

LOCATION MAP  
SCALE: 1"=2000'±

ZONING DATA	
DISTRICT: RESIDENTIAL A	
MINIMUM REQUIREMENTS:	
LOT AREA	40,000 S.F.
UPLAND 80% CONTIGUOUS	32,000 S.F.
(>30,000 S.F. WITHIN 275' OF WAY)	
(HOUSE PLACED IN 150' DIA. CIRCLE LOCATED TOTALLY WITHIN 80% UPLAND AREA WITH ABILITY TO INSCRIBE CIRCLE FROM LOT'S FRONTAGE TO DESIGN AREA)	
LOT FRONTAGE	150 FT
FRONT YARD	40 FT
SIDE YARD	20 FT
REAR YARD	25 FT

ROADWAY DATA	
"MINOR STREET"	
RIGHT OF WAY	50'
PAVEMENT WIDTH	24'
CAPE COD BERM	12"
SIDEWALK WIDTH	4'
MIN. SIGHT DISTANCE	390'
MAX. GRADE	10%
MIN. GRADE	1%
MIN. CENTERLINE RADIUS	150'
MAX. STREET LENGTH	1000'
TURNAROUND DIAMETER	126'

TOTAL LENGTH OF ROADWAY = 459'  
(MEASURED FROM PROPERTYLINE AT RIGHT OF WAY TO CENTER OF CUL-DE-SAC ALONG CENTERLINE)

TOTAL LENGTH OF DEAD END = 644'  
(MEASURED FROM THE INTERSECTION OF ORCHARD DRIVE TO CENTER OF CUL-DE-SAC ALONG CENTERLINE)

**RECORD OWNER:**  
ASSESSOR MAP D8 LOT 5b  
  
DIANE SAUNDERS &  
STEPHEN V. SAIA  
DEED BOOK 37098 PAGE 128  
PLAN No. 58 OF 1980  
PLAN BOOK 21 PAGE 415

**PLAN REFERENCES:**  
1. PLAN NO. 296 OF 1953, PLAN BOOK 9 PAGE 342  
2. PLAN NO. 126 OF 1968, PLAN BOOK 14 PAGE 793  
3. COUNTY LAYOUT OF MOUNTAIN AVE DECREE NO. 879, MARCH 20, 1934.

**PLAN REFERENCES:**  
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS NOT LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP AS DEPICTED ON COMMUNITY PANEL No. 25023C0216J WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**NOTES:**  
1. BENCHMARK - GARAGE SLAB EXISTING DWELLING #70  
2. ALL ELEVATIONS ARE BASED ON N.A.V.D.88 DATUM



**WAIVER REQUESTS**

SECTION V.D. SIDEWALKS

SECTION V.J. STREET TREES

SECTION V.L. STREET LIGHTS

- TO WAIVE THE REQUIREMENT OF SIDEWALKS ON BOTH SIDES OF THE ROAD
- TO WAIVE THE REQUIREMENT OF STREET TREES
- TO WAIVE THE REQUIREMENT OF STREET LIGHTS

FOR REGISTRY USE ONLY

**PEMBROKE PLANNING BOARD**

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

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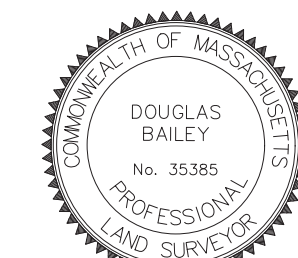
**PEMBROKE TOWN CLERK**

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

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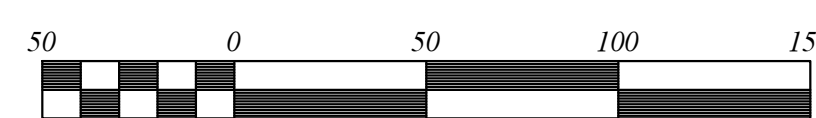


*Douglas Bailey*  
DOUGLAS BAILEY P.L.S. #35385  
DATE 4/6/20

**SHEET INDEX**

SHEET 1	COVER SHEET
SHEET 2	LOTING
SHEET 3	EXISTING CONDITIONS
SHEET 4	PLAN & PROFILE
SHEET 5	ROADWAY GRADING, EROSION CONTROL & LANDSCAPING
SHEET 6	LOT DEVELOPMENT
SHEET 7	LANDSCAPING
SHEET 8-11	DETAILS

REVISIONS	
1/29/20	DEP COMMENTS
2/6/20	REVIEW COMMENTS
4/6/20	PLANNING/CONSERVATION/DPW COM.



