

USGS MAP SCALE: 1" = 1,000' SOURCE: HANOVER MASSACHUSETTS USGS QUADRANGLE

PROPOSED SITE PLAN DOCUMENTS

— FOR ———

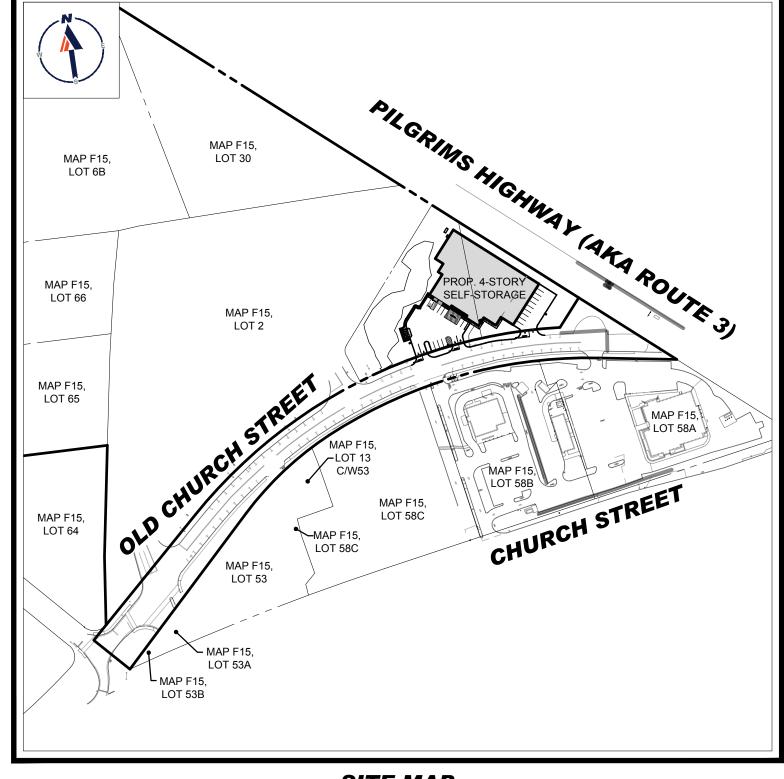
SDG DEVELOPMENT, LLC

PROPOSED **SELF-STORAGE FACILITY**

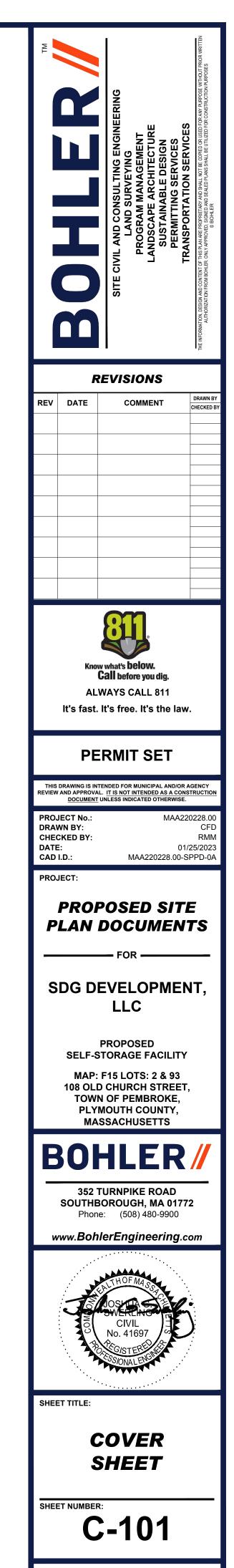
LOCATION OF SITE: **108 OLD CHURCH STREET, TOWN OF PEMBROKE** PLYMOUTH COUNTY, MASSACHUSETTS MAP #F15, LOTS #2 & 93

PREPARED BY

BOHLER//



SITE MAP SCALE: 1" = 200'



ORG. DATE - 01/25/2023

DRAWING SHEET INDEX

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PLANNING BOARD APPROVAL THE SITE PLAN DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE ZONING BY-LAW. DATE APPROVEI

PEMBROKE TOWN CLERK:

, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIP AND RECORDING OF SAID NOTICE.

DATE

TOWN CLERK, TOWN OF PEMBROKE

GENERAL NOTES

1.	THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.	1.	TH Al BE
	ANT OTHER SITE FEATURES.	2.	Tł

- THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS, BULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS. ATTACHMENTS AND ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST
- CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS THE CONTRACTOR MUST FIELD VERIEVALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER. IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER. THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- THE CONTRACTOR MUST VERIEVAL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS.
- THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT. DISCREPANCY OR AMBIGUITY. THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS. MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK IF A GEOTECHNICAL REPORT WAS NOT CREATED. THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER HAS NO LIABILITY FOR ANY
- HAZARDOUS MATERIALS. HAZARDOUS SUBSTANCES. OR POLLUTANTS ON. ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST
- AND EXPENSE THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN. AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES. PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
- THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE STRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT
- THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES. COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS.
- THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY IN JURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR WNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME
- ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED. WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR OSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE
- THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION . NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS,

PROJECT INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S) ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTICY ENGINEER. IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE

DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST

NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE

- WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT, BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. 30HLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS. INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND. INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME
- THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE. AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT
- ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. IARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE
- FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JRISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.
- THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING
- AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER. THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

	GENERAL DEMOLITION NOTES	GENERAL GRADING NOTES	AD
N Y	THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.	 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 	1. ALL REG
AT	2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.	 SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW 	2. THE L GUI 3. THE
:	3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.	 THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING 	
	 THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK 	ANY WORK. 4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING.	
NO ED	 NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. 4.2. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. 	5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET	
L R	5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.	FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY	3.5.
) ,	B. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.	 CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. 6. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). 	3.6.
	7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.	 THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. 	3.7.
R	3. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BY BOHLER, IN WRITING, ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND	 THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 1.5% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE. 	4. IT IS COE 5. IN A
6	 SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: 	10. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND BOTTOM OF THE WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES.	STR ENG REL
E	 OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE. AND MAINTAIN SAID CONTROLS UNTIL SITE IS 	 MSE OR GRAVITY BLOCK WALLS SHALL BE CONSTRUCTED SUCH THAT UPON COMPLETION OF CONSTRUCTION THERE IS NO UNFINISHED SURFACE OR LIFTING RINGS VISIBLE (E.G. USE OF FINISHED TOP BLOCK OR CAP STONES) STORMWATER RUNOFF WITHIN PROPERTY MUST BE COLLECTED ON-SITE WITH NO OVERLAND RUNOFF ONTO THE RIGHT-OF-WAY OR ADJACENT PROPERTIES TO THE MAXIMUM EXTENT POSSIBLE OR IN THE MANNER SHOWN ON THE CONSTRUCTION DRAWINGS. STORMWATER RUNOFF ONTO ADJACENT PROPERTIES SHALL BI 	F
; ?	STABILIZED 10.4. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.	 BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD. 	Ξ
	 LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES. 	 14. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL ADA GUIDELINES AND REQUIREMENTS. 15. FOR ALL RETAINING WALLS 4 FEET OR GREATER IN HEIGHT: 	
Ō	 ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE 	 FOR ALL RETAINING WALLS 4 FEET OR GREATER IN HEIGHT. 15.1. THE OWNER OR THE OWNER'S CONTRACTOR IS TO PROVIDE A SITE-SPECIFIC RETAINING WALL DESIGN PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED (E.G. STRUCTURAL ENGINEER) IN THE STATE WHERE THE CONSTRUCTION OCCURS. SOIL TYPES, WATER TABLE ELEVATION, EXISTING & PROPOSED SURROUNDING IMPROVEMENTS/CONDITIONS (INCLUDING BUT NOT LIMITED TO SLOPES, DRIVE AISLES, ROADS, FENCING, GUIDERAILS, UTILITIES, DRAINAGE FACILITIES, STRUCTURES, FOUNDATIONS), LIVE LOADS AND OTHER SITE AMENITIES THAT COULD HAVE AN INFLUENCE OR IMPACT ON THE RETAINING WALL(S) CONSTRUCTABILITY AND/OR LONGEVITY SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN AS WELL AS THE GLOBAL STABILITY ANALYSIS. 	
0	 PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. 	 15.2. PEER REVIEW AND GLOBAL STABILITY ANALYSIS OF THE RETAINING WALL DESIGN MUST BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER TO CERTIFY THE DESIGN MEETS INDUSTRY STANDARDS FOR FACTOR OF SAFETY. SOIL TYPES, WATER TABLE ELEVATION AND DESIGN PROPERTIES AS NOTED ABOVE SHALL BE FIELD CONFIRMED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO WALL CONSTRUCTION. 16. CONTRACTOR SHALL INSTALL CONCRETE CURB ALONG FACE OF BUILDING / WALL AS SHOWN TO PROVIDE CONSISTENT WIDTH ALONG LENGTH OF PROPOSED 	
	 PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. 11. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. 	ACCESSIBLE RAMP AND RAMP LANDING TO MEET ADA/AAB REQUIREMENTS. 17. CONTRACTOR SHALL REVIEW RETAINING WALL LOCATIONS VERSUS APPLICABLE STATE AND LOCAL CODES AND PROVIDE FALL PROTECTION (E.G. FENCING OR	KEY
	2. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION. 2. THE CONTRACTOR MUST PARKETLE AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.	RAILING) IN ACCORDANCE WITH SAID CODE. 18. CONTRACTOR SHALL COORDINATE WITH OWNER/OPERATOR TO REVIEW EXISTING DEPRESSIONS WITHIN EXISTING PAVEMENT AREAS TO REMAIN AND SHALL CONFIRM THAT THE SCOPE OF WORK SHALL PROVIDE POSITIVE DRAINAGE BY FIXING ANY EXISTING AREAS OF PONDING.	AG / AB ARCH BC
D	13. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND	19. BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD. GENERAL DRAINAGE & UTILITY NOTES	BCC BM BOC
	THE OWNER. 4. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL. STATE. AND LOCAL GOVERNMENTS	 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 	BW BLDG CC CCB
Y IE.	 OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND 	2. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE ENGINEER OF RECORD.	CONC. DEC °
R D DM	DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST.	3. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE	DEP Ø/DIA DMH DIP
	STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY. 7. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO	 UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO 	ECC EOP ELEV
8	THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 18. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL	 THE CONTRACTOR MOST FIELD VERITIFIED ROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTITIES BY USING A TEST FIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. 	EXIST.
ON .	ARE AT THE CONTRACTOR'S SOLE COST. 9. THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE	6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION	GC GRT HDPE
:	ACTIVITY. 20. CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED IMPROVEMENTS.	PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY	HP INT INV
	21. CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.	 CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE 	L.S.A. LOD LOW
	22. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS, DELETERIOUS MATERIALS, AND/OR DEBRIS THAT IMPEDE THE WORK SHOWN ON THESE PLANS.	GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS 8. DURING THE INSTALLATION OF SANITARY. STORM. AND ALL UTILITIES. THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF	LP MAX
!	 THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC. THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP) 	CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. 9. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS,	MEP ME MIN No. / #
ED E	CONSULTANT (TYP.) 25. WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY.	ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY,	± PC PI
•	26. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE DEVELOPMENT.	REGARDLESS OF WHAT THIS PLAN DEPICTS. 11. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.	PT PVI PVC
:	27. CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK SHALL BE PERFORMED BY A LICENSED / DOT APPROVED SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.	12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES	S. R RCP
	28. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.	13. THE CONTRACTOR'S PRICE FOR WATER AND SEWER SERVICE INSTALLATIONS MUST INCLUDE ALL FEES, COSTS, AND APPURTENANCES REQUIRED BY THE UTILITY PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK) TO PROVIDE FULL AND COMPLETE WORKING SERVICE, INCLUDING (BUT NOT LIMITED TO) NECESSARY FEES, TESTING, DISINFECTING, INSPECTIONS, ROAD OPENING & BACKFILL REQUIREMENTS, TRAFFIC CONTROL AND SURETY BONDS AS DEFINED BY THE PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK).	R.O.W. SAN SMH
	29. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS. GENERAL SITE NOTES	14. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTENANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING, GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT.	SGC
-	THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST	15. SEWERS CONVEYING SANITARY FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST, AT A MINIMUM, BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES OF VERTICAL SEPARATION FROM THE BOTTOM OF THE WATER MAIN TO THE TOP OF THE SEWER LINE. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT	STA STM TBR
D	BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE		TBR/R TC TW TPF
Έ,	RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.	16. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL UTILITY SERVICES, INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR MUST CAP ENDS OF INSTALLED UTILITIES AS APPROPRIATE, MARK UTILITY ENDS WITH MAGENTIC TRACER TAPE, MARK TERMINOUS LOCATIONS WITH A 2X4 STAKE, AND MUST NOTE THE LOCATION OF ALL UTILITY STUBS ON A CLEAN COPY OF THE PLAN. THIS RECORD DOUBLE TAILOR TO THE DESCRIPTION OF THE PLAN. THIS RECORD DOUBLE THE DESCRIPTION OF THE PLAN. THIS RECORD DOUBLE THE DESCRIPTION OF THE PLAN. THIS RECORD ON THE DOUBLE OF THE DESCRIPTION OF THE PLAN. THIS RECORD DOUBLE THE DESCRIPTION OF THE DOUBLE AND MUST NOTE THE LOCATION OF THE DUBLIC OPED HOME THE DATE THE THE DOUBLE OF THE THE THE DOUBLE OF THE THE THE OWNED THE DOUBLE OF THE THE THE DOUBLE OF THE THE THE THE DOUBLE OF THE THE THE DOUBLE OF THE THE THE THE DOUBLE OF THE THE THE THE DOUBLE OF THE THE THE DOUBLE OF TH	TYP.
ТО	4. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.	DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 17. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS	V.I.F. VGC W
/E.	ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.	 INDICATED ON THE PLANS OTHERWISE. UNLESS INDICATED OTHERWISE, ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC., MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS. SANITARY DIDE MUST BE DOL XVINYL CHI ORIDE (RVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. SANITARY LATERAL (S) MUST BE DVC SDR 26 	
LE IY	3. WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED).	 SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. SANITARY LATERAL(S) MUST BE PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT/SOIL TIGHT JOINTS. WHEN UNCLUDENCITY POLYETING FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR PIPE (UPPE) IS CALLED FOR ON THE PLANE OF MUST CONFORM TO AASUTO MICH FOR PIPE (UPPE) IS CALLED FOR PIPE IS CALLED F	
	 ALL CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT 28 DAYS (OR 4,000 PSI) UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT. THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR PERMIT UNDER SEPARATE APPLICATION UNLESS DONE SO AS PART OF JURISDICTIONAL PERMITTING PROCEDURES. 		
٨L	D. THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, PAVEMENT MARKINGS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT.	21.2. FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034. 21.3. UNLESS LOCAL OR STATE BUILDING / PLUMBING CODE CLEARLY SPECIFIES DIFFERENTLY, SANITARY LATERALS MUST BE PVC SDR 26.	
E R	 WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, 	 FOR ALL UTILITY PIPING (INCLUDING DRAIN) WITHIN 10 FT OF A BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES. CONTRACTOR SHALL REFER TO PLUMBING ENGINEERING PLANS AND VERIFY PIPE MATERIAL WITH LOCAL OFFICIAL PRIOR TO ORDERING OF MATERIALS. CONTRACTOR SHALL VERIFY THE CONNECTION OF EXTERIOR PIPING TO ANY FIXTURES (SUCH AS AN EXTERIOR GREASE INTERCEPTOR) OR OTHER DRAINAGE 	
(' ER	RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN.	SYSTEMS WITH LOCAL OFFICIALS FOR COMPLIANCE WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES PRIOR TO ORDERING OF MATERIALS 22. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.	3.
	 CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS. CONTRACTOR SHALL PROVIDE FIELD MODIFICATION LOCATIONS OF BOLLARDS AND BOLLARDS WITH SIGNAGE AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN. 		

- MODIFICATION LOCATIONS OF BOLLARDS AND BOLLARDS WITH SIGNAGE AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN

ADA INSTRUCTIONS TO CONTRACTOR:

ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.): AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY

GUIDELINES THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

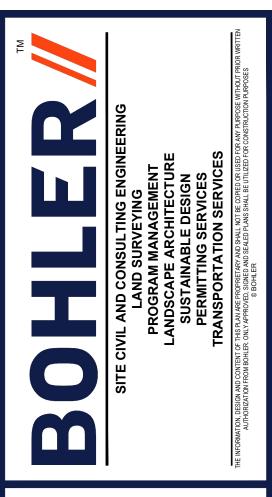
ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL

CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP. FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST

BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTO MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE

CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

IN ADDITION TO THE ABOVE, THE CONTRACTOR MUST ALSO ENSURE THAT ALL ACCESSIBLE COMPONENTS AND ACCESSIBLE ROUTES ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS 521 CMR. THE CONTRACTOR MUST IMMEDIATELY NOTIFY TH FNGINFER OF RECORD. IN WRITING, OF ANY DISCREPANCIES BETWEEN THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE AND STATE BUILDING CODE AS I RELATES TO ANY ACCESSIBLE IMPROVEMENTS BEING CONSTRUCTED PRIOR TO COMMENCING THE WORK.



