

SITE RE-DEVELOPMENT

330 OLD OAK STREET

PEMBROKE, MA

Drawing Index:

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SCALE: 1" = 60'

Issued Date:
MARCH 1, 2023

McKenzie Engineering Group, Inc. Consulting Engineers
150 Longwater Drive, Suite 101, Norwell, Massachusetts 02061

SPECIAL PERMIT SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE
COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE
TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT
THE NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD HAS BEEN RECEIVED AND RECORDED
AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING
THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING
OF SAID NOTICE.

DATE _____ TOWN CLERK _____

Owner/Applicant:

330 Old Oak Street, LLC
289 St. George Street
Duxbury, MA 02332

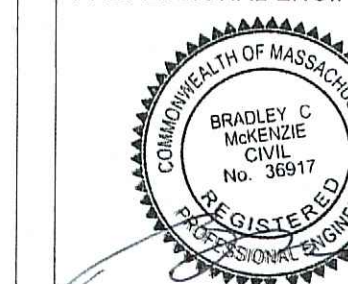
Engineer/Surveyor:

McKenzie Engineering Group, Inc.
150 Longwater Drive
Suite 101
Norwell, MA 02061

[illegible]

SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS

PROFESSIONAL ENGINEER:



OWNERS/APPLICANT:
3330 OLD OAK STREET, LLC
289 ST. GEORGE STREET
DUXBURY, MASSACHUSETTS

PERMIT PLAN

DRAWN BY:	SB3
DESIGNED BY:	-
CHECKED BY:	BCF
APPROVED BY:	BCF
DATE:	MARCH 1, 20
SCALE:	AS NOTED
PROJECT NO.:	222-19
DWG. TITLE:	

COVER
SHEET

DWG. NO:

C-1

ABN	ABANDONED
ACAP	ASBESTOS CEMENT PIPE
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
ASPH	ASPHALT
ACCOMP	ASPHALT COATED CORRUGATED METAL PIPE
B	BOLLARD
B	BOUND
BLDG	BUILDING
IT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
BS	BOTTOM OF SLOPE
CAP	CORRUGATED ALUMINUM PIPE
C8	CATCH BASIN
C&C	CUT AND CAPPED
C&H	CONC. BOUND/DRILL HOLE
C&B/EPLP	CBS&CUTO&H&CON
C&B	CAPE OOD BERM
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
C	CENTERLINE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
COND	CONDUIT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CS	COMBINED SEWER
CSMH	COMBINED SEWER MANHOLE
CULV	CULVERT
Δ	DELTA ANGLE
D	DRAIN
DCB	DOUBLE CATCH BASIN
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
E	ELECTRIC
ECC	EXTRUDED CONCRETE CURB
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
E/T/C	ELECTRIC, TELEPHONE, & CABLE TV
EW	END WALL
EXIST	EXISTING
F&B	FIRE ALARM BOX
FES	FLARED END SECTION
FND.	FOUND
FND	FOUNDATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
FD	FIRST DEFENSE UNIT
G	GAS
GD	GROUND
GG	GAS GATE
GIP	GALVANIZED IRON PIPE
GP	GUARD POST
GR	GAS SERVICE
GR	GUARD RAIL
GRAN.	GRANITE
HH	HANDHOLE
HOR	HORIZONTAL
HP	HIGH PRESSURE
HWL	HEADWALL
HYD	HYDRANT
INV	INVERT
I.P.	IRON PIN
I.R.	IRON ROD
L	LEAD
LP	LIGHT POLE
MAX	MAXIMUM
MC	METAL COVER
MH	MANHOLE
MHB	MASS. HIGHWAY BOUND
MIN	MINIMUM
MLP	METAL LIGHT POLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PB	PULL BOX
PE	POLYETHYLENE PIPE
P	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
P&MT	PAVEMENT
PWW	PAVED WATER WAY
RCP	REINFORCED CONCRETE PIPE
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SEWER
SB	STONE BOUND
SB/DH	STONE BOUND/DRILL HOLE
SGC	SLOPED GRANITE CURB
SMH	SEWER MANHOLE
STA	STATION
SS	SEWER SERVICE
STL	STEEL
SW	SIDEWALK
T	TELEPHONE
TCB	TRAFFIC CONTROL BOX
TL	TRAFFIC LIGHT
TMH	TELEPHONE MANHOLE
Tr	TREE
TRANS	TRANSFORMER
TS	TOP OF SLOPE
TSV	TAPPING SLEEVE, VALVE AND BOX
TYP	TYPICAL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
VGC	VERTICAL GRANITE CURB
W	WATER MAIN
WG	WATER GATE

EXISTING	PROPOSED	
— 55 —	— 100 —	CONTOUR ELEVATION
X 100.2	+ 100.00	SPOT GRADE
27.21TC 27.15BC	27.21TC 27.15BC	TOP & BOTTOM ELEVATION
21.25	21.25	SPOT ELEVATION w/LEADER
		SEWER MANHOLE (SMH)
		FIRST DEFENSE UNIT (FD)
		DRAIN MANHOLE (DMH)
		CATCH BASIN (CB)
		DOUBLE CATCH BASIN (DCB)
		HYDRANT (HYD)
		UTILITY POLE (UP)
		LIGHT
		WATER GATE (WG)
		GAS GATE (GG)
		SIGN
EP	EP	EDGE OF PAVEMENT (NO CURB)
TP	TP	TEST PIT AND/OR PERC TEST LOCATION
		EXISTING TREE
		BOLLARD
		DUMPSTER PAD
		PARKING COUNT
		HANDICAP RAMP
		HANDICAP PARKING
		VAN-ACCESSIBLE HANDICAP PARKING
		UTILITY POLE
		GUY POLE
		HAND HOLE
		PULL BOX
		TELEPHONE MANHOLE
		TRANSFORMER PAD
		TREE LINE
		CHAIN LINK FENCE
		STONE WALL
		RETAINING WALL
		WETLAND FLAG LOCATION
		WETLAND LINE
		WETLAND BUFFER
		LIMIT OF WORK/EROSION CONTROL
		SNOW STORAGE AREA

1. LOCUS IS SHOWN AS PARCEL NUMBER G15-3 ON THE TOWN OF PEMBROKE ASSESSOR'S MAPS.
2. DEED TO LOCUS IS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS AT BOOK 57242, PAGE 35.
3. SURVEY OF THE FRONT PORTION OF THE SITE WAS MADE ON THE GROUND IN SEPTEMBER OF 2022 BY MCKENZIE ENGINEERING GROUP, INC. THE REMAINDER OF THE SITE IS FROM COMPILED DATA.
4. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
5. WETLAND RESOURCE AREAS WERE NOT ENCOUNTERED DURING THE FIELD SURVEY.
6. MINIMUM SETBACK REQUIREMENTS:
ZONING DISTRICT: BUSINESS B (ADULT USE OVERLAY)
FRONT YARD 40'
SIDE YARD 25'
REAR YARD 20'
7. THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 2502302007K, WHICH BEARS AN EFFECTIVE DATE OF JULY 6, 2022.
8. THE PROPERTY SHOWN HEREON IS LOCATED IN A DEP ZONE 2, AND NOT LOCATED IN A TOWN OF PEMBROKE WATER RESOURCE AND GROUNDWATER PROTECTION DISTRICT.
9. THE LOCUS IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP).
10. PLAN REFERENCES:

PB	PG
4090	428
3414	357
3538	593
3654	303

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL COORDINATE ALL STREET WORK WITH THE PEMBROKE DEPARTMENT OF PUBLIC WORKS.
4. THE CONTRACTOR SHALL EXCAVATE THE UTILITY TRENCHES IN THE LOCATIONS SHOWN ON THE PLAN PRIOR TO COMMENCING WORK TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
5. ALL WATER AND FIRE SERVICES SHALL BE INSTALLED WITH 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
6. THE LOCATION AND SIZES OF THE DOMESTIC WATER AND FIRE SERVICES SHALL BE PROVIDED DURING FINAL DESIGN AND WERE NOT SPECIFIED BY MCKENZIE ENGINEERING GROUP, INC.
7. THE DOMESTIC WATER SERVICES SHALL BE POLYETHYLENE AND FIRE SERVICES SHALL BE CEMENT LINED DUCTILE IRON PIPE (C.L.D.I.) AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED TAPPING SLEEVE, GATE VALVE AND BOX.
8. ALL WATER AND FIRE SERVICE APPURTENANCES, MATERIALS, METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
9. THE FIRE SERVICE AND DOMESTIC WATER SERVICE SHALL BE ADEQUATELY PROTECTED AGAINST BACKFLOW (BACKFLOW PREVENTION) AT THE BUILDING.
10. AFTER PRESSURE TESTING AND CHLORINATION IS COMPLETED, SAMPLES SHALL BE TAKEN FROM THE FIRE SERVICE AND DOMESTIC WATER SERVICE AND SHALL BE TESTED AT 200 PSI FOR A MINIMUM OF 2 HOURS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE PEMBROKE DEPARTMENT OF PUBLIC WORKS AT LEAST 24 HOURS PRIOR TO THE TESTING.
11. THE FIRE SERVICE AND DOMESTIC WATER SERVICE SHALL BE TESTED IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. A MINIMUM OF 2 SEPARATE WATER SAMPLES SHALL BE TESTED AT A STATE CERTIFIED LABORATORY.
12. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER SERVICES AND WATER SERVICES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER SERVICE THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER SERVICE.
13. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
14. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
15. THE LOCATIONS OF PROPOSED ELECTRIC, TELEPHONE, COMMUNICATION (E.T.C.) AND FIRE SERVICES ARE APPROXIMATE. THE PROJECT ELECTRICAL ENGINEER SHALL VERIFY THESE LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL COORDINATE ALL E.T.C. WORK WITH THE APPROPRIATE UTILITY COMPANIES.
16. THE PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL COORDINATE THE GAS SERVICE INSTALLATION WITH THE GAS COMPANY. THE CLIENT AND CONTRACTOR SHALL CONFIRM THE LOCATION AND SIZE OF THE PROPOSED GAS SERVICES WITH THE GAS COMPANY.
17. IF DURING THE CONSTRUCTION PROCESS THE NEED FOR EXCAVATION DEWATERING ARISES, A DEWATERING FILTER PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROPRIATE STORMWATER MANAGEMENT AND ENGINEERING PRACTICES.

DATE OF APPLICATION:

DATE OF HEARING:

DATE OF APPROVAL:

DATE OF ENDORSEMENT:

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

DATE _____ TOWN CLERK _____

[illegible]

SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS

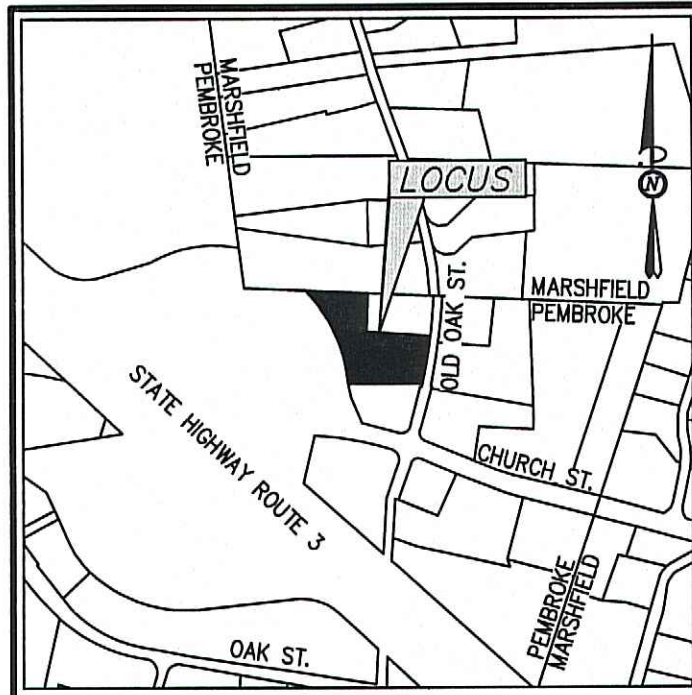
PERMIT PLAN

DRAWN BY:	SBS
DESIGNED BY:	--
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 1, 2023
SCALE:	NTS
PROJECT NO.:	222-190

GENERAL NOTES, LEGEND & ABBREVIATIONS

DWG. NO:

C-2



LOCUS MAP
Not to Scale

UNION STREET
APN C11-01-01
N/F
NORTH RIVER COMMUNITY
DEED BK 18170 PG 208

TOWN OF MARSHFIELD
TOWN OF PEMBROKE

334 OLD OAK STREET
APN F15-1
N/F
NORTH RIVER COMMUNITY
DEED BK 18170 PG 208

343 OLD OAK STREET
APN G15-22
N/F
343 OAK STREET REALTY TRUST
BK. 28067 PG. 236
±1.00 AC

305 OLD OAK STREET
APN G15-12
N/F
EMILY TRADING POST INC.
BK. 10519 PG. 235
±2.94 AC

SURVEY NOTES:

- LOCUS IS SHOWN AS PARCEL NUMBER G15-3 ON THE TOWN OF PEMBROKE ASSESSOR'S MAPS.
- DEED TO LOCUS IS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS AT BOOK 50475, PAGE 87.
- THIS SURVEY WAS MADE ON THE GROUND IN SEPTEMBER OF 2022 BY MCKENZIE ENGINEERING GROUP, INC.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- WETLAND RESOURCE AREAS WERE NOT ENCOUNTERED DURING THE FIELD SURVEY.
- MINIMUM SETBACK REQUIREMENTS:
ZONING DISTRICT: BUSINESS B (ADULT USE OVERLAY)
FRONT YARD 40'
SIDE YARD 25'
REAR YARD 20'
- THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 2502300207K, WHICH BEARS AN EFFECTIVE DATE OF JULY 6, 2022.
- THE PROPERTY SHOWN HEREON IS LOCATED IN A DEP ZONE 2, AND NOT LOCATED IN A TOWN OF PEMBROKE WATER RESOURCE AND GROUNDWATER PROTECTION DISTRICT.
- UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-544-7233.
- PLAN REFERENCES:

PB	PG
4090	428
3414	357
3538	593
3654	303

208 CHURCH STREET
APN G15-4
N/F
GLOBAL COMPANIES, LLC
BK. 38960 PG. 190
±1.36 AC

SPECIAL PERMIT SITE PLAN APPROVAL

DATE OF APPLICATION: _____
DATE OF HEARING: _____
DATE OF APPROVAL: _____
DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD
THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

ABBREVIATIONS

FFE FIRST FLOOR ELEVATION
BIT CONC. BITUMINOUS CONCRETE PAVEMENT
CCB CAPE COD BERM
EP EDGE OF PAVEMENT
BC BITUMINOUS CONCRETE CURB
(AM) AS MEASURED
RET WALL RETAINING WALL
CONC. CONCRETE
RCP REINFORCED CONCRETE PIPE
VCC VERTICAL GRANITE CURB
ETW EDGE OF TRAVEL WAY
MTL METAL BERM
VCC VERTICAL CONCRETE CURB
CMP CORRUGATED METAL PIPE
LSA LANDSCAPED AREA

LEGEND

SURVEY SYMBOLS

• REBAR
◊ ANGLE IRON
CB/DH CONCRETE BOUND WITH DRILL HOLE
SB STONE BOUND
SB/DH STONE BOUND WITH DRILL HOLE

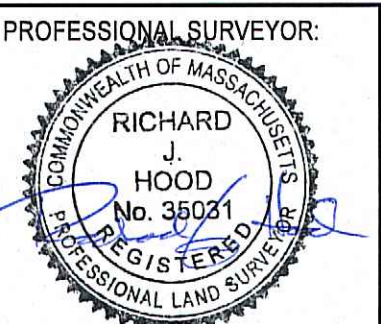
UTILITY SYMBOLS

CHIMNEY
ELECTRIC HAND HOLE
GUY POLE
GUY WIRE
HVAC UNIT
BUILDING LIGHT W/MAST
BUILDING LIGHT
TRANSFORMER
WATER GATE
EXHAUST VENT
AIR VENT
DRAINAGE SUMP
ELECTRIC MANHOLE
SEWER MANHOLE
DRAIN MANHOLE
TELEPHONE MANHOLE
DRAINAGE CATCH BASIN
DOOR WAY THRESHOLD
HYDRANT
POST INDICATOR VALVE
UTILITY POLE
YARD LIGHT
RIP RAP
BOLLARD
SIGN
FIRE ALARM
DECIDUOUS TREE
CONIFEROUS TREE

LINE DESIGNATORS

W WATER MAIN
H HANDRAIL
J JERSEY BARRIER
G GUARD RAIL
OW OVERHEAD WIRES
G GAS LINE
WS WATER SERVICE
U UNDERGROUND ELECTRIC
D STORM DRAIN LINE
S SANITARY SEWER LINE
D DRAINAGE SWALE
X CHAIN LINK FENCE

SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS



OWNERS/APPLICANT:
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288 ST. GEORGE STREET
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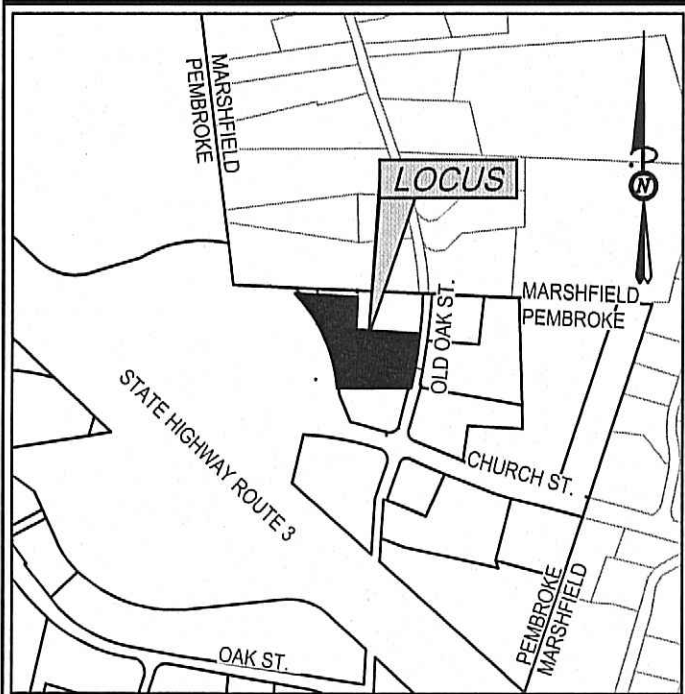
DRAWN BY: ESS
DESIGNED BY: RTLS
CHECKED BY: RJH
APPROVED BY: RJH
DATE: MARCH 1, 2023
SCALE: 1"=30'
PROJECT NO.: 222-190
DWG. TITLE:

EXISTING CONDITIONS PLAN

DWG. NO.: **EX-1**

C MCKENZIE ENGINEERING GROUP, INC.

M:\MEG\2022 PROJECTS\222-190 JEI VENTURES - 330 OLD OAK ST., PEMBROKE\DWGS\222-205 EOP.DWG



LOCUS MAP
Not to Scale

IV-A SCHEDULE OF DIMENSIONAL REQUIREMENTS

BUSINESS DISTRICT BIADULT USE OVERLAY DISTRICT	PARCEL ID G15-3		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SQUARE FT. 35,000 SQUARE FT. *	3.24 ACRES	NO CHANGE
MINIMUM LOT FRONTAGE	150' FT.	210.79 FT.	NO CHANGE
MINIMUM FRONT SETBACK	40 FT.	22.15 FT.	40.1'
MINIMUM SIDE SETBACK	25 FT.	29.51 FT.	25 FT.
MINIMUM REAR SETBACK	20 FT.	> 20 FT.	> 20 FT.
MAXIMUM BUILDING HEIGHT	(3) STORIES	1 STORY	1 STORY
BUILDING FLOOR AREA ¹	35%	31.97%	32.65%
MAXIMUM LOT COVERAGE	60%	95,289.70 SF. OR 67.52%	95,668.11 SF. OR 67.78%

*EXCLUSIVE OF ALL EASEMENTS, CRANBERRY BOGS, WETLANDS, FLOODPLAINS AND WATERSHED AREAS.

