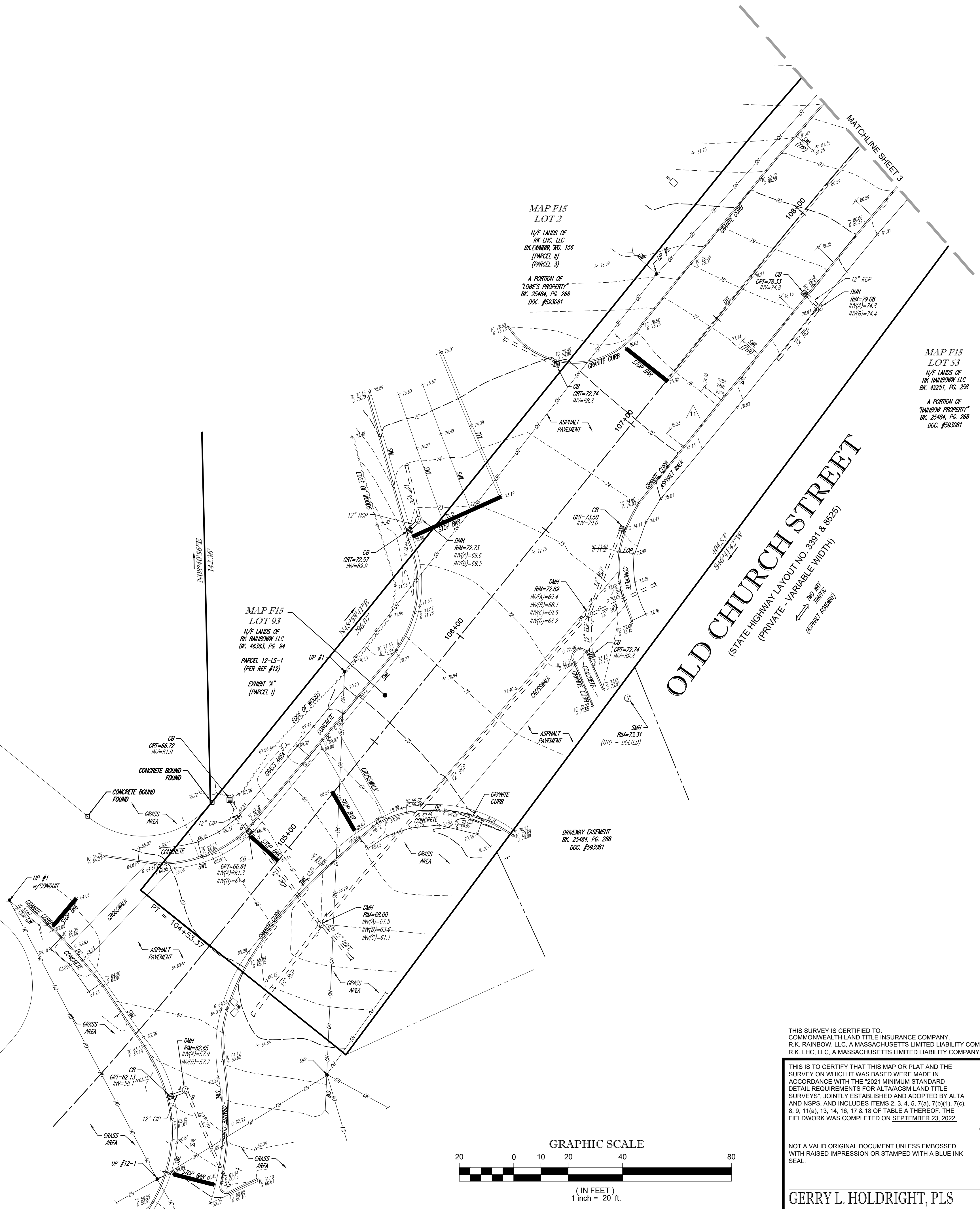
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THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC., IS PROHIBITED.

- LEGEND
- 124 EXISTING CONTOUR
 - 125 EXISTING CONTOUR
 - 123.45 EXISTING SPOT ELEVATION
 - TC 123.45 EXISTING TOP OF CURB ELEVATION
 - G 122.95 EXISTING GUTTER ELEVATION
 - 1W 123.45 EXISTING TOP OF WALL ELEVATION
 - BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - FF 123.45 EXISTING FINISHED FLOOR ELEVATION
 - DS 123.45 EXISTING DOOR SILL ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - SIGN
 - DC DEPRESSED CURB
 - EOP EDGE OF PAVEMENT
 - 18" TREE & TRUNK SIZE
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - RCP REINFORCED CONCRETE PIPE
 - CIP CAST IRON PIPE
 - DMH DRAINAGE/STORM MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - CB CATCH BASIN OR INLET
 - DELINEATION FLAG



RIVERSIDE DRIVE
(PRIVATE - 50' WIDE R.O.W.)
10' WIDE R.O.W.
(ASPHALT PAVEMENT)

OLD CHURCH STREET
(STATE HIGHWAY LAYOUT NO. 3391 & 8525)
(PRIVATE - VARIABLE WIDTH)
10' WIDE R.O.W.
(ASPHALT PAVEMENT)



THIS SURVEY IS CERTIFIED TO:
COMMONWEALTH LAND TITLE INSURANCE COMPANY.
R.K. RAINBOW, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY
R.K. LHC, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE
SURVEY ON WHICH IT WAS BASED WERE MADE IN
ACCORDANCE WITH THE "2021 MINIMUM STANDARD
DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE
SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA
AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c),
8, 9, 11(a), 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE
FIELDWORK WAS COMPLETED ON SEPTEMBER 23, 2022.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK
SEAL.



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

1-4-2023
DATE

FIELD DATE 9-23-2022	ALTA/NSPS LAND TITLE SURVEY BOHLER ENGINEERING, LLC				
FIELD BOOK NO. 22-07 MA	OLD CHURCH STREET MAP F15, LOTS 2 & 93				
FIELD BOOK PG. 23	TOWN OF PEMBROKE, PLYMOUTH COUNTY COMMONWEALTH OF MASSACHUSETTS				
FIELD CREW C.W.	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX				
DRAWN R.A.	MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2099 CHALFONT, PA 215.712.9800 WARREN, NJ 908.668.0099				
REVIEWED R.J.K.	APPROVED G.L.H.	DATE 1-4-2023	SCALE 1"=20'	FILE NO. 03-130254-01	DWG. NO. 4 OF 4

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