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ABBREVIATIONS

	DESCRIPTION
/ ABVG	ABOVE GROUND
CH	ARCHITECT
0	BACK OF CURB BITUMINOUS CONCRETE CURB
5	BENCHMARK
2	BOTTOM OF CURB
	BOTTOM OF WALL
G	BUILDING
	CONCRETE CURB
3	CAPE COD BERM
IC.	CONCRETE
	DECORATIVE
	DEGREE DEPRESSED
DIA	DIAMETER
<i>ви</i> (DRAIN MANHOLE
-	DUCTILE IRON PIPE
)	EXTRUDED CONCRETE CURB
	EDGE OF PAVEMENT
/	ELEVATION
Т.	EXISTING
	FINISH FLOOR ELEVATION
	GENERAL CONTRACTOR
E	GRATE HIGH DENSITY POLYETHYLENE PIPE
-	HIGH POINT
	INTERSECTION
	INVERT
۱.	LANDSCAPE AREA
	LIMIT OF DISTURBANCE
1	
	LINEAR FOOT / FEET
,	
(MAXIMUM MECHANICAL, ELECTRICAL,
	PLUMBING
	MEET OR MATCH EXISTING
	MINIMUM
/#	
	PLUS OR MINUS POINT OF CURVATURE
	POINT OF CORVATORE
	POINT OF TANGENCY
	POINT OF VERTICAL INTERSECTION
	POLYVINYL CHLORIDE PIPE
P.	PROPOSED
	RADIUS OR RADII
	REINFORCED CONCRETE PIPE
W.	RIGHT-OF-WAY
1	SANITARY
1	SEWER MANHOLE
	SQUARE FOOT
;	SLOPED GRANITE CURB
	STATION
	STORM
	TO BE REMOVED
/R	TO BE REMOVED AND REPLACED
	TOP OF CURB
	TOP OF WALL
	TREE PROTECTION FENCE
NS	TRANSITION
	TYPICAL UNDERGROUND
	VERIFY IN FIELD
/ UNDG :. C	VERTICAL GRANITE CURB

TYPIC	CAL LI	NE TYPE LEGEND
	EXISTING	
PROPERTY LINE	PROPOSED	
ADJACENT PROPERTY	EXISTING	
LINE	PROPOSED	
	EXISTING	
RIGHT-OF-WAY LINE	PROPOSED	
	EXISTING	
SETBACK OR BUFFER	PROPOSED	
	EXISTING	
EASEMENT LINE	PROPOSED	
	EXISTING	· · · · · · · · · · · · · · · · · · ·
WETLAND BOUNDARY	PROPOSED	
	EXISTING	· · · · · · · · · · · · · · · · · · ·
WETLAND BUFFER	PROPOSED	
WATER WAY BOUNDARY	EXISTING	
	PROPOSED	
WATERWAY BUFFER	EXISTING	
	PROPOSED	
WETLAND OR WATERWAY FLAG	EXISTING	
RIGHT-OF-WAY CENTER	EXISTING	
OR BASE LINE	PROPOSED	
APPROX. LIMIT OF WORK	EXISTING	
OR DISTURBANCE	PROPOSED	
	EXISTING	
APPROX. SAWCUT LINE	PROPOSED	
	EXISTING	
TREE LINE	PROPOSED	·
	EXISTING	
	PROPOSED	
	EXISTING	OH _OH
OVERHEAD WIRES	PROPOSED	OHOHOHOH
I		
	EXISTING	
CURBING		
CURBING	PROPOSED	CC/BCC MONOLITHIC VGC SGC TRANS/FLUSH CCB
	PROPOSED EXISTING	
	PROPOSED	CC/BCC MONOLITHIC VGC SGC TRANS/FLUSH CCB
FENCE OR RAILING	PROPOSED EXISTING	——————————————————————————————————————
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FENCE OR RAILING RETAINING WALL CONTOURS	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED	CHAIN LINK STOCKADE RAILING
FENCE OR RAILING RETAINING WALL CONTOURS SWALE	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING	CHAIN LINK STOCKADE RAILING
FENCE OR RAILING RETAINING WALL CONTOURS SWALE	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING	CHAIN LINK STOCKADE RAILING
FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED	CHAIN LINK STOCKADE RAILING
FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING	X O CHAIN LINK STOCKADE RAILING
FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED	X O CHAIN LINK STOCKADE RAILING
FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM RIDGE	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING	X O CHAIN LINK STOCKADE RAILING
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FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM RIDGE	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING	$\begin{array}{c c c c c c c c c c c c c c c c c c c $
FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM RIDGE DRAIN PIPE	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED	$\begin{array}{c c c c c c c c c c c c c c c c c c c $
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FENCE OR RAILING RETAINING WALL CONTOURS SWALE BERM RIDGE DRAIN PIPE SEWER PIPE	PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED	$\begin{array}{c c c c c c c c c c c c c c c c c c c $
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REFER TO SITE LAYOUT PLAN FOR ZONING ANALYSIS TABLE AND LAND USE / ZONING INFORMATION & NOTES

REFER TO EROSION AND SEDIMENT **CONTROL NOTES & DETAILS SHEET** FOR TYPICAL EROSION NOTES AND DETAILS

REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TYPICAL LANDSCAPE NOTES AND DETAILS

REFER TO LIGHTING PLAN FOR **TYPICAL LIGHTING NOTES AND** TABLES

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	ESS INDICATED OTHERWISE.
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PROPOSED SITE **PLAN DOCUMENTS**