¹ EXISTING FLOOR AREAS DETERMINED BY PEMBROKE ASSESSORS CARDS: MINI WAREHOUSES = 42,150 SF, HOUSE = 3,033.5 SF TOTAL= 45,183.50

SPECIAL PERMIT SITE PLAN APPROVAL

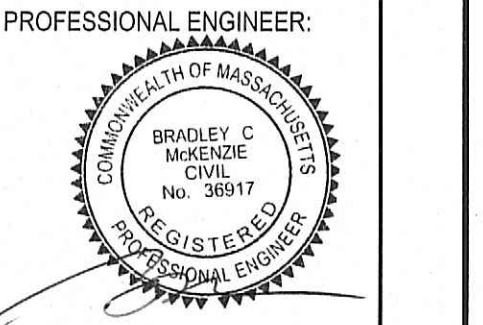
DATE OF APPLICATION: _____
DATE OF HEARING: _____
DATE OF APPROVAL: _____
DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD
THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.
DATE _____ TOWN CLERK _____

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS

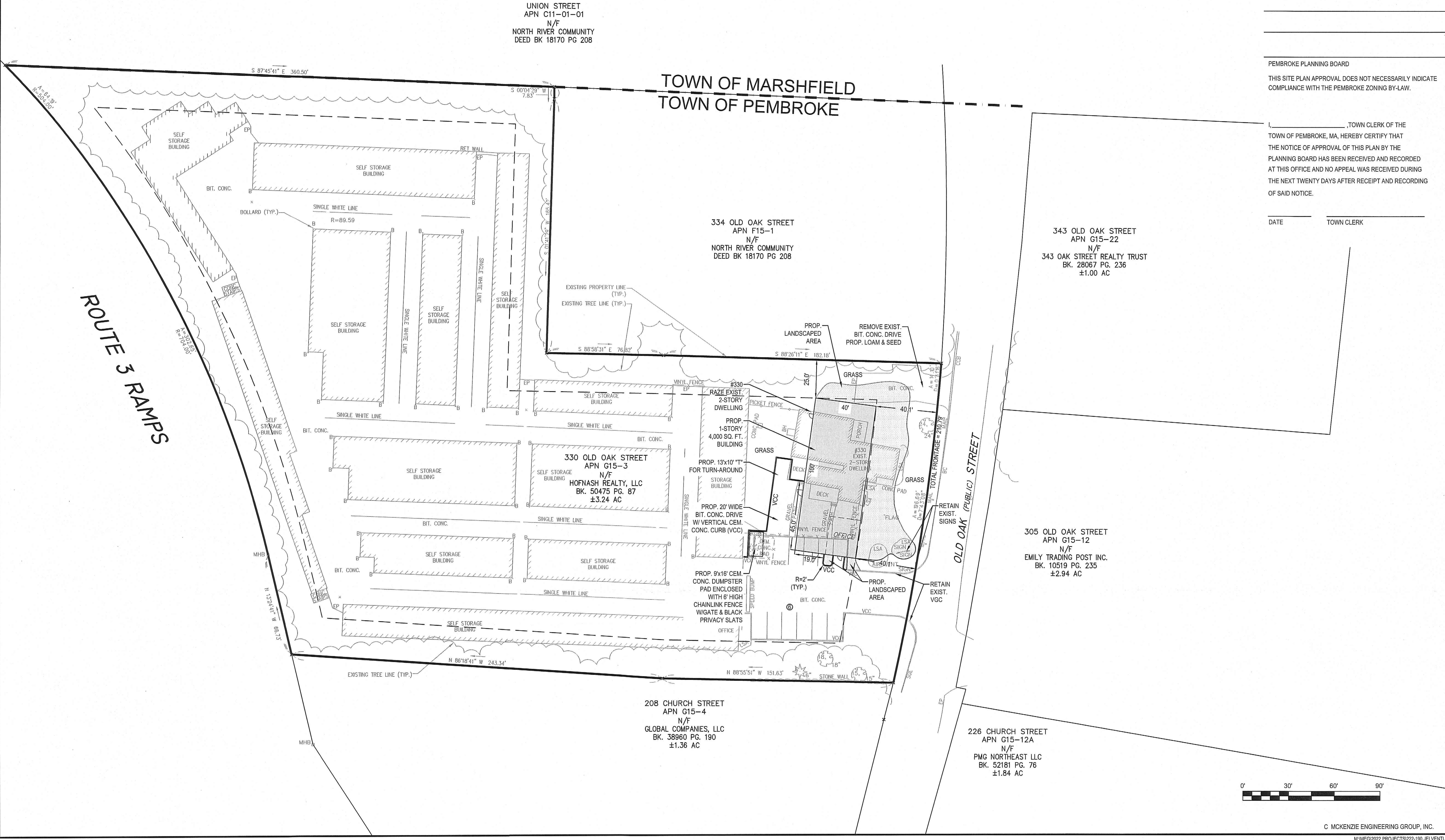


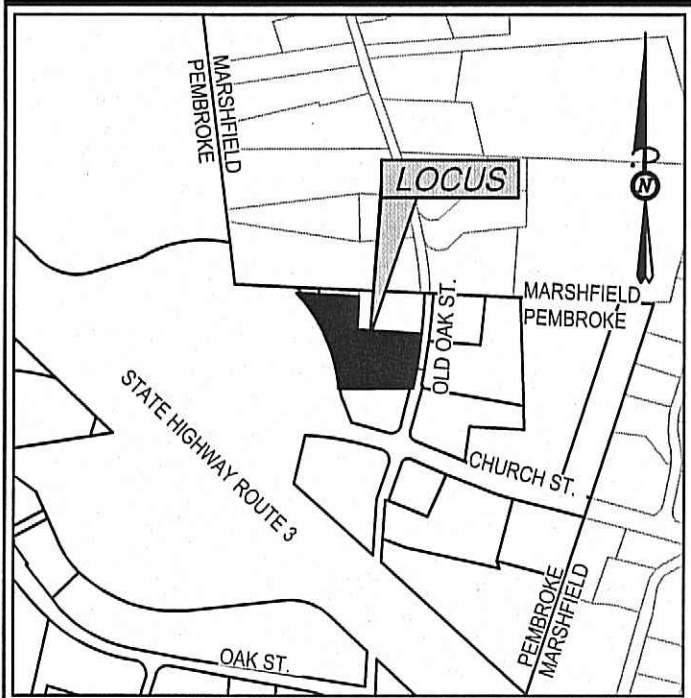
OWNERS/APPLICANT:
330 OLD OAK STREET, LLC
280 ST. GEORGE STREET
DUXBURY, MASSACHUSETTS

DRAWN BY: SBS
DESIGNED BY: --
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 1, 2023
SCALE: 1"=30'
PROJECT NO.: 222-190