Scale 1" = 50'

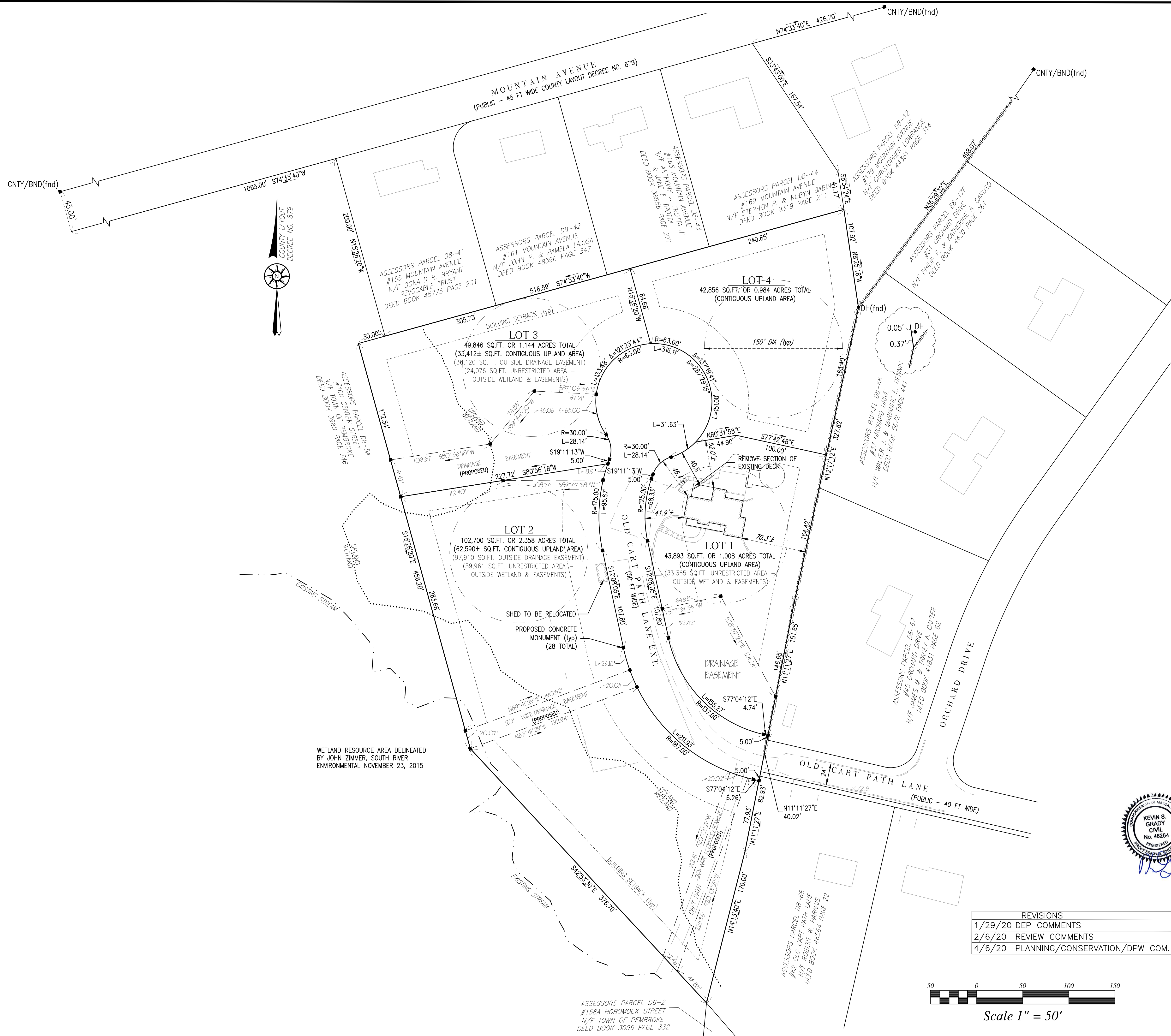
**DEFINITIVE SUBDIVISION PLAN**  
**OLD CART PATH LANE EXT.**  
**(70 OLD CART PATH LANE)**  
**PEMBROKE, MASSACHUSETTS**

PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

JANUARY 7, 2020  
SCALE: AS SHOWN  
JOB No. 14-346

**GRADY CONSULTING, L.L.C.**  
*Civil Engineers, Land Surveyors & Landscape Architects*  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378