- FOR -

SDG DEVELOPMENT LLC

PROPOSED SELF-STORAGE FACILITY

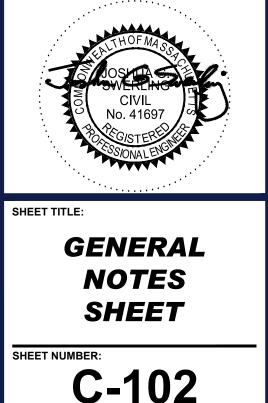
MAP: F15 LOTS: 2 & 93

108 OLD CHURCH STREET, TOWN OF PEMBROKE, PLYMOUTH COUNTY MASSACHUSETTS

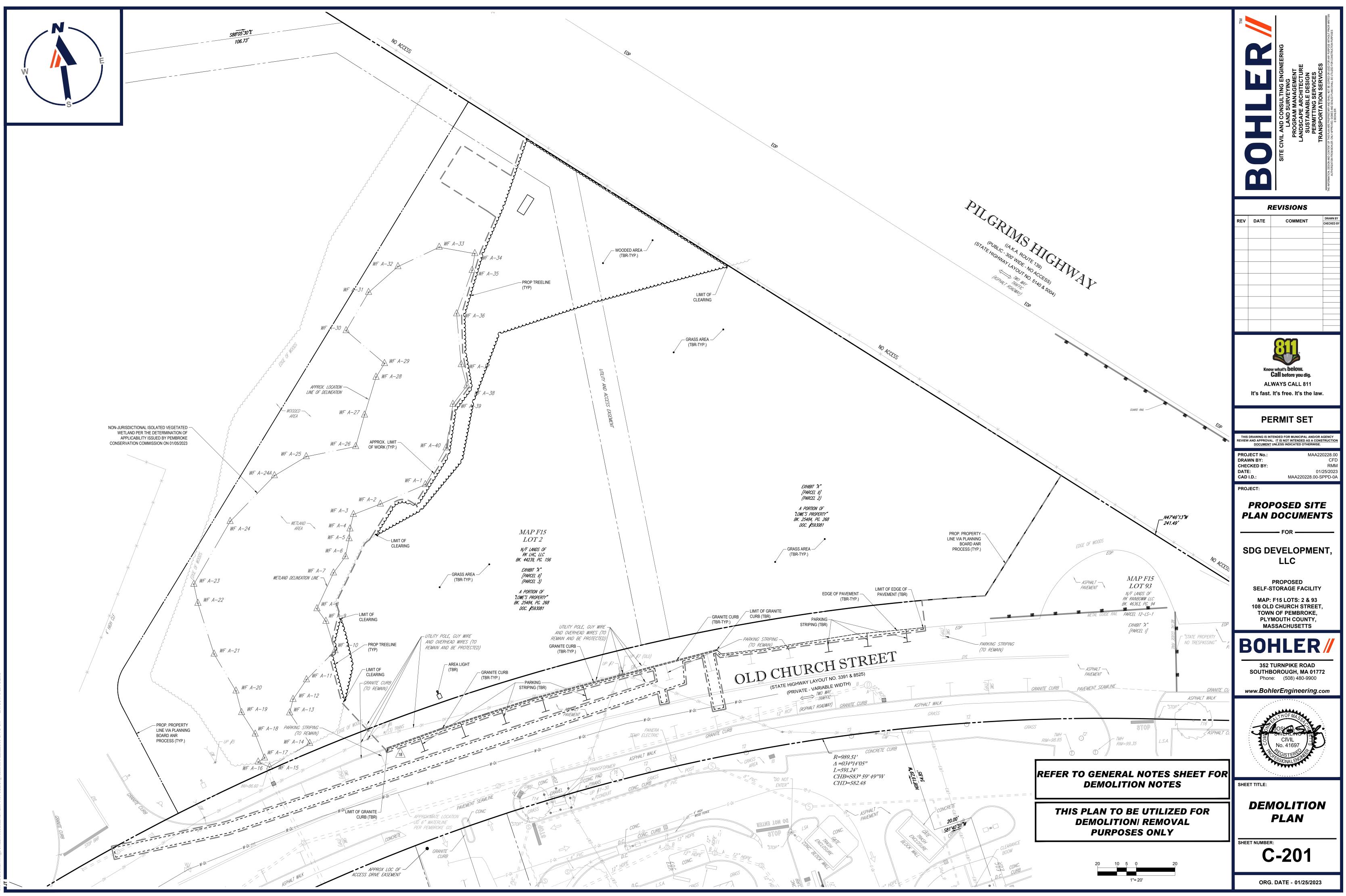
BOHLER

352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900

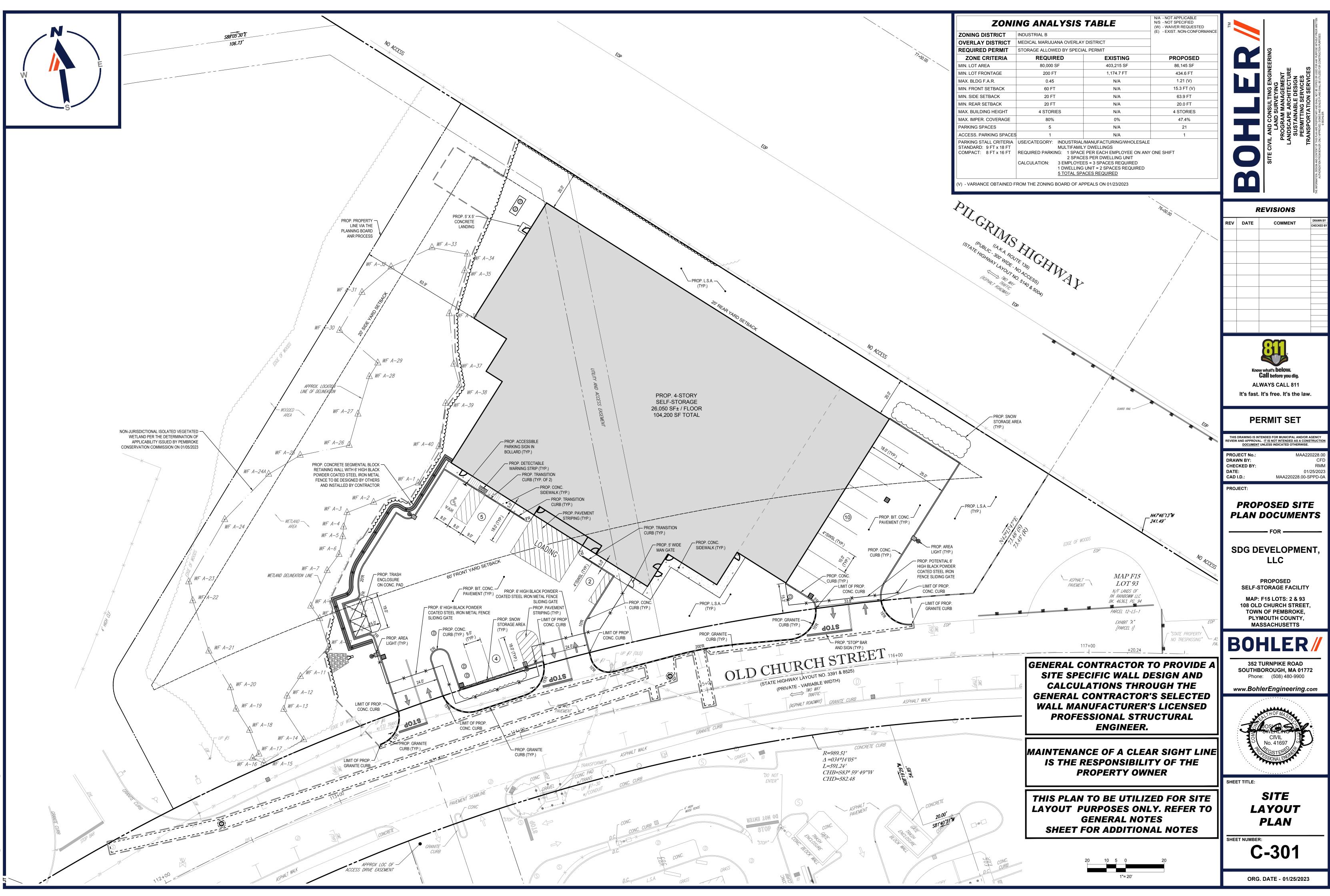




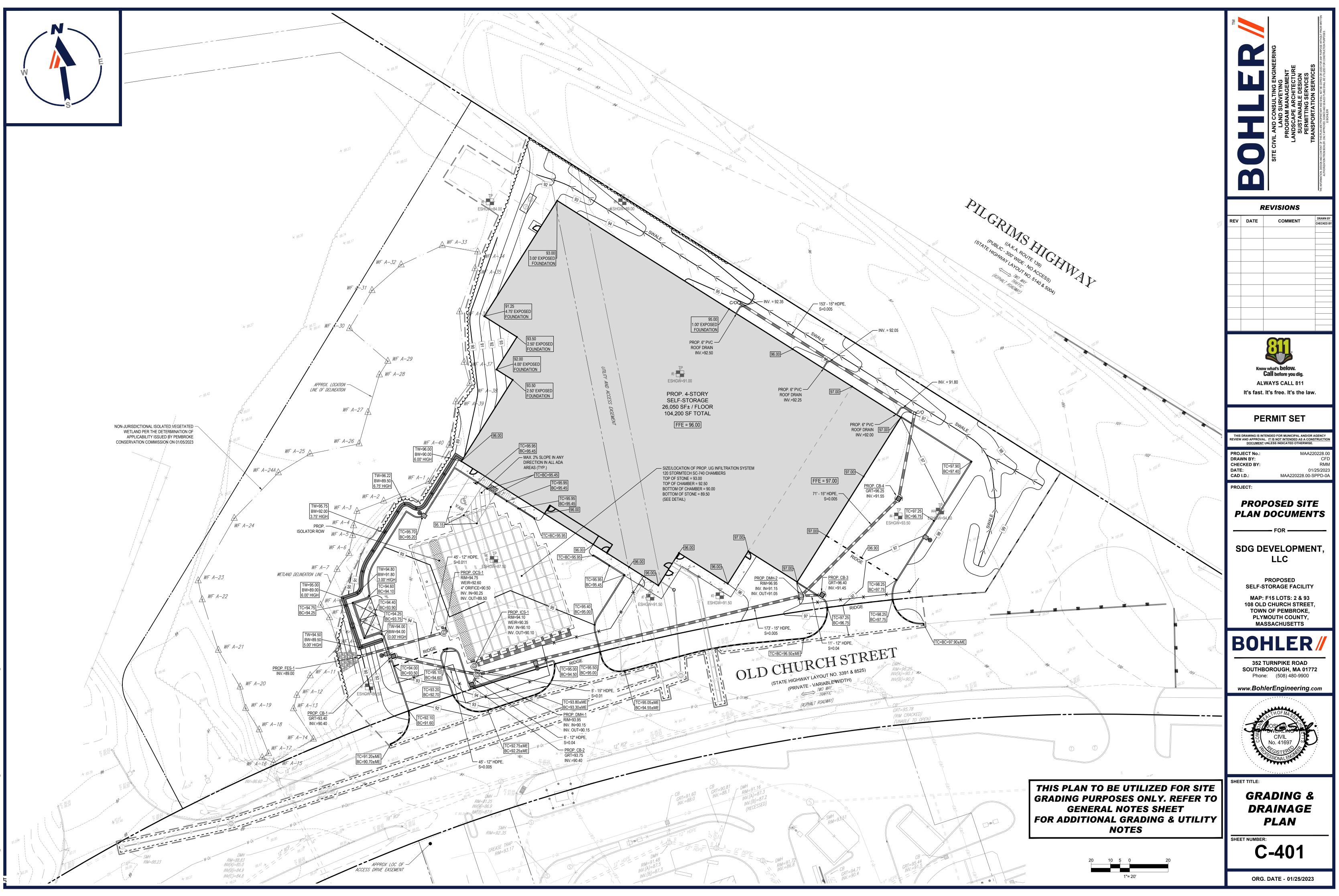
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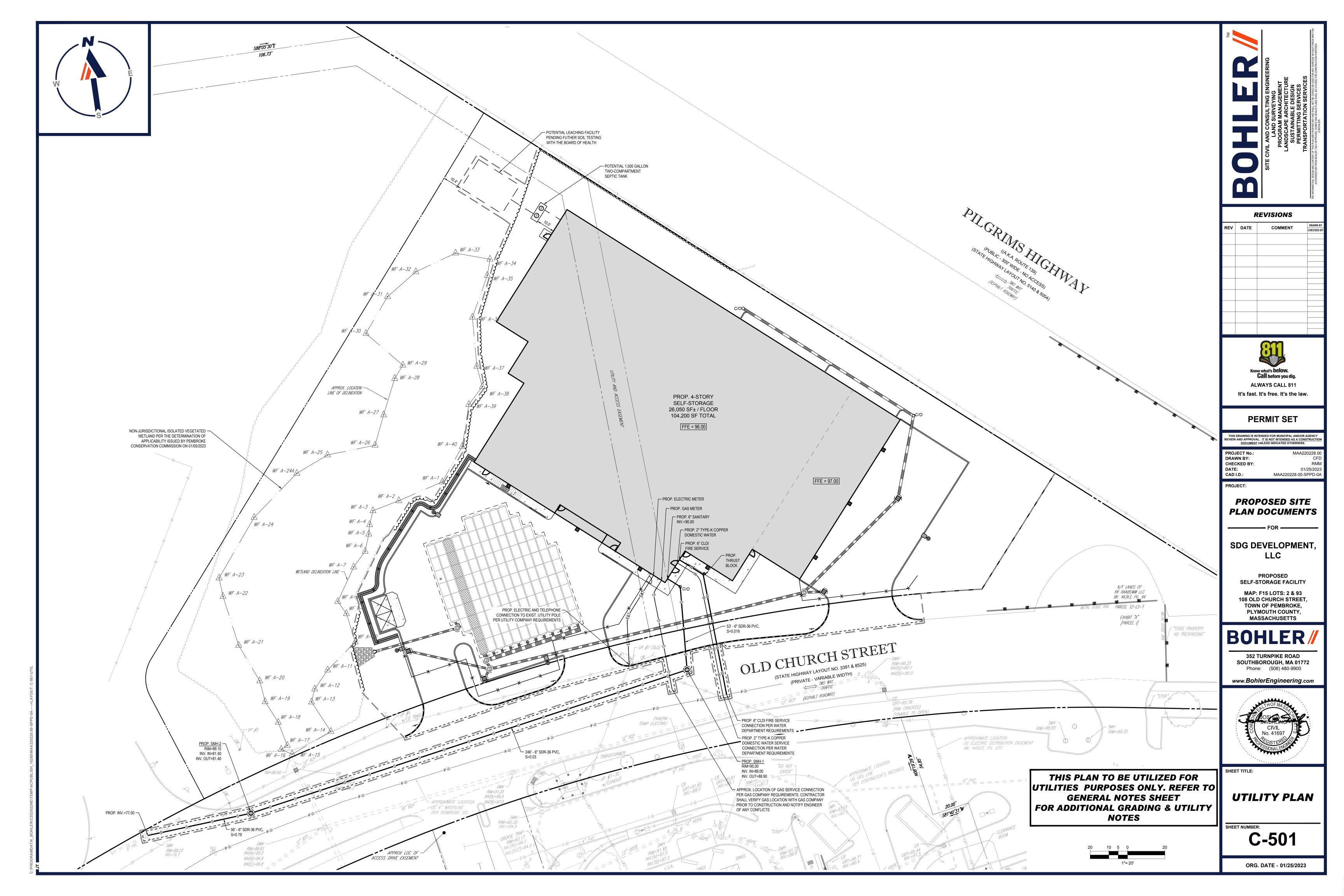
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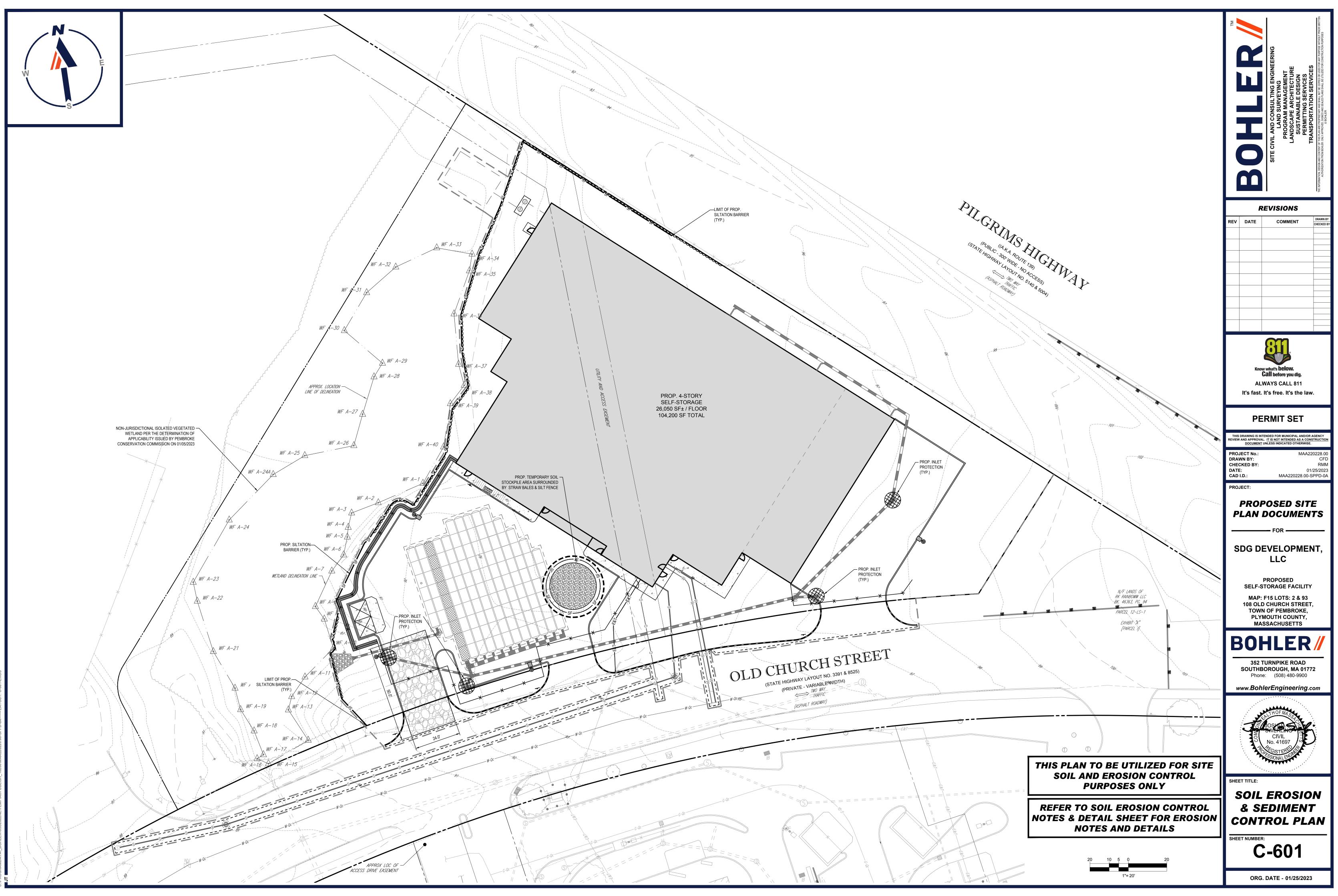


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EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES **GREATER THAN 8%**
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS: 10.1. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF).
- 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1, SOD ON SLOPES STEEPER THAN 3-1 SHOULD BE PEGGED
- 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF
- 13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS 14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES
- PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED: LOCATION MULCH RATE (1000 SF

PROTECTED AREA WINDY AREA MODERATE TO HIGH

THAN 3:1

SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)* JUTE MESH OR EXCELSIOR MAT VELOCITY AREAS OR STEEP SLOPES GREATER

STRAW

100 POUNDS 185-275 POUNDS 100 POUNDS AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE): CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS): USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED

- 15. PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAF DURING CONSTRUCTION.SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS 15.1. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1.800 CF PER ACRE OF
- TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- 16. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF
- 17. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
- 20. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
- 21. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED. MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE
- FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED. IF THE EXPOSED AREA HAS BEEN LOAMED. FINAL GRADED AND IS SMOOTH THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- 26. MULCHING REQUIREMENTS
- 26.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER 26.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 26.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT

GENERAL EROSION AND SEL

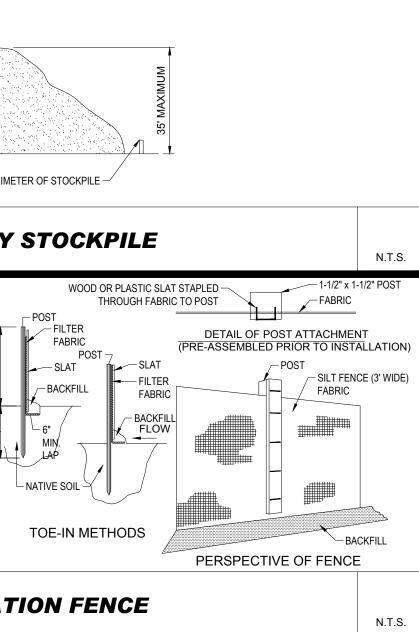
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIF NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAM
- 2. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE. LC UNLESS OTHERWISE NOTED. OR UNLESS ENGINEER CLEARLY AND CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXAMINED.
- 3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX. 1. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED
- 4.1. STABILIZED CONSTRUCTION ENTRANCE/ EXIT A TEMPORARY LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED
- 4.2. SEDIMENT FENCE INSTALL SILT FENCE(S) AND/OR SILT SOCK SOIL STOCKPILES. 4.3. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EA
- QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTEC OF DISTURBED AREA.
- 5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCOR 6. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES HALF THE OF THE EROSION CONTROL BARRIER'S HEIGHT COLLEC
- ANY SILT FROM DROP INLET PROTECTION. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST
- THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS F
- 10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CO ESTABLISHMENT OF VEGETATION.
- 11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
- 12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATIO STRUCTURES ADDITIONAL FACILITIES MEASURES AND STRUCTUR AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCID
- 13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRU FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- 14 THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIO
- 15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAIN JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE
- 16 SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES
- OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

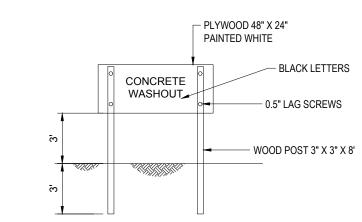
	1:3 MAXIMUM SLOPE
ŀ	CONSTRUCT SILT FENCE AROUND PERIMETE
	NOTES: 1. EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE. 2. UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION). 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM. 4. LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.
ļ	TYP. SILTATI
	STAPLES 2 PER BALE) 10 MIL PLASTIC LINING NATIVE MATERIAL (OPTIONAL) WOOD OR METAL STAKES (2 PER BALE) SECTION A-A
	1/8" DIA. STEEL WIRE <u>50</u> STAPLE DETAIL
	 NOTES: 1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAIN INLETS. 2. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFF-SITE. CONTRACTOR TO DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS. 3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY. 4. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. 5. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL. 6. STRAW BALE AND STAPLES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCK.

EDIMENT CONTROL NOTES	
TIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL ST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE MILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.	THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL	-INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
XACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.	-INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
(X.XXX ACRES.	-CLEARING AND GRUBBING
ED FOR THIS SITE: RY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED	-INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
DED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE. DCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND	-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE FECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS	-CONSTRUCTION OF UTILITIES
	-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
CORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.	-INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
RES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" OR ECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE	-CONSTRUCTION OF BUILDING
TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND	-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL FER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE RITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. AL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL PECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION LY AS INDICATED IN THE REQUINES FOR URBAN EROSION AND SEDIMENT CONTROL PECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLED AND SEDIMENT CONTROL ACARDES. R THIS SITE: RIVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED O THAT RUNOF WATER WILL BE RETAINED ON-SITE. ROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND O THAT RUNOF WATER WILL BE RETAINED CONSTRUCTION ROTES. ACARDEM SUBJECT AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE CONSTRUCTION OF UNIL SITE SOCK BARRIERS AND EXCAVATE AND REMOVE AND ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS ANDE OWNSLOPE FROM DISTURBANCE, WHICH MAY BE DEVOND THE LIMITS ANDE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS. EEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6' OR AND ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BROUGHT TO FINISHED GRADE AND HE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE ANAGEMENT PRACTICES. EASURES IF ENGINEERS OR REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, INTAINING ALL BRONG DESION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL BROSION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL BROSION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL BROSION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL EROSION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL BROSION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL BROSION CONTROL MEASURES MUST BE INCLUDED INTAINING ALL BROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND PALACE 6' TOPSOIL ON SLOPES ITAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. S, THE CONTRACTOR MUST REMENTATION CONTROL FACILITIES, MEA	-SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
ROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL,	-FINAL GRADING OF ALL SLOPED AREAS
ND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT	-PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
IS RESPONSIBLE FOR ALL SUCH COSTS.	-REMOVAL OF THE TEMPORARY SEDIMENT BASINS
I CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE	-PAVE PARKING LOT
RES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER ON.	-LANDSCAPING PER LANDSCAPING PLAN
TION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND TURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES CIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.	-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER
HRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S)	
TIONAL INFORMATION.	
AINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE TE STABILIZATION AND AT END OF PROJECT.	
ELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO	

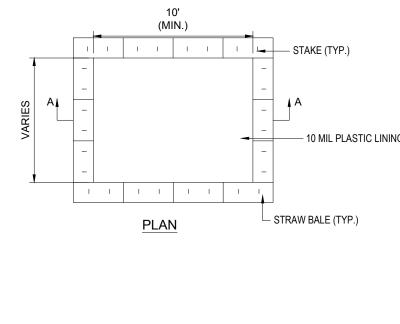
THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY

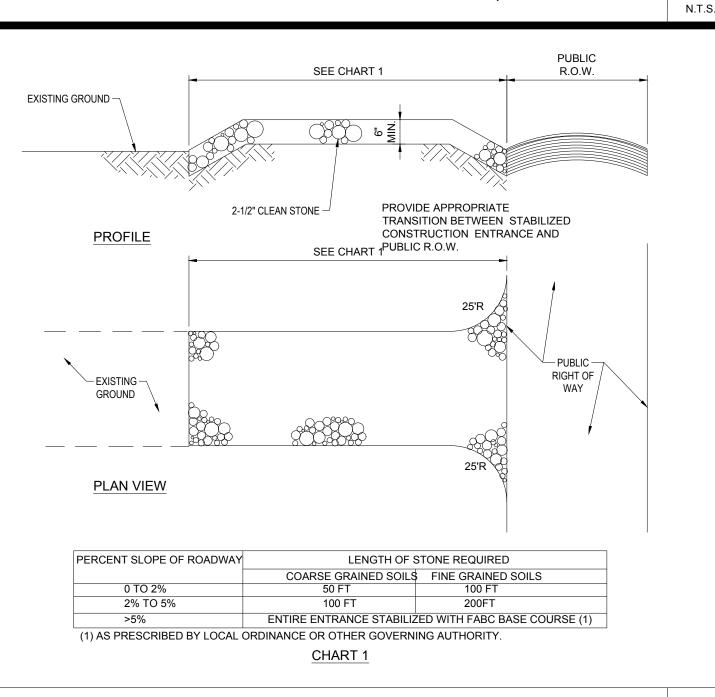
RECOMMENDED CONSTRUCTION SEQUENCE

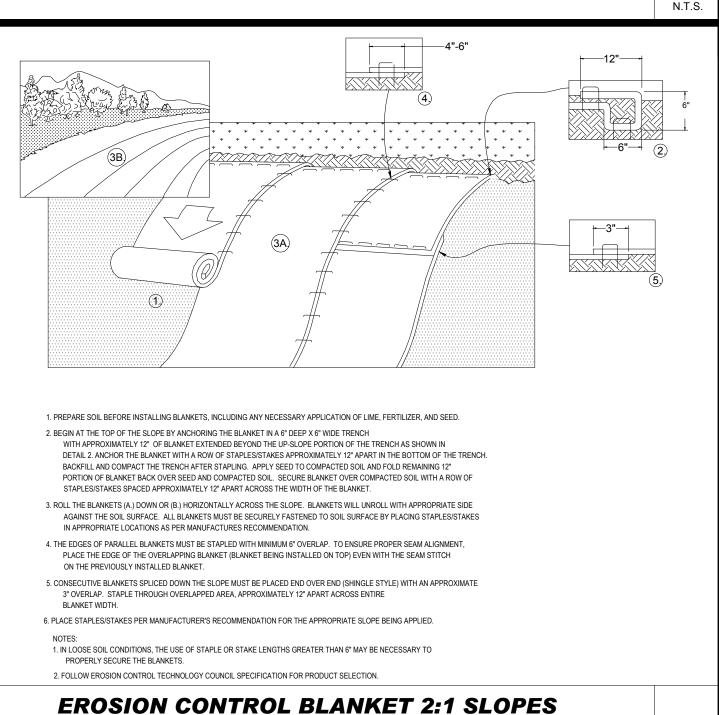




NCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)





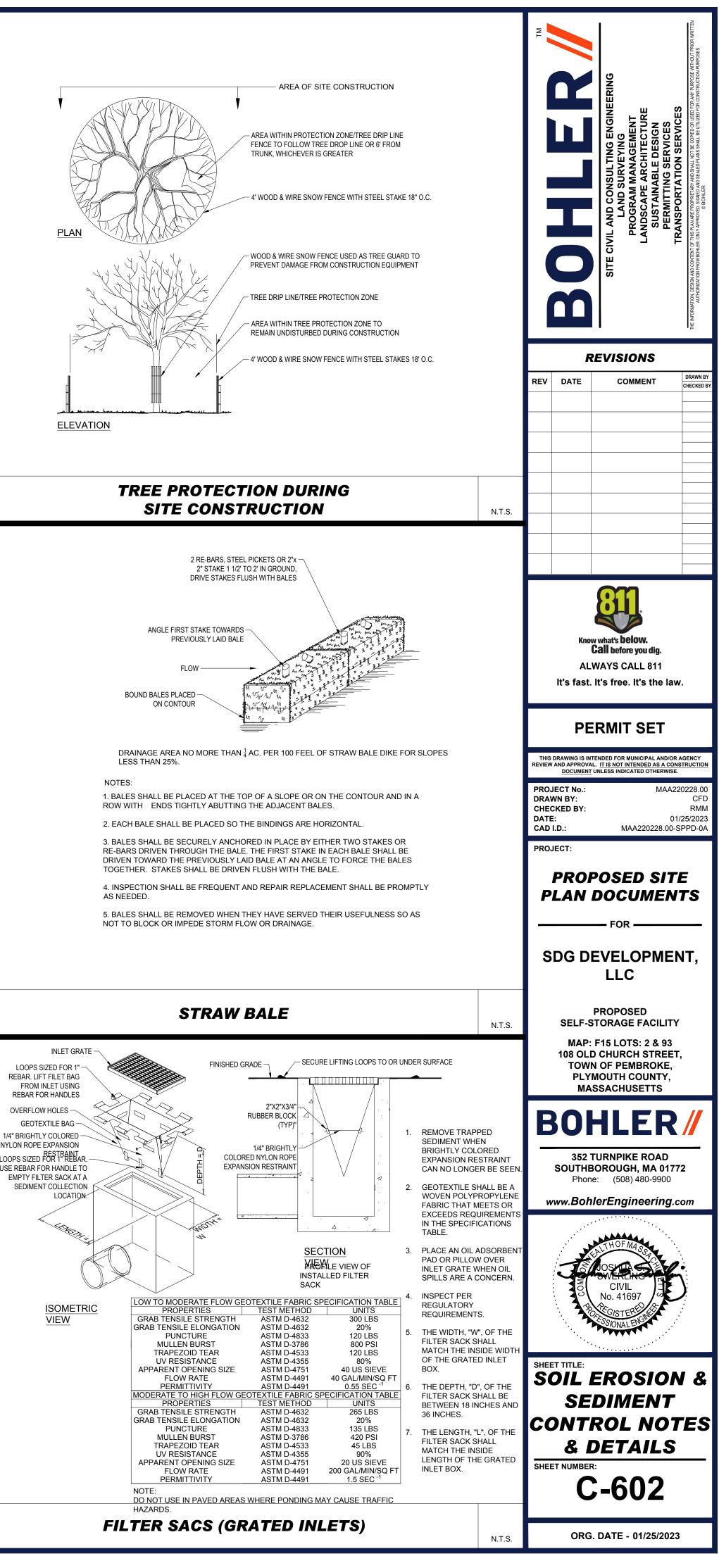


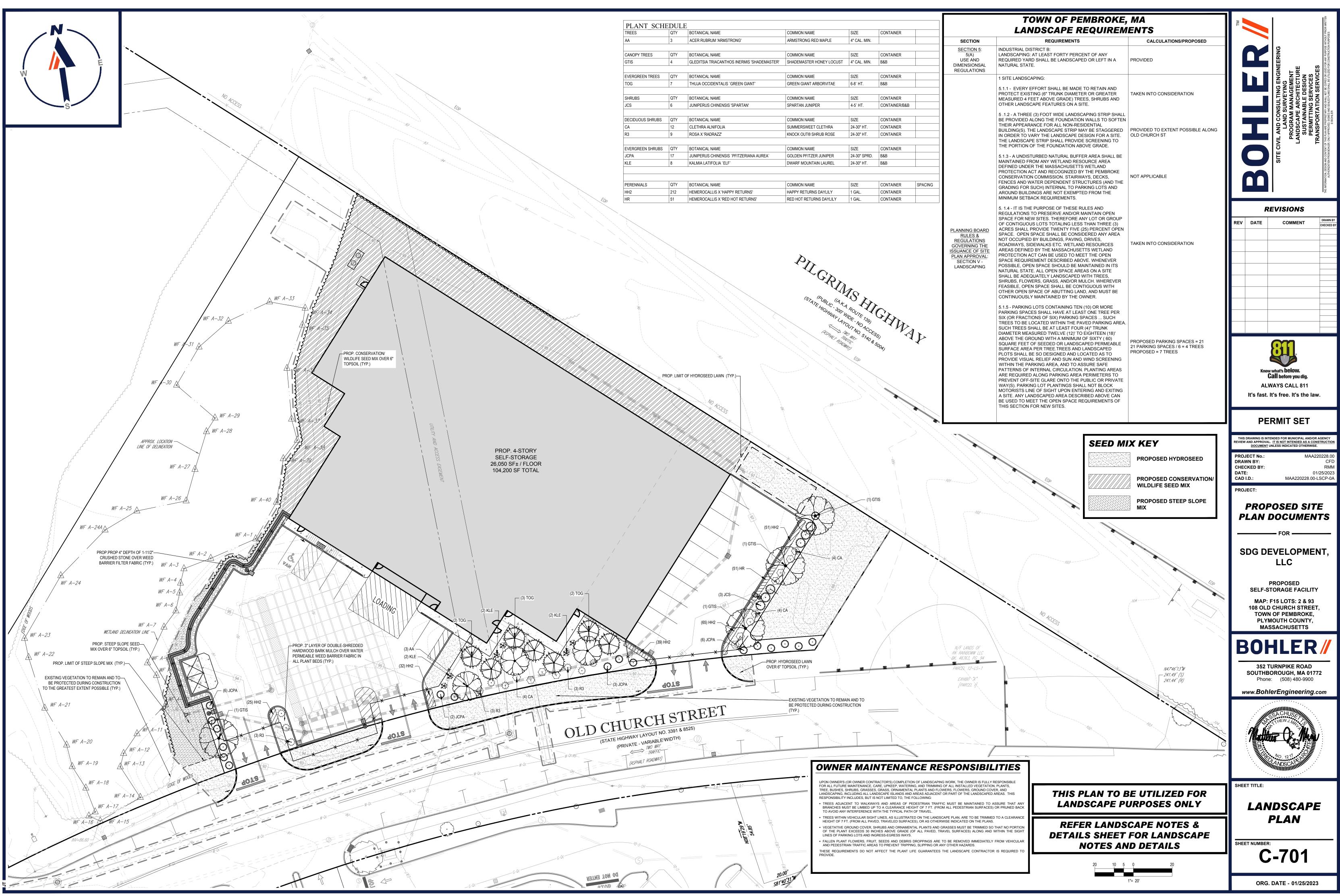
STABILIZED CONSTRUCTION ENTRANCE

CONCRETE WASTE MANAGEMENT AREA

(SLOPE INSTALLATION)

NT



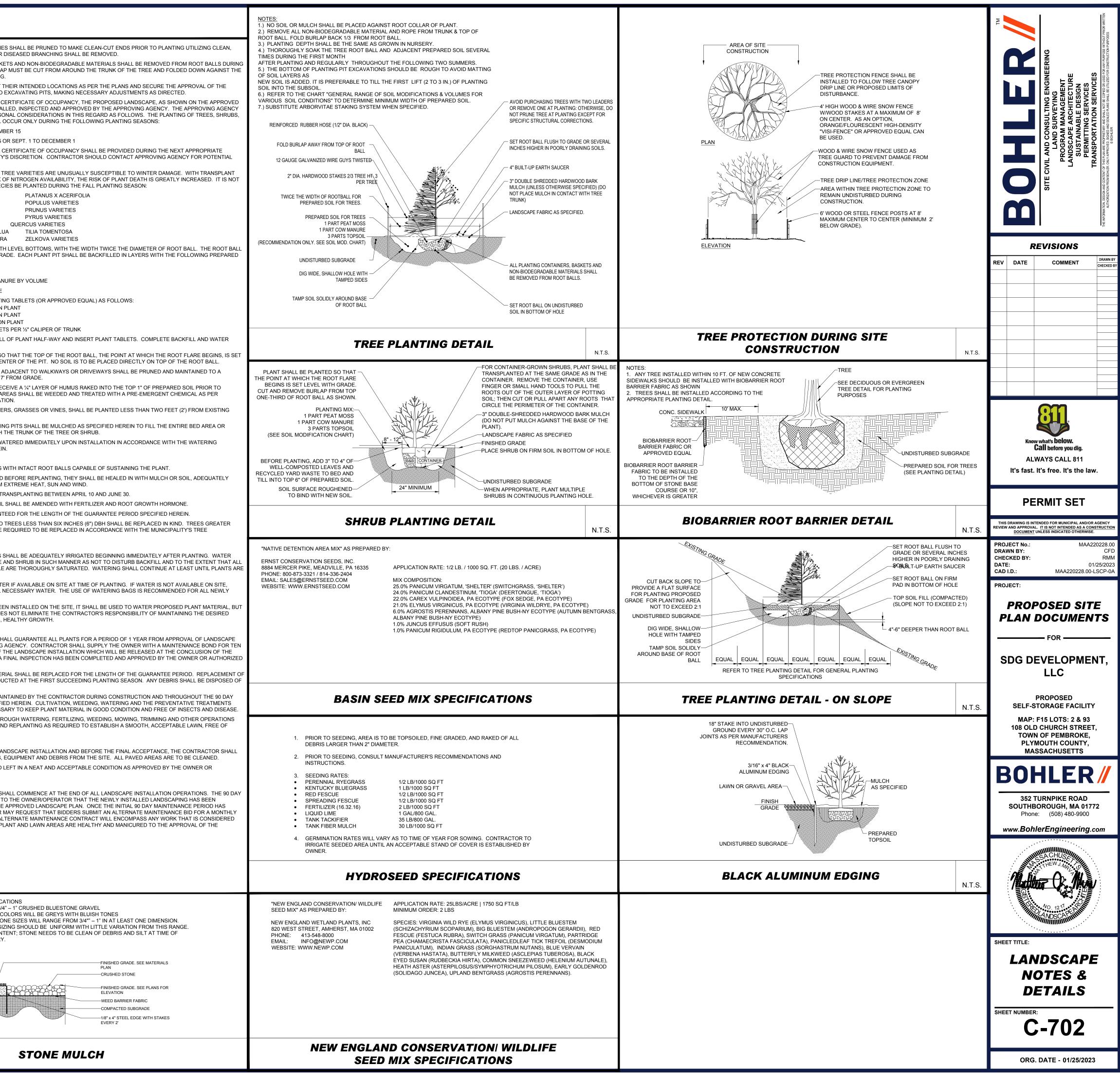


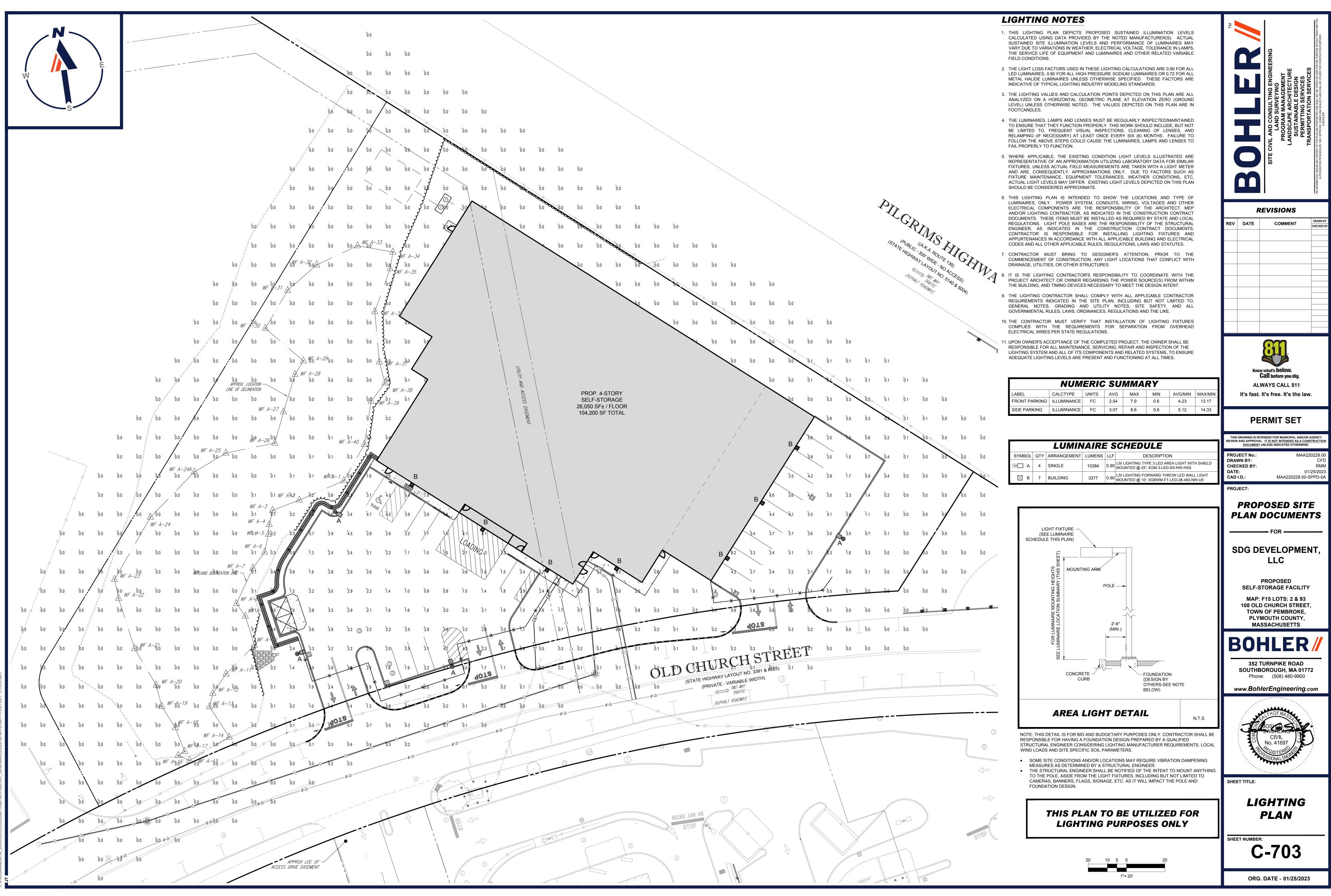
ROGRAMDATA_BOHLER\C3D2022NE\TEMP\ACPUBLISH_10260\MAA220228.00-LSCP-0A----->LAYOUT: C-701-LA