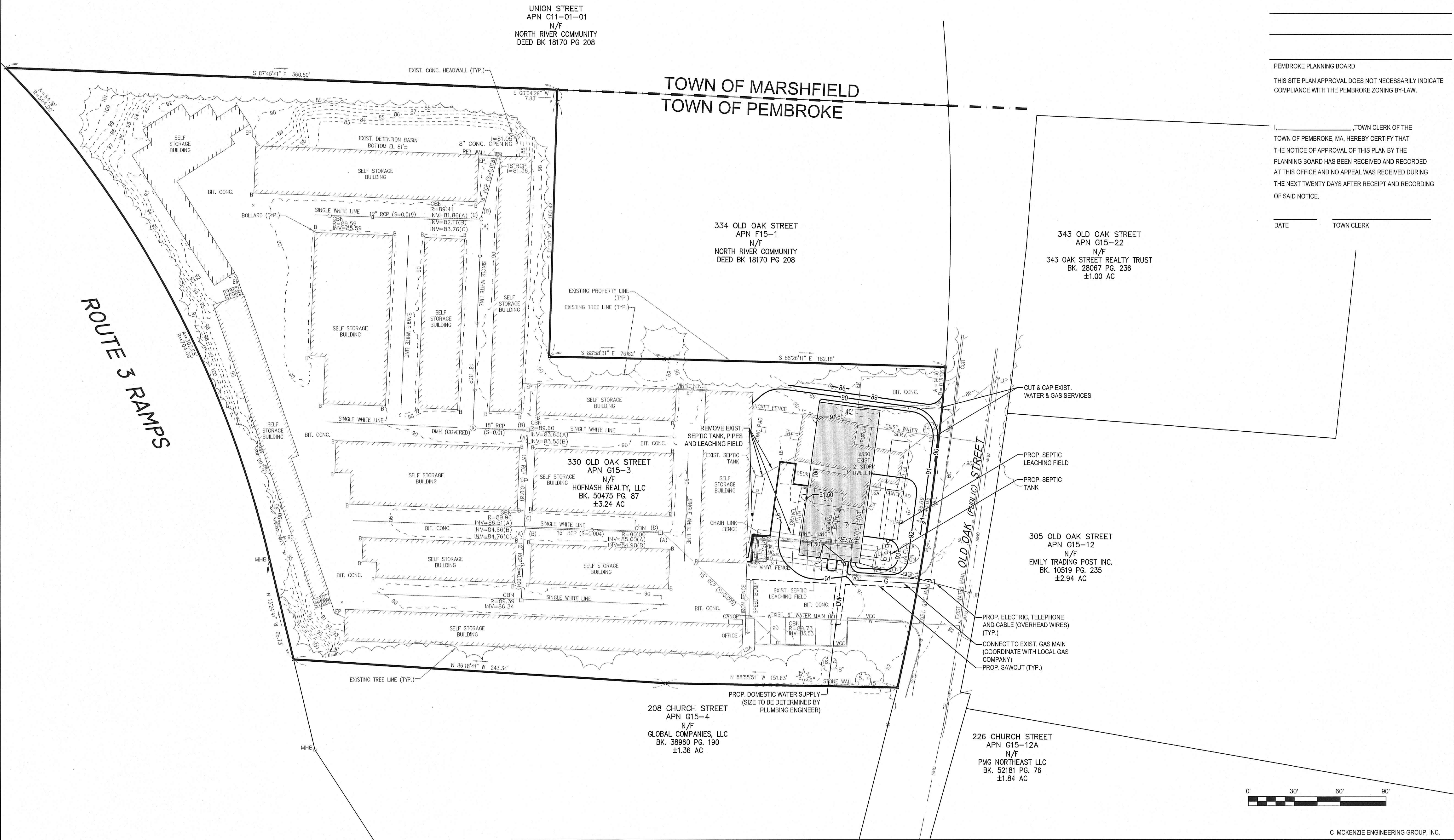
SITE LAYOUT PLAN

DWG. NO.: **C-3**





LOCUS MAP
Not to Scale



SPECIAL PERMIT SITE PLAN APPROVAL

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PEMBROKE PLANNING BOARD
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DATE _____ TOWN CLERK _____

REV	DATE	DESCRIPTION	BY	APP

MCKENZIE
ENGINEERING GROUP
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150 Longwater Drive, Suite 101
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P: 781.792.3900
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SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS

PROFESSIONAL ENGINEER:

BRADLEY C. MCKENZIE
No. 36917
REGISTERED PROFESSIONAL ENGINEER

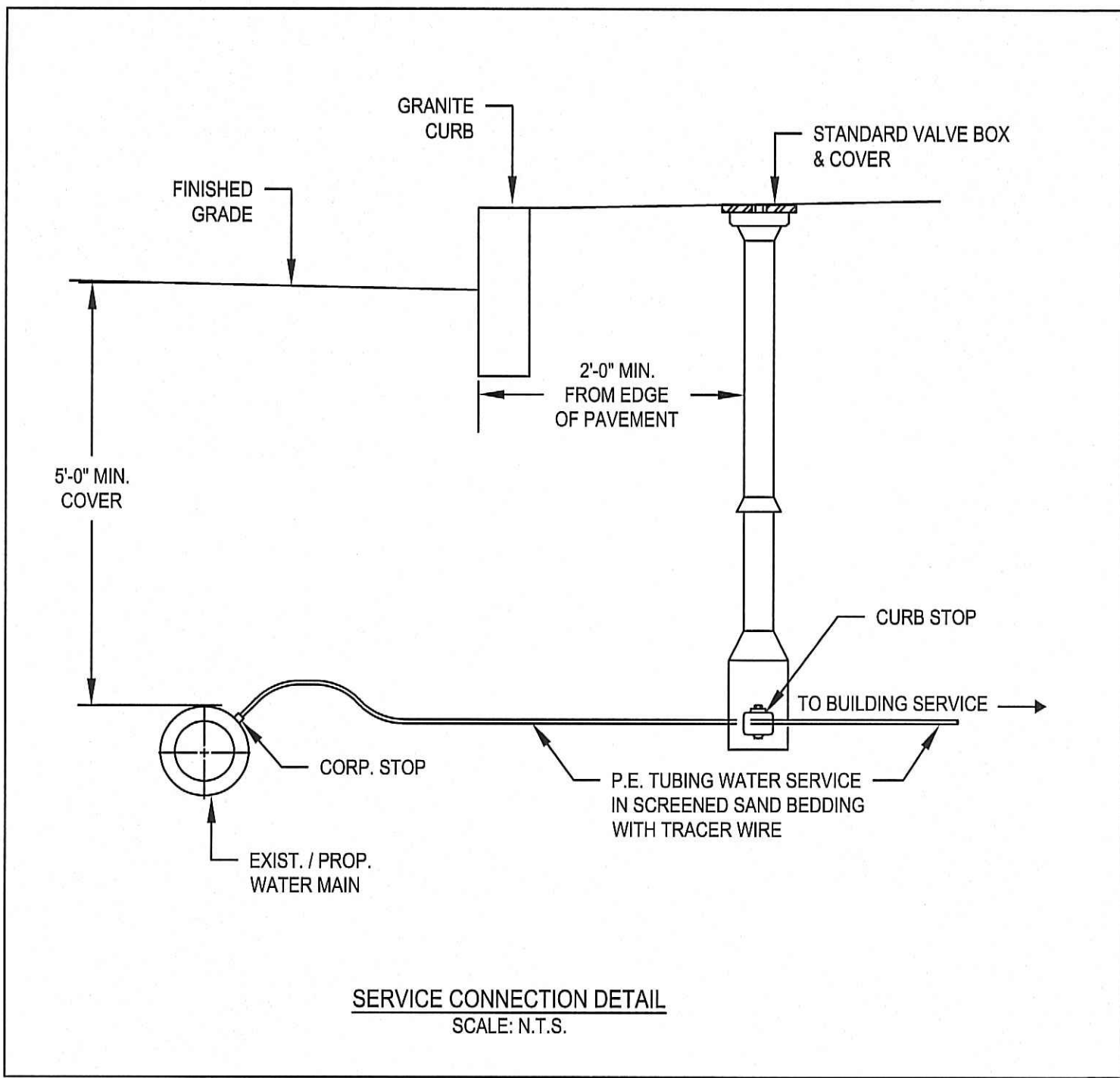
OWNERS/APPLICANT:
330 OLD OAK STREET, LLC
289 ST. GEORGE STREET
DUXBURY, MASSACHUSETTS

DRAWN BY: SBS
DESIGNED BY: --
CHECKED BY: BCM
APPROVED BY: BCM
DATE: MARCH 1, 2023
SCALE: 1"=30'
PROJECT NO.: 222-190
DWG. TITLE:

GRADING & UTILITY PLAN

DWG. NO: **C-4**

1. IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
2. ALL PIPES SHALL BE PRESSURE TESTED AT 200 PSI WORKING PRESSURE FOR A MINIMUM DURATION OF TWO HOUR.
3. WATER SYSTEM IS TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CHLORINE AND AFTER 24 HOURS TO 25 P.P.M. OR AS REQUIRED BY PEMBORKE WATER SUPERINTENDENT/ENGINEER.
4. WATER PIPE IS TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOINT, CONFORMING TO A.N.S.I./A.W.W.A. C150/A21.50, CLASS 52, AS APPROVED BY THE TOWN'S WATER SUPERINTENDENT/ENGINEER.
5. ALL PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS PRIOR TO PAVING IF PAVING ABOVE TRENCH IS REQUIRED.
6. BACKFILL IS TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY BY AASHTO T-180 D.
7. ALL WATER PIPE SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OF APPROVED MATERIALS.
8. RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE DIRECTOR OF PUBLIC WORKS FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
9. ALL WORK SHALL BE IN CONFORMANCE WITH PEMBORKE WATER DEPARTMENT STANDARDS.
10. ALL PERMITS REQUIRED FOR STREET OPENINGS AND WATER MAIN TAPPING MUST BE OBTAINED.
11. NO WATER WILL BE TURNED ON IN THE PROJECT WITHOUT WATER DEPARTMENT APPROVAL.



DATE OF APPLICATION:

DATE OF HEARING:

DATE OF APPROVAL:

DATE OF ENDORSEMENT:

I, _____, TOWN CLERK OF THE
TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT
THE NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD HAS BEEN RECEIVED AND RECORDED
AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING
THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING
OF SAID NOTICE.

[illegible]

SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS

PERMIT PLAN

DRAWN BY:	SBS
DESIGNED BY:	--
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 1, 2023
SCALE:	NOT TO SCALE
PROJECT NO.:	222-190
DWG. TITLE:	