LANDSCAPE SPECIFICATIONS

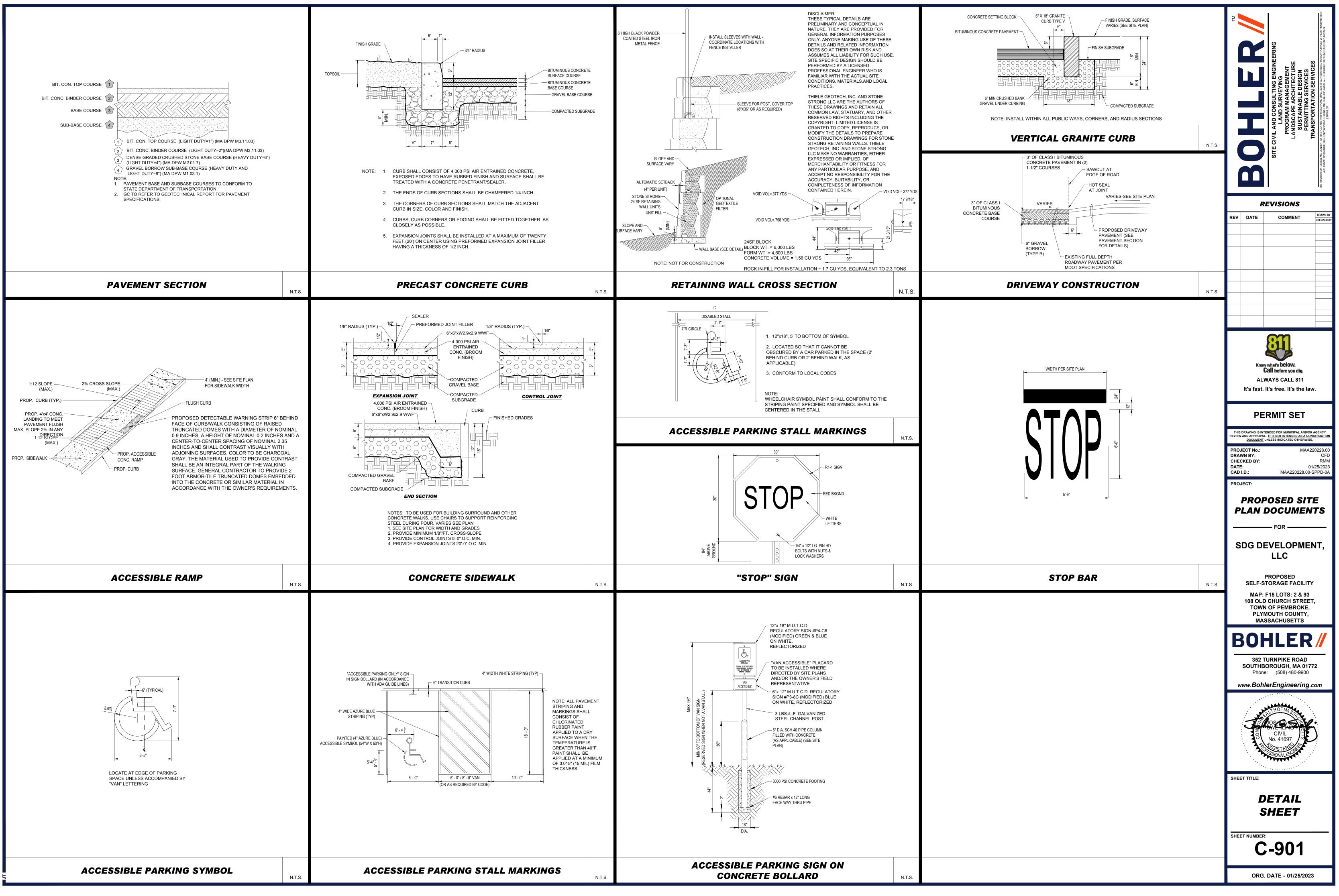
		9.3.	ANY INJURED ROOTS OR BRANCHES SHALL E SHARP TOOLS. ONLY INJURED OR DISEASED
1.1.	THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.	9.4.	ALL PLANTING CONTAINERS, BASKETS AND N PLANTING. NATURAL FIBER BURLAP MUST BE ROOT BALL PRIOR TO BACKFILLING.
2. <u>MA</u> T 2.1.	I <u>ERIALS</u> GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT	9.5.	POSITION TREES AND SHRUBS AT THEIR INTE
2.2.	OF TRANSPORTATION'S SPECIFICATIONS. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN	9.6.	LANDSCAPE ARCHITECT PRIOR TO EXCAVATI PRIOR TO THE ISSUANCE OF ANY CERTIFICAT LANDSCAPE PLAN, MUST BE INSTALLED, INSF
	4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.		SHALL TAKE INTO ACCOUNT SEASONAL CONS VINES OR GROUND COVER SHALL OCCUR ON
2.3.	LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM <u>6"</u> THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN	9.6.1. 9.6.2.	
2.3.1.	LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.	9.6.3.	
2.3.2.	SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.	9.7.	SUBSTITUTIONS. FURTHERMORE, THE FOLLOWING TREE VARI
	MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A <u>3"</u> THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS. FERTILIZER		SHOCK AND THE SEASONAL LACK OF NITROG RECOMMENDED THAT THESE SPECIES BE PL
2.5. 2.5.1.			ACER RUBRUM PI BETULA VARIETIES PO CARPINUS VARIETIES PI
2.5.2.	SO THAT IT CAN BE KEPT DRY PRIOR TO USE.		CRATAEGUS VARIETIES P CRATAEGUS VARIETIES P KOELREUTERIA QUERC
2.0.2.	POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.		LIQUIDAMBAR STYRACIFLUA TI LIRIODENDRON TULIPIFERA ZI
2.6. 2.6.1.	PLANT MATERIAL ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY	9.8.	PLANTING PITS SHALL BE DUG WITH LEVEL BE SHALL REST ON UNDISTURBED GRADE. EACH
	STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).	9.8.1.	SOIL MIXED THOROUGHLY: 1 PART PEAT MOSS
2.6.2. 2.6.3.	PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT	9.8.2. 9.8.3.	
2.6.4.		9.8.4. 9.8.4	21 GRAMS 'AGRIFORM' PLANTING TABLET 4.1. 2 TABLETS PER 1 GALLON PLANT
	NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.	9.8. 9.8.	4.2. 3 TABLETS PER 5 GALLON PLANT
2.6.5.	ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.		4.4. LARGER PLANTS: 2 TABLETS PER ½" FILL PREPARED SOIL AROUND BALL OF PLAN
2.6.6.	ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX	9.10.	THOROUGHLY. ALL PLANTS SHALL BE PLANTED SO THAT THI
	INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.	9.11.	AT GROUND LEVEL AND IN THE CENTER OF T ALL PROPOSED TREES DIRECTLY ADJACENT
2.6.7. 2.6.8.		9.12.	MINIMUM BRANCHING HEIGHT OF 7' FROM GR GROUND COVER AREAS SHALL RECEIVE A 1/4'
	<u>IERAL WORK PROCEDURES</u> CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE	0.40	PLANTING. ALL GROUND COVER AREAS SHAI MANUFACTURER'S RECOMMENDATION.
0.1.	IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.		NO PLANT, EXCEPT GROUND COVERS, GRASS STRUCTURES AND SIDEWALKS.
3.2.	WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.		ALL PLANTING AREAS AND PLANTING PITS SH SAUCER. NO MULCH IS TO TOUCH THE TRUN
	<u>E PREPARATIONS</u> BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE		ALL PLANTING AREAS SHALL BE WATERED IN SPECIFICATIONS AS LISTED HEREIN.
	ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY		ANSPLANTING (WHEN REQUIRED) ALL TRANSPLANTS SHALL BE DUG WITH INTA
	DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND	10.2.	IF PLANTS ARE TO BE STOCKPILED BEFORE F WATERED AND PROTECTED FROM EXTREME
	THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.		PLANTS SHALL NOT BE DUG FOR TRANSPLAN UPON REPLANTING, BACKFILL SOIL SHALL BE
4.3.	CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE		TRANSPLANTS SHALL BE GUARANTEED FOR F TRANSPLANTS DIE, SHRUBS AND TREES LE
5. <u>TRE</u>	BEGINNING OF WORK. E PROTECTION	10.0.	THAN SIX INCHES (6") DBH MAY BE REQUIRED REPLACEMENT GUIDELINES.
5.1.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER.	11. <u>WA</u> 11.1.	<u>TERING</u> NEW PLANTINGS OR LAWN AREAS SHALL BE A
5.2.	LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS		SHALL BE APPLIED TO EACH TREE AND SHRU MATERIALS IN THE PLANTING HOLE ARE THO ESTABLISHED.
5.3.	SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO	11.2.	SITE OWNER SHALL PROVIDE WATER IF AVAIL CONTRACTOR SHALL SUPPLY ALL NECESSAR
	DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.	11.3.	PLANTED TREES. IF AN IRRIGATION SYSTEM HAS BEEN INSTAL
5.4.	AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.		ANY FAILURE OF THE SYSTEM DOES NOT ELI MOISTURE LEVEL FOR VIGOROUS, HEALTHY (
	LMODIFICATIONS		ARANTEE THE LANDSCAPE CONTRACTOR SHALL GUAR
	CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.		INSTALLATION BY THE APPROVING AGENCY. PERCENT (10%) OF THE VALUE OF THE LANDS GUARANTEE PERIOD AND WHEN A FINAL INSF
6.2.	LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.	12.2.	REPRESENTATIVE. ANY DEAD OR DYING PLANT MATERIAL SHALL
6.3.	THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED		PLANT MATERIAL SHALL BE CONDUCTED AT T OFF-SITE, WITHOUT EXCEPTION.
6.3.1.	•	12.3.	TREES AND SHRUBS SHALL BE MAINTAINED E MAINTENANCE PERIOD AS SPECIFIED HEREIN SHALL BE PERFORMED AS NECESSARY TO KE
	TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.	12.4.	LAWNS SHALL BE MAINTAINED THROUGH WA SUCH AS ROLLING, REGARDING AND REPLAN
6.3.2.	BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO	13. <u>CLE</u>	ERODED OR BARE AREAS. EANUP
	BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.	13.1.	UPON THE COMPLETION OF ALL LANDSCAPE REMOVE ALL UNUSED MATERIALS, EQUIPMEN
6.3.3.	UP TO 30% OF THE TOTAL MIX.	13.2.	THE SITE SHALL BE CLEANED AND LEFT IN A A AUTHORIZED REPRESENTATIVE.
	SHED GRADING UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF		NTENANCE (ALTERNATIVE BID): A 90 DAY MAINTENANCE PERIOD SHALL COMI
7.2.	TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE		MAINTENANCE PERIOD ENSURES TO THE OW MAINTAINED AS SPECIFIED ON THE APPROVE
7.3.	SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±). ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF		EXPIRED, THE OWNER/OPERATOR MAY REQU MAINTENANCE CONTRACT. THE ALTERNATE APPROPRIATE TO ENSURE THAT PLANT AND
7 4	SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE		OWNER/OPERATOR.
	PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS. PSOILING		
	CONTRACTOR SHALL PROVIDE A <u>6"</u> THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO		
8.2.	ACHIEVE THE DESIRED COMPACTED THICKNESS. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED		
	IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.		SPECIFICATIONS NAME; 3/4" – 1" CRU
0.0.	UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.		COLOR; COLORS WI SIZE; STONE SIZES
8.4.	ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE		STONE SIZING SHOU SILT CONTENT; STO DELIVERY.
.	FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]): 20 POLINDS 'GRO POWER' OR APPROVED SOIL CONDITIONER/EEPTILIZER		
8.4.1. 8.4.2.			
8.5. 9. <u>PLA</u>	THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS. NTING		
	INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN		
9.2.	UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN		

TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

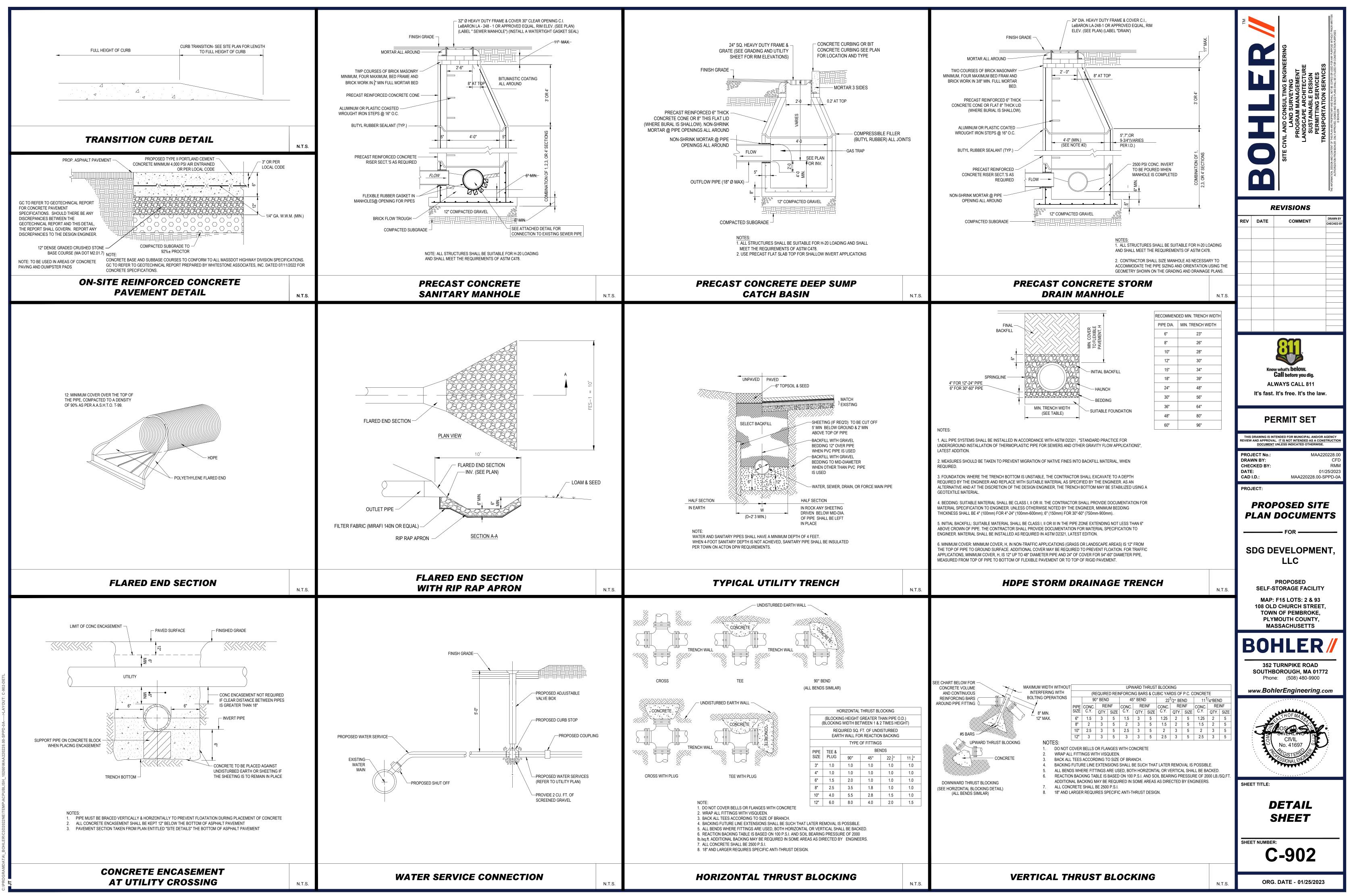


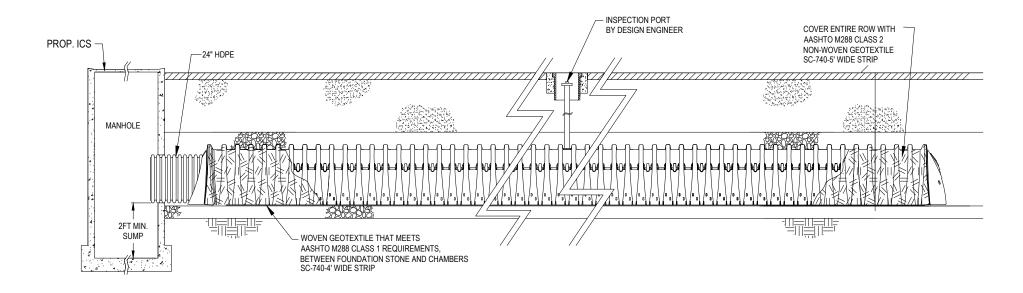


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6RAMDATA_BOHLER\C3D2022NE\TEMP\ACPUBLISH_10260\MAA220228.00-SPPD-0A----->LAYOUT: C-901-DE



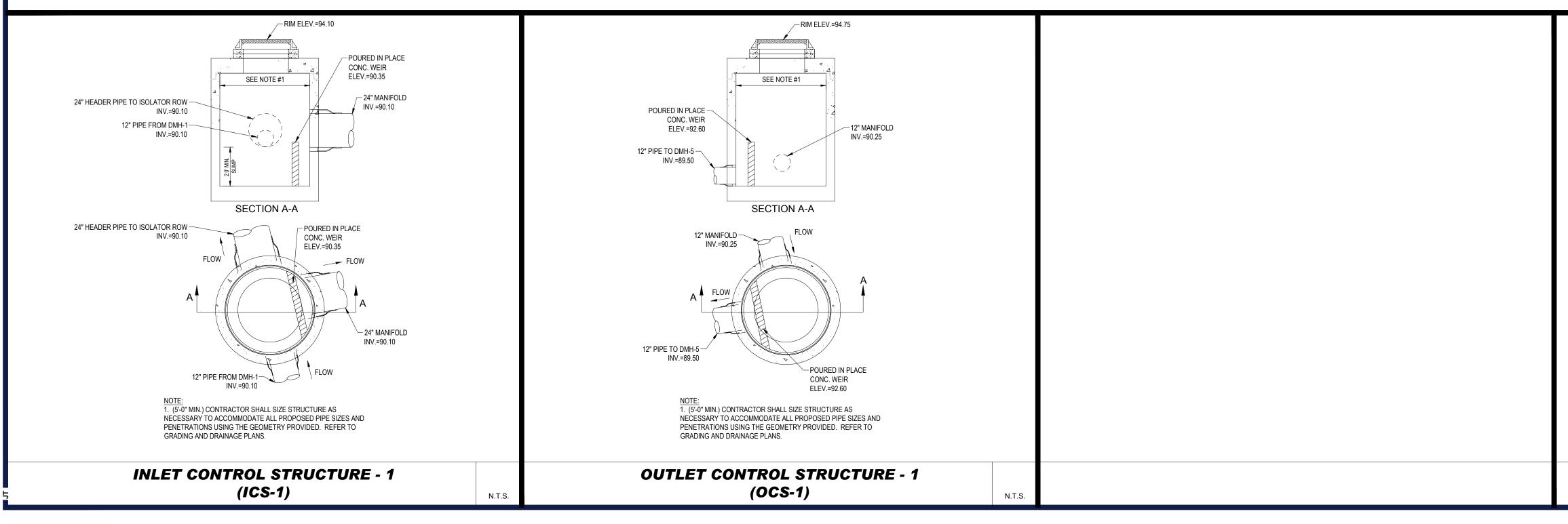


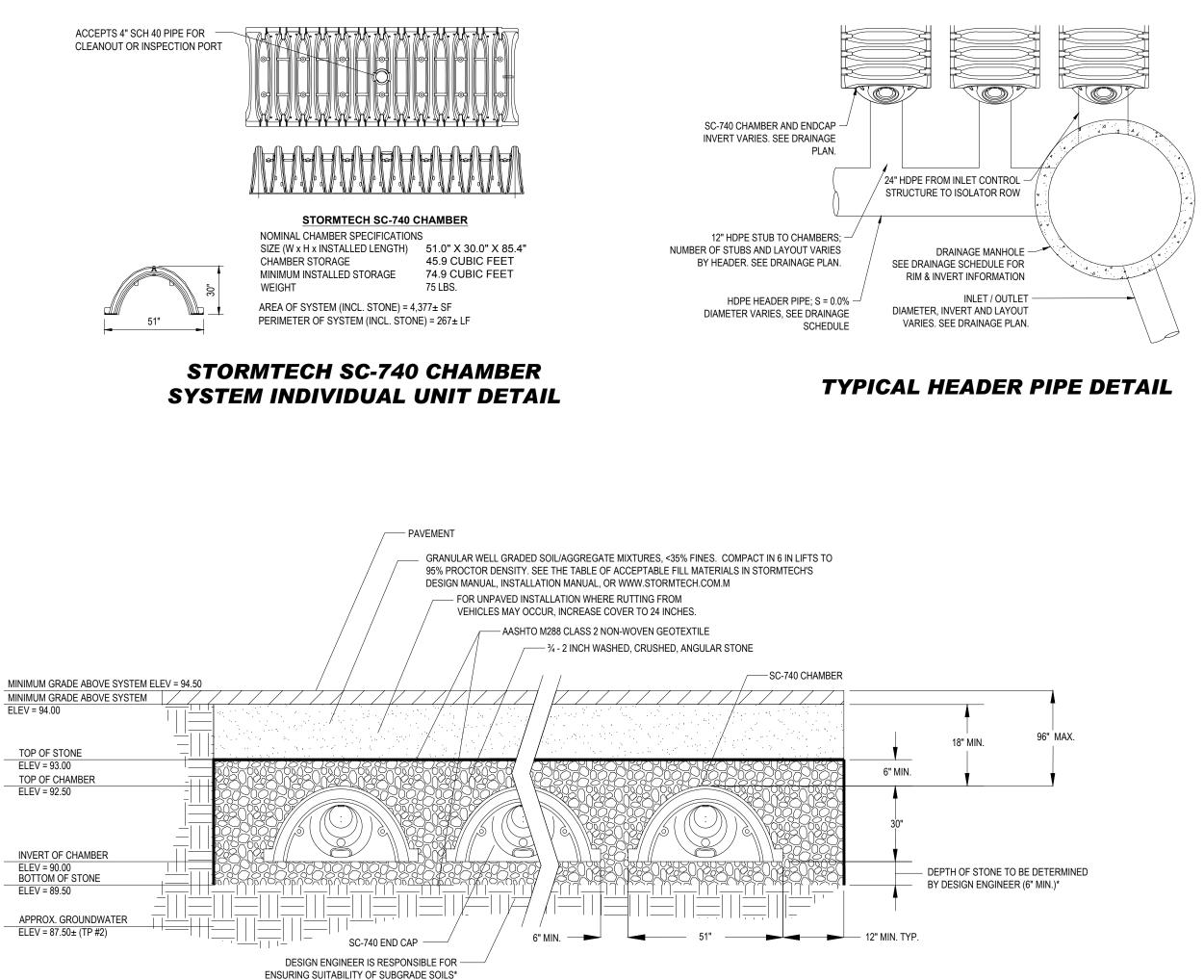
STORMTECH SC-740 ISOLATOR ROW DETAIL

MINIMUM GRADE ABOVE SYSTEM ELEV = 94.00

TOP OF STONE ELEV = 93.00 TOP OF CHAMBER ELEV = 92.50

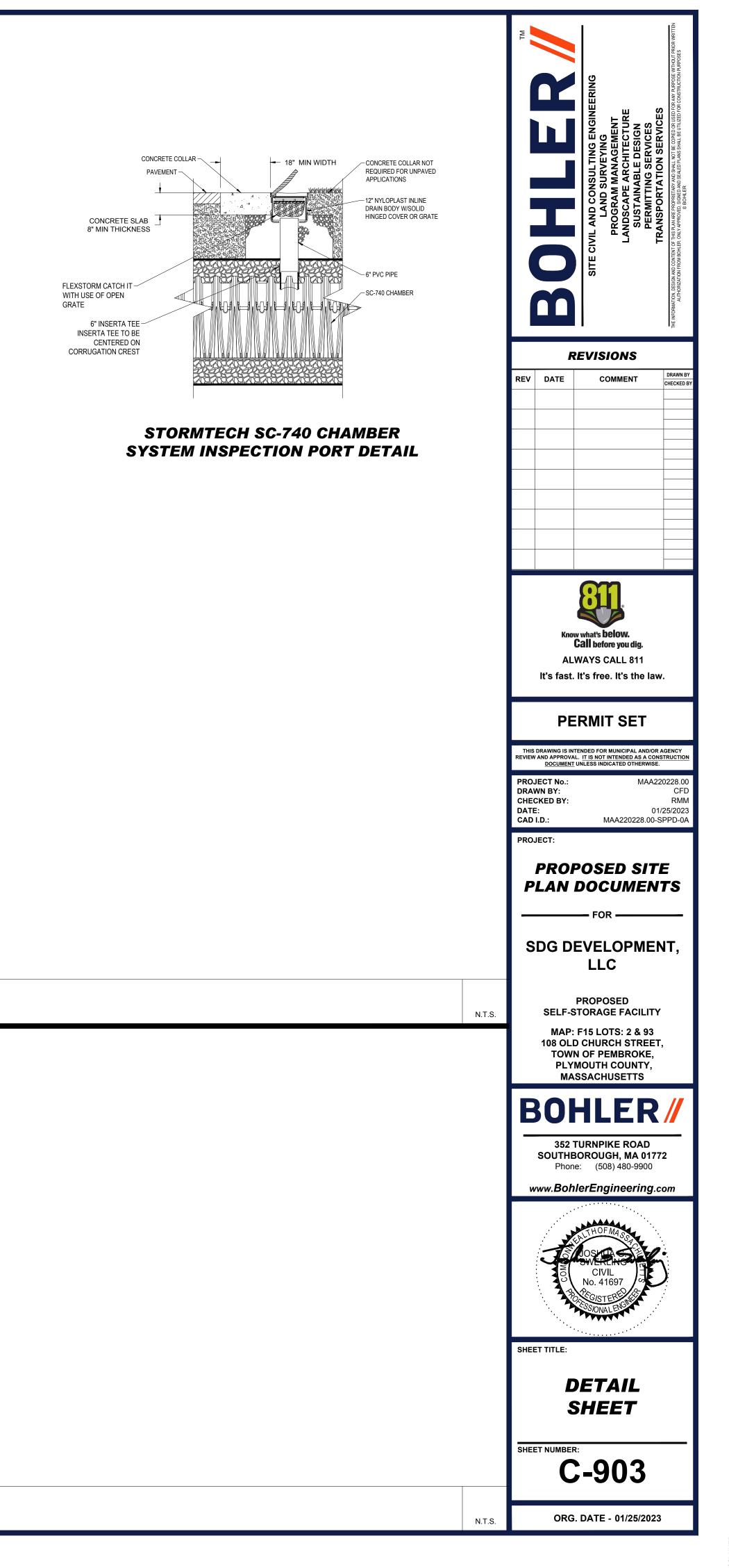
INVERT OF CHAMBER ELEV = 90.00 BOTTOM OF STONE ELEV = 89.50





NOTE: STORMTECH SC-740 CHAMBERS HAVE BEEN EVALUATED TO SUPPORT H-20 LOADS. NOTE: GC SHALL COORDINATE FINAL DESIGN WITH STORMTECH

STORMTECH SC-740 UNDERGROUND INFILTRATION SYSTEM



SCHEDULE B, PART II GENERAL EXCEPTIONS 1 THROUGH 5 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY. THE FOLLOWING EXCEPTIONS AFFECT PARCEL I: TAKING BY THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (LAYOUT NO. 3216), DATED OCTOBER 13, 1936 AND RECORDED IN BOOK 1717, PAGE 60 - OLD CHURCH STREET SHOWN HEREON. TAKING BY THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (LAYOUT NO. 3391), DATED JUNE 3, 1941, FILED WITH THE PLYMOUTH COUNTY COMMISSIONERS ON JUNE 9, 1941 - OLD CHURCH STREET SHOWN HEREON. NOTE: WE WERE UNABLE TO LOCATE A RECORDED COPY OF LAYOUT 3391 AT THE REGISTRY OF DEEDS; HOWEVER, SEE PLAN BOOK CH 20, PAGES 1514-1522, WHICH ACCOMPANIED LAYOUT NO. 3391. TAKING BY THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (LAYOUT NO. 5106), DATED MAY 9, 1961 AND RECORDED IN BOOK 2851, PAGE 125. AS AFFECTED BY A CERTIFICATE OF ENTRY, DATED MAY 23, 1961 AND RECORDED IN BOOK 2853, PAGE 104 - CHURCH STREET SHOWN HEREON. DRAINAGE EASEMENT TO THE TOWN OF PEMBROKE, DATED AUGUST 21, 1936 AND RECORDED IN BOOK 1714, PAGE 53. SEE ALSO PLAN RECORDED IN PLAN BOOK 5, PAGE 614 - DRAINAGE CULVERT SHOWN HEREON (SEE SHEET 2 OF 4) NOTE: FOR THE APPROXIMATE LOCATION OF THE DRAINAGE PIPE, SEE THE PLAN AT PLAN BOOK 42, PAGE 127. (10) SLOPE EASEMENT TAKEN BY THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED JANUARY 19, 1937 AND RECORDED IN BOOK 1720. PAGE 178 - NO SLOPE EASEMENTS PRESENT OVER LOCUS PROPERTY. (11) DECLARATION OF EASEMENTS AND RESTRICTIONS AND EASEMENT AGREEMENT BY AND BETWEEN PEMBROKE ROUTE 139, LLC, LOWE'S HOME CENTERS, INC. AND HEATER ROAD, LLC, DATED JUNE 16, 2003 AND RECORDED IN BOOK 25484, PAGE 268 AND FILED AS DOCUMENT NO. 593081, AS AFFECTED BY AN AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIONS AND EASEMENT AGREEMENT BY AND BETWEEN PEMBROKE ROUTE 139, LLC; GID CHURCH STREET, LLC; HEATER ROAD, LLC AND LOWE'S HOME CENTERS, INC., DATED APRIL 15, 2005 AND RECORDED IN BOOK 31090, PAGE 178 AND FILED AS DOCUMENT NO. 591038, AS FURTHER AFFECTED BY A SECOND AMENDMENT TO DECLARATION OF EASEMENT AND RESTRICTIONS AND EASEMENT AGREEMENT BY AND BETWEEN R.K. RAINBOW, LLC: R.K., LHC, LLC AND LOWE'S HOME CENTERS, LLC, DATED SEPTEMBER 30, 2015 AND RECORDED IN BOOK 46528, PAGE 89, AND FILED AS DOCUMENT NO. 741462 - LOWE'S PROPERTY, RAINBOW PROPERTY & BRIGANTINE PROPERTY, DRIVEWAY EASEMENT & ACCESS EASEMENT SHOWN HEREON. NOTE: THE PURPOSE OF INCLUDING THE ABOVE REFERENCED ENCUMBRANCE IS DUE TO OUR CURRENT OWNER IS NOW THE OWNER OF THE LOCUS PARCEL AND ALSO SUCCESSOR IN OWNERSHIP TO THE LAND LOCATED SOUTHERLY OF LOCUS (NOT PART OF THIS EXAM) AND THAT A PORTION OF LOCUS IS INCLUDED WITHIN THE AREA OF THE "PROPOSED DEVELOPMENT SITE" AS DESCRIBED IN SAID INSTRUMENT AND SHOWN AS "EXHIBIT C" REVISED SITE PLAN ATTACHED TO SAID DOCUMENT. THE ABOVE AMENDMENT DOES NOT AMEND TO INCLUDE THE LOCUS PARCEL TO THE DECLARATION OF EASEMENTS AND RESTRICTIONS AND EASEMENT AGREEMENT. GRANT OF EASEMENT BY AND BETWEEN R.K. RAINBOW, LLC AND MASSACHUSETTS ELECTRIC COMPANY, DATED MAY 22, 2014 AND RECORDED IN BOOK 44507, PAGE 271 AS IT CONNECTS TO THE EXISTING POLE LOCATED ON OLD CHURCH STREET ACCORDING TO THE SKETCH ATTACHED TO SAID INSTRUMENT - UNDERGROUND ELECTRIC DISTRIBUTION SYSTEM EASEMENT SHOWN HEREON (SEE SHEET 2 OF 4). (13) LAYOUT NO. 8525 AND ORDER OF TAKING OF OLD CHURCH STREET BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, DATED NOVEMBER 23, 2015 AND RECORDED IN BOOK 46363, PAGE 88 AND SHOWN ON PLAN ST15, PAGE 160 - OLD CHURCH STREET SHOWN HEREON. (14) TERMS AND PROVISION OF THE RELEASE DEED, DATED DECEMBER 9, 2015 AND RECORDED IN BOOK 46363, PAGE 94 - PARCEL 12-LS-1 SHOWN HEREON. (15) LACK OF ACCESS TO ROUTE 3 AS SHOWN ON PLAN ST15, PAGE 160 - NO ACCESS LINE SHOWN HEREON SHOWN HEREON. (16) FOR INFORMATIONAL PURPOSES WE NOTE THAT LAYOUT NO. 3391 AND LAYOUT NO.