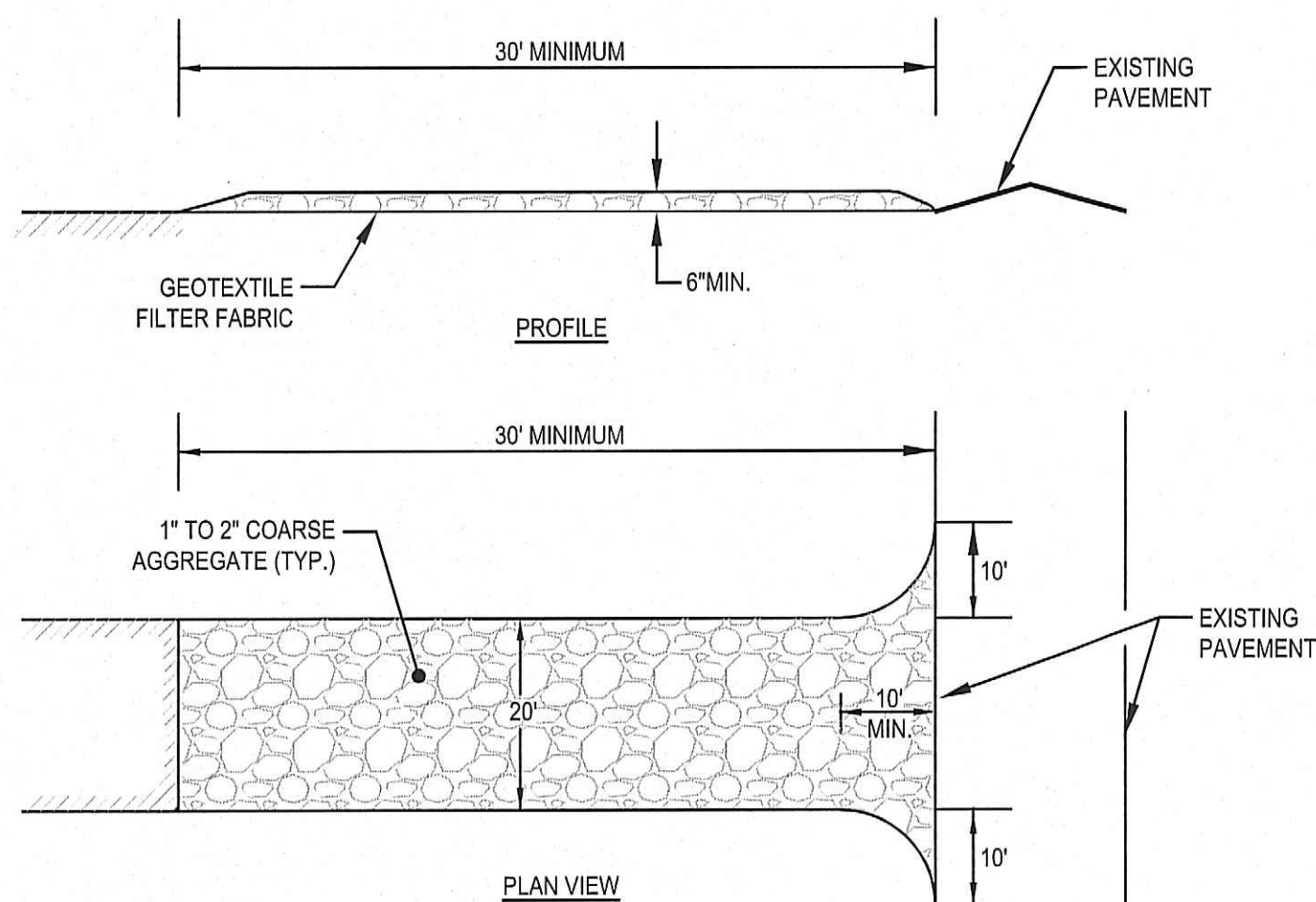
DWG. NO: **D 0**

TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

1. THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT OLD OAK STREET.
3. CLEAR AND GRUB UP AS REQUIRED FOR THE CONSTRUCTION OF THE BUILDING AND RELATED INFRASTRUCTURE.
4. EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE OFF SITE.
5. CONSTRUCT CUT AND FILL AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN.
6. INSTALL UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILT SACK OR EQUIVALENT INLET PROTECTION.
7. GRADE SITE TO SUBGRADE ELEVATIONS AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
8. GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL INTO EXITING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH.
9. COMPLETE FINE GRADING OF SITE.
10. REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

REFER TO MASS DEP STORMWATER MANAGEMENT HANDBOOK FOR SPECIFICATIONS AND STRUCTURAL AND DUST CONTROL EROSION BEST MANAGEMENT PRACTICES.

1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK BARRIER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY DIVERSION SWALES WITH STONE CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION SUBJECT TO TOWN OF PEMBROKE ENGINEERING APPROVAL.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. IN GENERAL, THE SMALLEST POSSIBLE AREA OF LAND SHOULD BE EXPOSED AT ONE TIME. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE CONFINED TO A MAXIMUM PERIOD OF 3 MONTHS. LAND SHALL NOT BE EXPOSED DURING THE WINTER MONTHS. ANY DRAINAGE CHANNELS WHICH ARE TO BE LEFT TEMPORARILY AND THAT WILL BE REGRADED AT A LATER DATE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH WINTER RYE TO PREVENT EROSION.

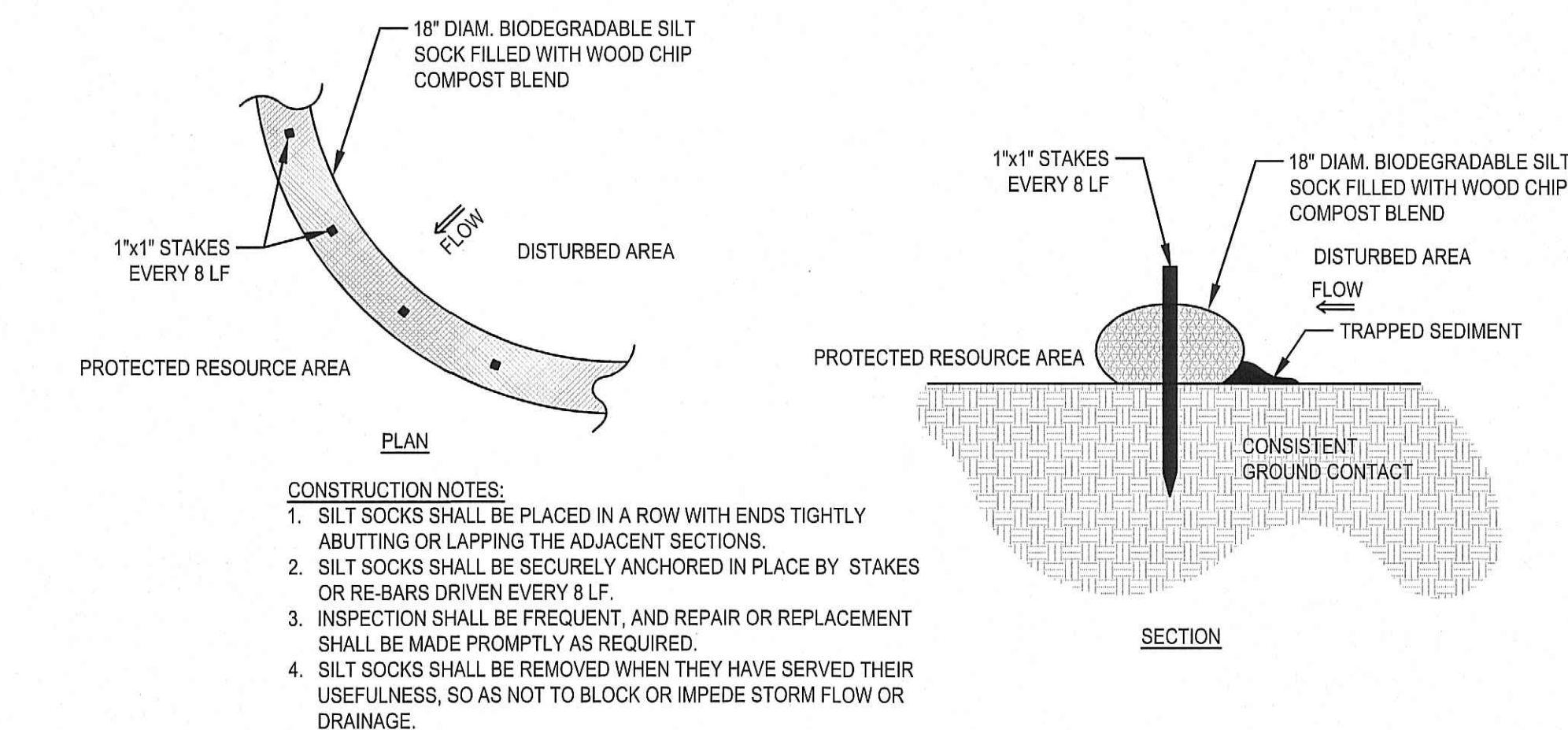


(SCE) CONSTRUCTION SPECIFICATIONS:

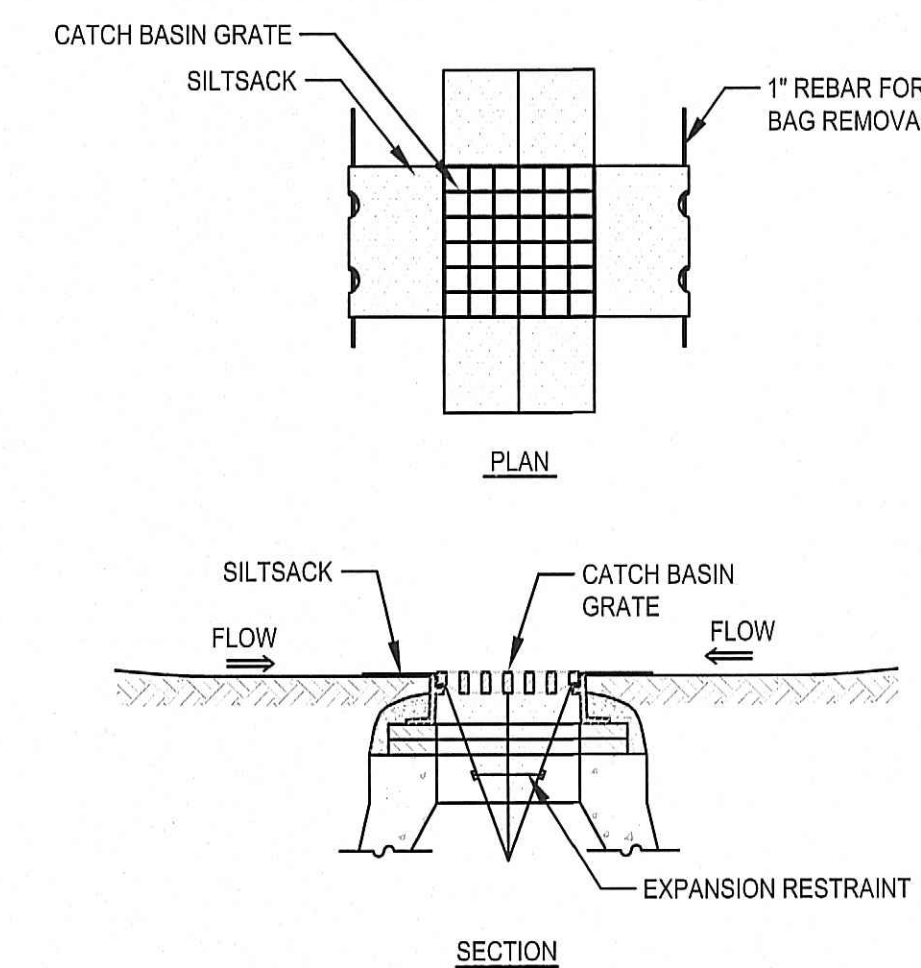
1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANTOWN OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE (SCE) DETAIL
SCALE: N.T.S.

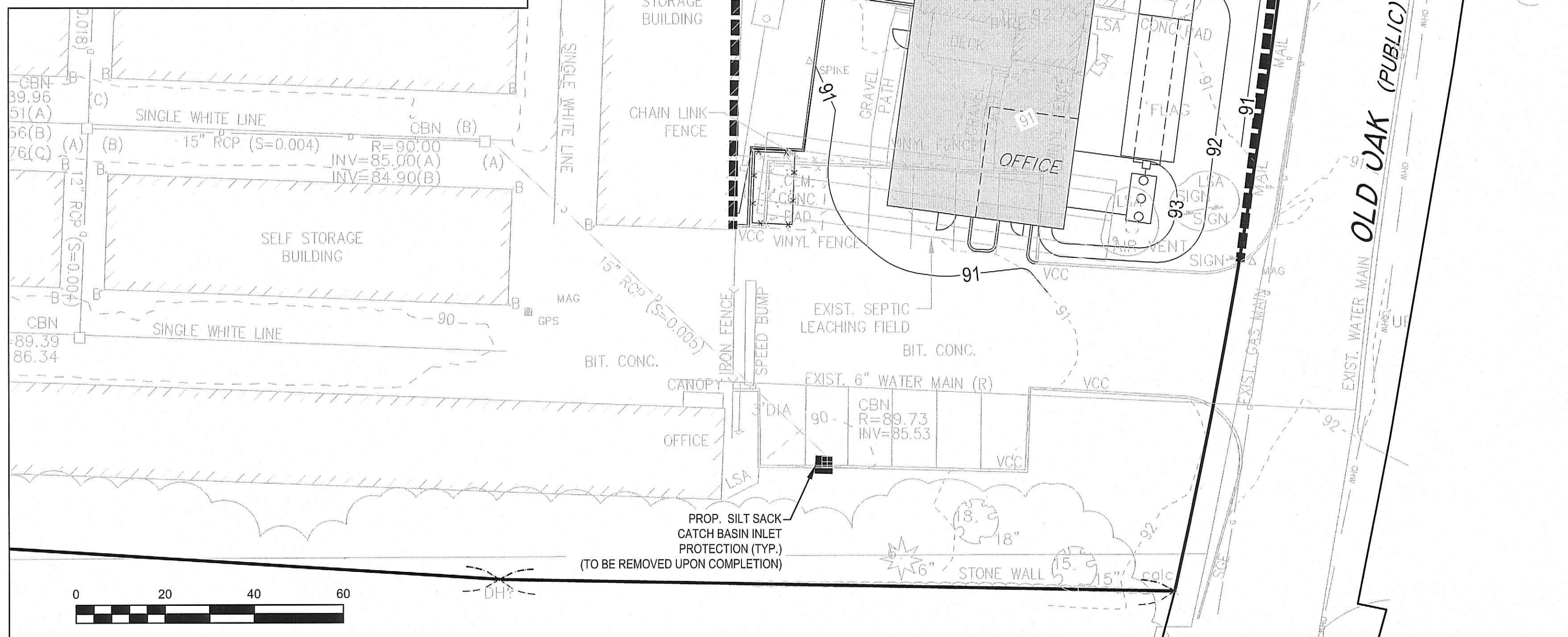
1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE EROSION CONTROL BARRIERS, STABILIZED CONSTRUCTION ENTRANCE AND INLET PROTECTION.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 1/2 INCH OR GREATER. THE INSPECTOR SHOULD REVIEW THE EROSION AND SEDIMENT CONTROLS WITH RESPECT TO THE FOLLOWING:
 - A. WHETHER OR NOT THE MEASURE WAS INSTALLED/PERFORMED CORRECTLY.
 - B. WHETHER OR NOT THERE HAS BEEN DAMAGE TO THE MEASURE SINCE IT INSTALLED OR PERFORMED.
 - C. WHAT SHOULD BE DONE TO CORRECT ANY PROBLEMS WITH THE MEASURE.



SILT SOCK EROSION CONTROL BARRIER DETAIL
SCALE: N.T.S.



SILTSACK SEDIMENT TRAP
SCALE: N.T.S.



DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE
COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE
TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT
THE NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD HAS BEEN RECEIVED AND RECORDED
AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING
THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING
OF SAID NOTICE.

DATE _____ TOWN CLERK _____

[illegible]

SITE RE-DEVELOPMENT
(ASSESSORS PARCEL G15-3)
330 OLD OAK STREET
PEMBROKE, MASSACHUSETTS

PROFESSIONAL ENGINEER



OWNERS/APPLICANT:
3330 OLD OAK STREET, LLC
289 ST. GEORGE STREET
DUXBURY, MASSACHUSETTS

PERMIT PLAN

DRAWN BY: SBS

DESIGNED BY: --
CHECKED BY: BCM

APPROVED BY: BCM

DATE: MARCH 1, 2023
SCALE: AS NOTED

PROJECT NO.:	222-190
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DWG. TITLE:

Erosion & Sedimentation Control Plan

DWG. NO: **1004**

ES-1