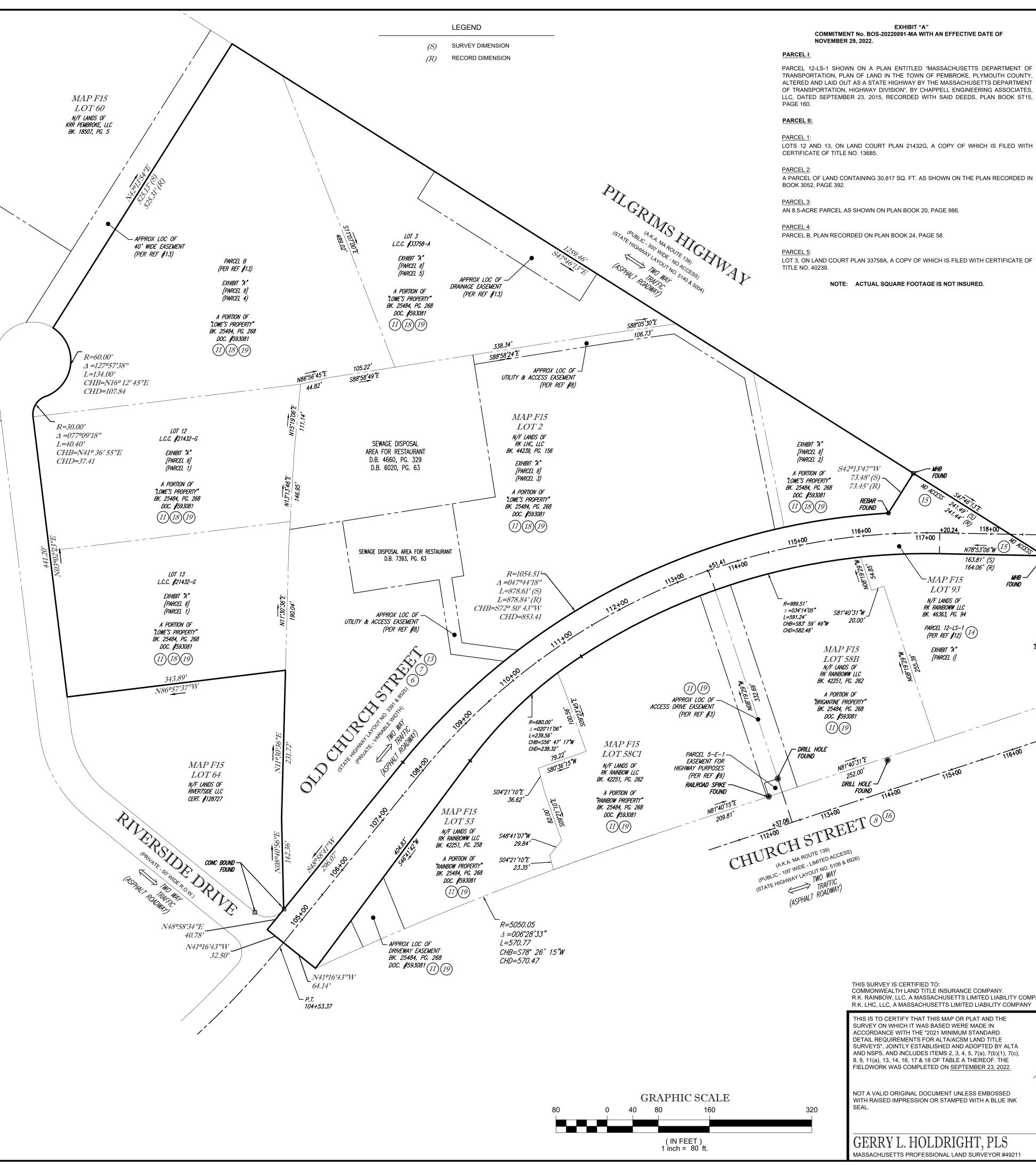
5106 ARE FURTHER AFFECTED BY LAYOUT NO. 5142, DATED AUGUST 29, 1961 AND RECORDED IN BOOK 2882, PAGE 171; LAYOUT NO. 6926, DATED DECEMBER 14, 1994 AND RECORDED IN BOOK 13343, PAGE 10, AND LAYOUT NO, 7151, DATED DECEMBER 14. 1994 AND RECORDED IN BOOK 13345, PAGE 317; HOWEVER, THESE ALTERATIONS DO NOT APPEAR TO AFFECT OLD CHURCH STREET - CHURCH STREET SHOWN HEREON.

(17) FOR INFORMATIONAL PURPOSES WE NOTE THE ISSUANCE OF TWO ORDERS OF CONDITIONS BY THE PEMBROKE CONSERVATION COMMISSION TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS AND MASSACHUSETTS DEPARTMENT OF TRANSPORTATION AND RECORDED IN BOOK 7954 PAGE 243 AS AFFECTED BY CERTIFICATE OF COMPLIANCE AT BOOK 8805 PAGE 255 AND BOOK 42858, PAGE 321. ALTHOUGH THESE ORDERS PERTAIN TO THE ROUTE 3 INTERCHANGE AT CHURCH STREET, THEY DO NOT APPEAR TO AFFECT OLD CHURCH STREET - APPROVAL TO OPERATE WITHIN WETLAND BUFFER AREA AT INTERCHANGE OF ROUTE 3 AND CHURCH STREET; NOT PLOTTABLE.

THE FOLLOWING EXCEPTIONS AFFECT PARCEL II:

- TERMS AND PROVISIONS OF A LEASE. BY AND BETWEEN PEMBROKE 139. LLC. AS I ANDLORD AND LOWF'S HOME CENTERS, INC., AS TENANT, A MEMORANDUM OF WHICH IS DATED JUNE 16, 2003 AND RECORDED IN BOOK 25484, PAGE 210 AND FILED AS DOCUMENT NO. 539069 - BLANKET IN NATURE; LEASE AREA SHOWN HEREON.
- (19) DECLARATION OF EASEMENTS AND RESTRICTIONS AND EASEMENT AGREEMENT, DATED JUNE 16, 2003 AND RECORDED IN BOOK 25484, PAGE 268 AND FILED AS DOCUMENT NO. 539081, AS AFFECTED BY AN AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTION AND EASEMENT AGREEMENT, DATED APRIL 15, 2005 AND RECORDED IN BOOK 31090, PAGE 178 AND FILED DOCUMENT NO. 591038, AS FURTHER AFFECTED BY A SECOND AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIONS AND EASEMENT AGREEMENT, DATED SEPTEMBER 30, 2015 AND RECORDED IN BOOK 46528, PAGE 89 AND FILED AS DOCUMENT NO. 741462. - LOWE'S PROPERTY, RAINBOW PROPERTY & BRIGANTINE PROPERTY, DRIVEWAY EASEMENT & ACCESS EASEMENT SHOWN HEREON.
- (20) DECISION BY THE TOWN OF PEMBROKE ZONING BOARD OF APPEALS, DATED SEPTEMBER 19, 2016 AND RECORDED IN BOOK 47980, PAGE 316 - VARIANCE APPROVAL; NOT PLOTTABLE.

NOTE: DUE TO THE LARGE NUMBER OF ENTRIES AT THE REGISTRY OF DEEDS UNDER THE COMMONWEALTH OF MASSACHUSETTS, IT WAS NECESSARY TO LIMIT OUR EXAMINATION TO THOSE INSTRUMENTS INDEXED UNDER THE TOWN OF PEMBROKE



<u>+20.24</u> <u>118+00</u>

LOT 93

N/F LANDS OF

rk rainboww llc

PARCEL 12-LS-1

FXHIRIT "A

[PARCEL I]

(PER REF #12) 🖽

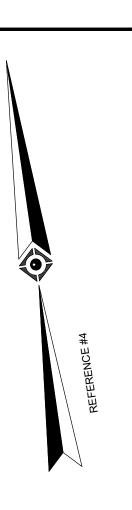
N78'53'06"W 15

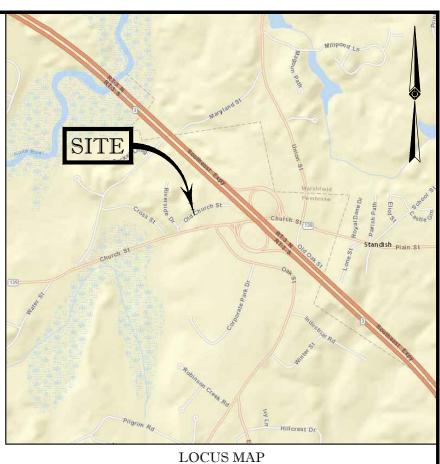
FOUND

MAP F15

163.81' (S)

164.06' (R)





© 2013 ESRI WORLD STREET MAPS

PROPERTY KNOWN AS LOTS 2 & 93 AS SHOWN ON THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS, TAX ASSESSOR'S MAP F15. 2. AREA: LOT 2 = 854,038 SQUARE FEET OR 19.606 ACRES LOT 93 = 104,136 SQUARE FEET OR 2.391 ACRES

NOTES

3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED. QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY

THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.

MHB

FOUND

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF OWNER'S POLICY OF TITLE INSURANCE PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, CASE NUMBER: BOS-20220891-MA, WITH AN EFFECTIVE DATE OF NOVEMBER 29, 2022 AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. WHERE THE FOLLOWING DOCUMENTS APPEAR IN SCHEDULE B, SECTION 2.

BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.

LOT 58A N/F LANDS C 16-13-24 RK RAINBOWW LLC BK. 42251, PG. 262 A PORTION OF "BRIGANTINE PROPERTY" BK. 25484, PG. 268 DOC. #593081 (11)(19)

ADDITION, ETC.

ELEVATIONS ARE BASED UPON NAVD 88 OBTAINED WITH GPS EQUIPMENT UTILIZING THE KEYSTONE KEYNET NETWORK. 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT

PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.

10. WETLAND RESOURCE AREAS WERE DELINEATED IN THE FIELD BY LUCAS ENVIRONMENTAL, LLC ON JULY 17, 2015 AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. ON SEPTEMBER 4, 2015. WETLAND FLAG LOCATIONS WERE CONFIRMED & ANY MISSING FLAGS WERE RE-HUNG BY CONTROL POINT ASSOCIATES, INC., ON SEPTEMBER 23, 2022.

11. PROPERTY HAS DIRECT ACCESS TO OLD CHURCH STREET, A PRIVATE WAY, AND INDIRECT ACCESS TO CHURCH STREET. 12. THE LAND AS DESCRIBED IN THIS SURVEY CONSTITUTES MORE THAN ONE PARCEL OR LOT, AND THERE ARE NO GAPS, GORES OR STRIPS.

13. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS

OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK. 14. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF

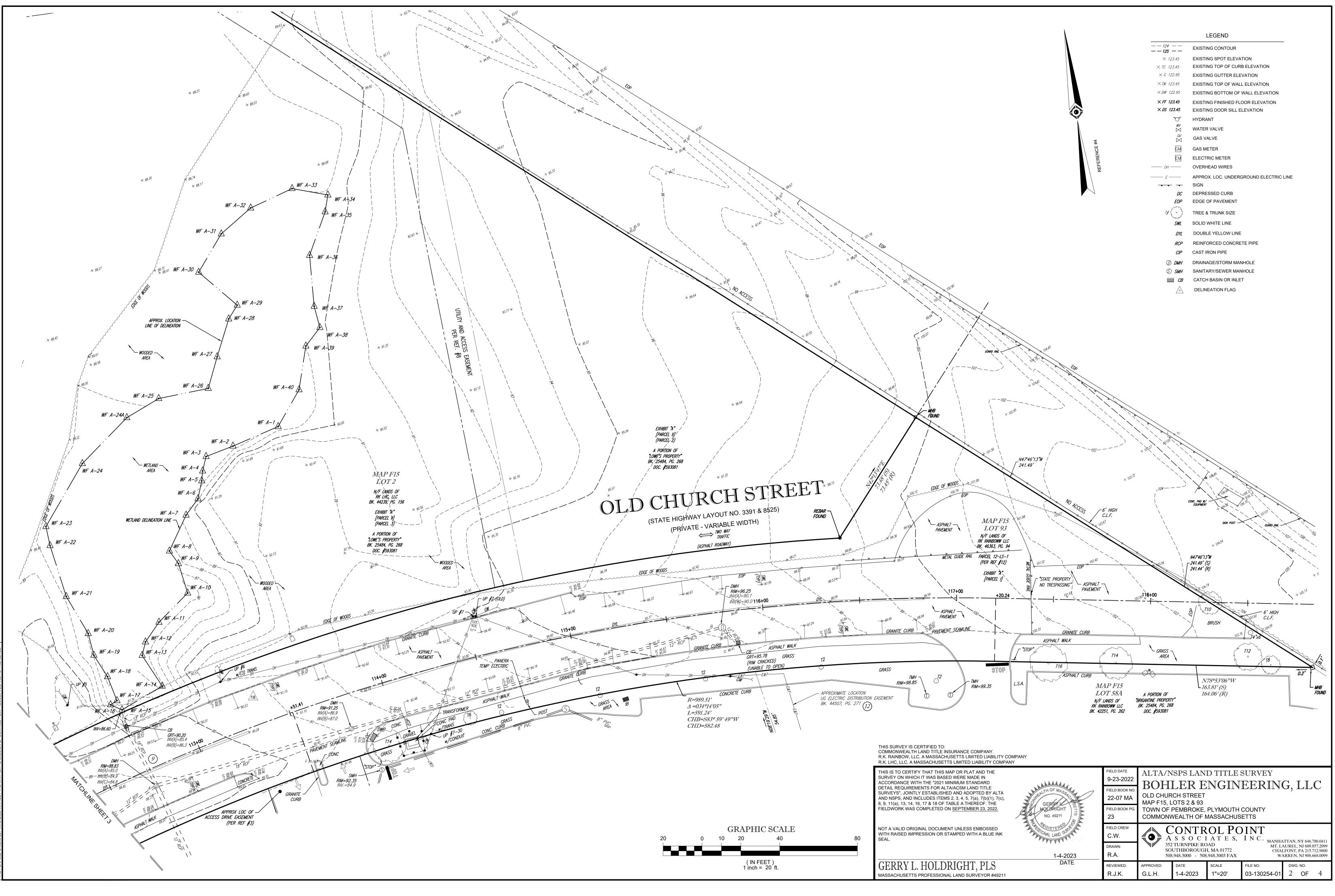
CONDUCTING THE FIELD WORK.

15. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.

16. NO PARKING SPACES OBSERVED ON LOCUS PROPERTY WITHIN SURVEY SCOPE AREA.

17. NO BUILDINGS OBSERVED ON LOCUS PROPERTY WITHIN SURVEY SCOPE AREA.

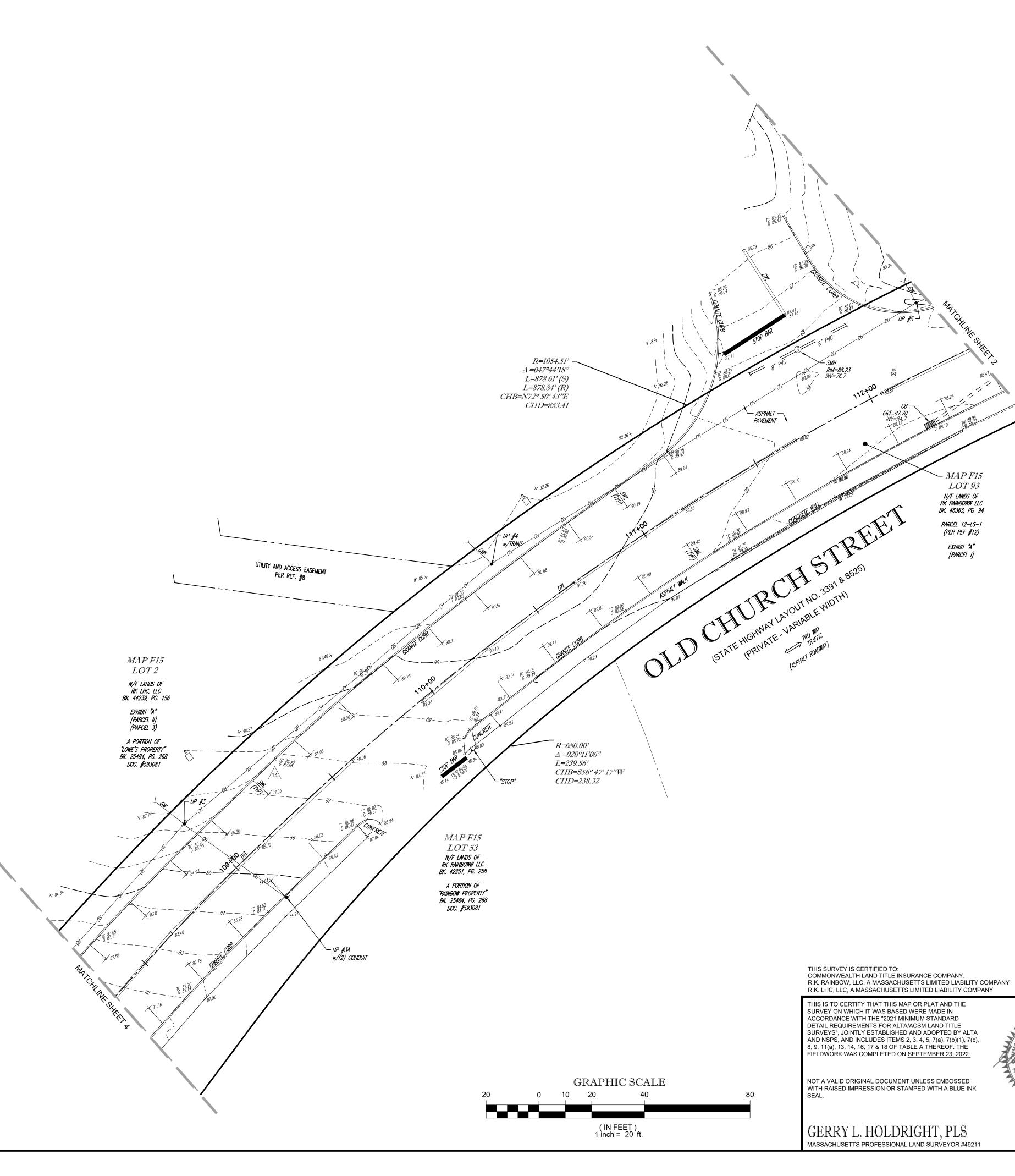
FIED TO: D TITLE INSURANCE COMPANY. MASSACHUSETTS LIMITED LIABILITY COM ACHUSETTS LIMITED LIABILITY COMPANY	SEE SHEET 3 OF 4 FOR REFERENCES 2 THROUGH 4 OF 4 FOR SITE FEATURES, TOPOGRAPHY& UTILITIES								
IAT THIS MAP OR PLAT AND THE WAS BASED WERE MADE IN HE "2021 MINIMUM STANDARD S FOR ALTA/ACSM LAND TITLE STABLISHED AND ADOPTED BY ALTA DES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), & 18 OF TABLE A THEREOF. THE PLETED ON <u>SEPTEMBER 23, 2022.</u>	GERBY L GERBY L HOLORIGHT NO. 49211	FIELD DATE 9-23-2022 FIELD BOOK NO. 22-07 MA FIELD BOOK PG. 23	BOH OLD CHUR MAP F15, L TOWN OF I	SPS LAN LER E CH STREET OTS 2 & 93 PEMBROKE, VEALTH OF M	NGIN	EERIN®	G, I	LL(С
DOCUMENT UNLESS EMBOSSED SION OR STAMPED WITH A BLUE INK	1-4-2023	FIELD CREW C.W. DRAWN: R.A.	A 352 SOT	CONTR SSOCI TURNPIKE RO UTHBOROUGH .948.3000 - 508	ATES, DAD I, MA 01772	INC. MANHA MT. L CHA	AUREL LFONT,	NY 646.7 , NJ 609.8 PA 215.7 , NJ 908.6	57.2099 12.9800
OLDRIGHT, PLS	DATE	REVIEWED: R.J.K.	APPROVED: G.L.H.	date 1-4-2023	scale 1"=80'	FILE NO. 03-130254-01	dwg 1	. NO. OF	4



FROL POINT ASSOCIATES, INC.- ALL RIGHTS RESERVED. PYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT O PROSE ORIGINALLY INTENDED WITHOUT THE WRITEN DERMISSION OF CONTROL POINT ASSOCIATES INC. 19 REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP F15.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PLYMOUTH 2. COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 207 OF 650," MAP NUMBER 25023CO207J, EFFECTIVE DATE: JULY 17, 2012.
- MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF PEMBROKE, 3. PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORK," DATED: JUNE 28, 1960, STATE HIGHWAY LAYOUT NO. 5004, SHEETS 1 & 2 OF 5 SHEETS.
- 4. MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, BRIGANTINE VILLAGE & RAINBOW SQUARE, CHURCH STREET, PEMBROKE, MA (PLYMOUTH COUNTY), PREPARED FOR: RK CENTERS," PREPARED BY COLER AND COLANTONIO, INC., DATED: NOVEMBER 13, 2012, PROVIDED BY CLIENT.
- 5. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: JUNE 3, 1941, STATE HIGHWAY LAYOUT NO. 3391, SHEET 8 OF 10.
- MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/CHURCH STREET IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT GROUP, INC.," DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 2 OF 3. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, CHURCH STREET IN PEMBROKE, MASSACHUSETTS, 7.
- (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT, LP," DATED APRIL 8, 1999, PREPARED BY THE BSC GROUP INC., SHEET 1 OF 1. 8. MAP ENTITLED, "COMPILED PLAN OF LAND, OLD CHURCH STREET, PEMBROKE, MASSACHUSETTS, PREPARED
- FOR A. W. PERRY INC.," PREPARED BY PERKINS ENGINEERING, INC., DATED JULY 8, 1986, FILED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 28, PAGE 408 ON DECEMBER 31, 1986. 9. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/RIVERSIDE DRIVE IN PEMBROKE
- MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR DOUCET AND ASSOCIATES," DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 1 OF 4.
- 10. MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, OLD CHURCH STREET/CHURCH STREET IN PEMBROKE MASSACHUSETTS, (PLYMOUTH COUNTY), PREPARED FOR GREAT ISLAND DEVELOPMENT GROUP, INC.," DATED OCTOBER 3, 1998, PREPARED BY THE BSC GROUP INC., SHEET 2 OF 3.
- 11. MAP ENTITLED, "LOWE'S HOME IMPROVEMENT WAREHOUSE, PROPOSED BUILDING & ASSOCIATES DRIVES, OLD CHURCH STREET, TOWN OF PEMBROKE, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY BOHLER ENGINEERING, P.C., DATED NOVEMBER 30, 2000. LAST REVISED JUNE 5, 2002.
- 12. MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF PEMBROKE, PLYMOUTH COUNTY, ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION," PREPARED BY CHAPPELL ENGINEERING ASSOCIATES, LLC, DATED NOVEMBER 23, 2015. LAYOUT NO. 8525. THREE SHEETS.
- 13. MAP ENTITLED "PLAN OF LAND IN PEMBROKE, MASS., DRAWN FOR: T.D. BELMONT COMPANY," PREPARED BY BSC, DATED AUGUST 8, 1983. RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 24, PLAN 58.

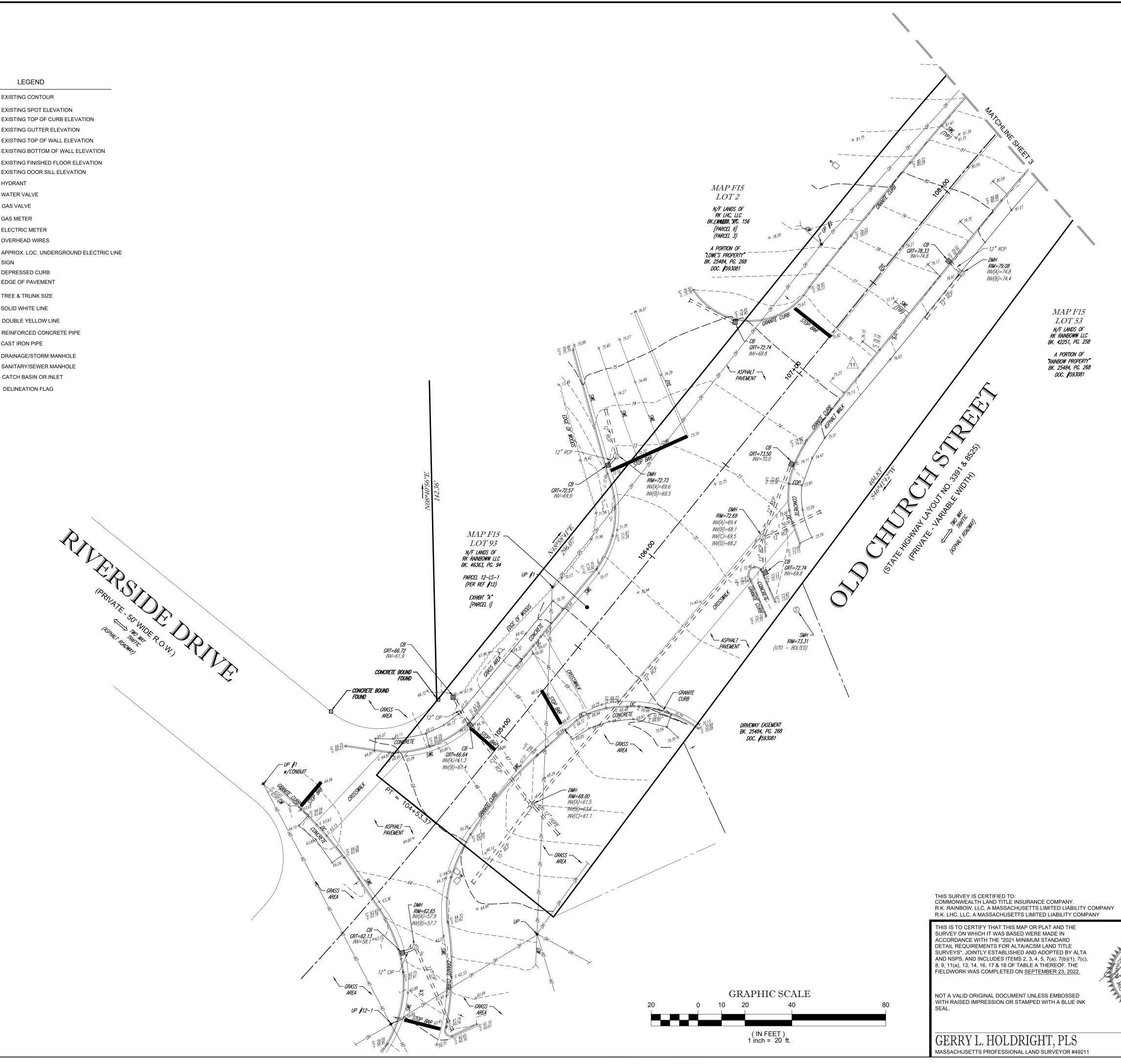




				REFERENCE #4
UP #5 WAT HILL 88.47 08.19 MAP F15 LOT 93 N/F LANDS OF RX RAINBOWW LLC BK. 46363, PC. 94 PARCEL 12-LS-1 (PER REF #12)	24° PCP		LEGEND	
EXHIBIT "A" [PARCEL 1]			EXISTING CONTOUR EXISTING SPOT ELEVATION EXISTING TOP OF CURB ELEVATION EXISTING GUTTER ELEVATION EXISTING TOP OF WALL ELEVATION EXISTING BOTTOM OF WALL ELEVATION EXISTING FINISHED FLOOR ELEVATION EXISTING FINISHED FLOOR ELEVATION EXISTING DOOR SILL ELEVATION HYDRANT WATER VALVE GAS VALVE GAS METER ELECTRIC METER OVERHEAD WIRES APPROX. LOC. UNDERGROUND ELECTRIC LINE	
		DC EOP T# O SWL DYL RCP CIP O DMH S SMH CB CB	SIGN DEPRESSED CURB EDGE OF PAVEMENT TREE & TRUNK SIZE SOLID WHITE LINE DOUBLE YELLOW LINE REINFORCED CONCRETE PIPE CAST IRON PIPE DRAINAGE/STORM MANHOLE SANITARY/SEWER MANHOLE CATCH BASIN OR INLET DELINEATION FLAG	

AT THIS MAP OR PLAT AND THE VAS BASED WERE MADE IN E "2021 MINIMUM STANDARD S FOR ALTA/ACSM LAND TITLE TABLISHED AND ADOPTED BY ALTA DES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), & 18 OF TABLE A THEREOF. THE PLETED ON <u>SEPTEMBER 23, 2022.</u>	D LE BY ALTA)(1), 7(c), THE 2022. B B B B B B B B B B B B B B B B B B	FIELD DATE 9-23-2022 FIELD BOOK NO. 22-07 MA FIELD BOOK PG. 23	ALTA/NSPS LAND TITLE SURVEY BOHLER ENGINEERING, LLC OLD CHURCH STREET MAP F15, LOTS 2 & 93 TOWN OF PEMBROKE, PLYMOUTH COUNTY COMMONWEALTH OF MASSACHUSETTS						
DOCUMENT UNLESS EMBOSSED ON OR STAMPED WITH A BLUE INK	GREEDISTERED ACT	FIELD CREW C.W.		CONTR ssoci		INC	ATTAN, NY 646.7	780 0411	
	1-4-2023	drawn: R.A.	SO	2 TURNPIKE RC UTHBOROUGH 3.948.3000 - 508	I, MA 01772	MT. LA CHAI	AUREL, NJ 609.8 LFONT, PA 215.7 ARREN, NJ 908.6	357.2099 712.9800	
OLDRIGHT, PLS Fessional land surveyor #49211	DATE	REVIEWED: R.J.K.	APPROVED: G.L.H.	date 1-4-2023	scale 1"=20'	FILE NO. 03-130254-01	dwg. no. 3 OF	4	

LEGEND						
	EXISTING CONTOUR					
× 123.45	EXISTING SPOT ELEVATION					
× TC 123.45	EXISTING TOP OF CURB ELEVATION					
× G 122.95	EXISTING GUTTER ELEVATION					
× TW 123.45	EXISTING TOP OF WALL ELEVATION					
× BW 122.95	EXISTING BOTTOM OF WALL ELEVATION					
× FF 123.45	EXISTING FINISHED FLOOR ELEVATION					
× DS 123.45	EXISTING DOOR SILL ELEVATION					
V	HYDRANT					
W/	WATER VALVE					
$\overset{GV}{\bowtie}$	GAS VALVE					
GM	GAS METER					
EM	EM ELECTRIC METER					
ОН	OVERHEAD WIRES					
——— E ———	APPROX. LOC. UNDERGROUND ELECTRIC LI					
	SIGN					
DC	DEPRESSED CURB					
EOP	EDGE OF PAVEMENT					
7# ۥ}	TREE & TRUNK SIZE					
SWL	SOLID WHITE LINE					
DYL	DOUBLE YELLOW LINE					
RCP	REINFORCED CONCRETE PIPE					
CIP	CAST IRON PIPE					
D DMH	DRAINAGE/STORM MANHOLE					
© SMH	SANITARY/SEWER MANHOLE					
CB	CATCH BASIN OR INLET					
\land	DELINEATION FLAG					



AT THIS MAP OR PLAT AND THE WAS BASED WERE MADE IN HE "2021 MINIMUM STANDARD S FOR ALTA/ACSM LAND TITLE STABLISHED AND ADOPTED BY ALTA DES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 7 & 18 OF TABLE A THEREOF. THE PLETED ON <u>SEPTEMBER 23, 2022.</u>	GERRY L GERRY L GERRY L HOLDRIGHT NO. 49211 BAR DE GISTERED DIAL LAND SURFE	FIELD DATE 9-23-2022		ALTA/NSPS LAND TITLE SURVEY					
		FIELD BOOK NO.	BOHLER ENGINEERING, LLC OLD CHURCH STREET MAP F15, LOTS 2 & 93 TOWN OF PEMBROKE, PLYMOUTH COUNTY COMMONWEALTH OF MASSACHUSETTS					C	
		FIELD BOOK PG.							
. DOCUMENT UNLESS EMBOSSED SION OR STAMPED WITH A BLUE INK		FIELD CREW C.W.	CONTROL POINT A S S O C I A T E S, I N C. MANHATTAN, NY 646.780						
	1-4-2023	DRAWN: R.A.	352 SO	2 TURNPIKE RC UTHBOROUGH 3.948.3000 - 508	DAD H, MA 01772	2 CHALFONT, PA 215.712.9800			
OLDRIGHT, PLS	DATE	REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.		
OFESSIONAL LAND SURVEYOR #49211		R.J.K.	G.L.H.	1-4-2023	1"=20'	03-130254-01	4 OF	4	