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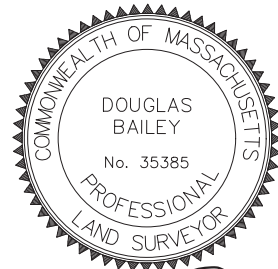
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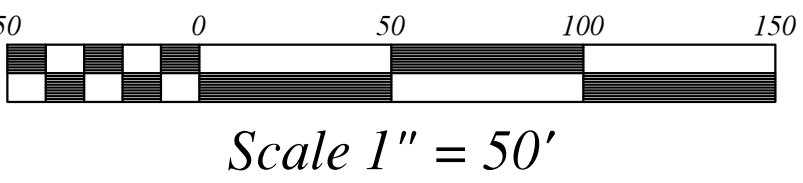
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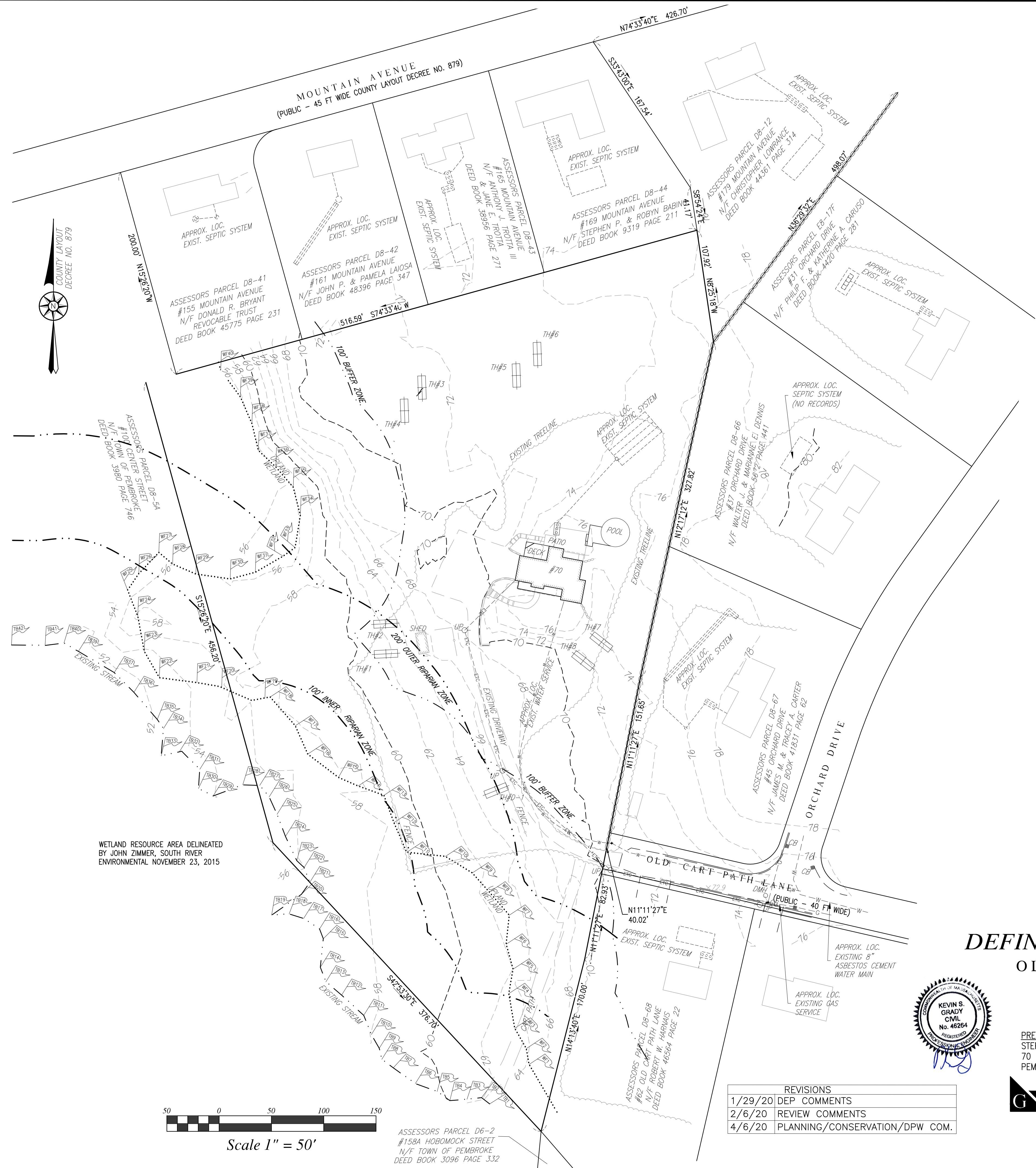
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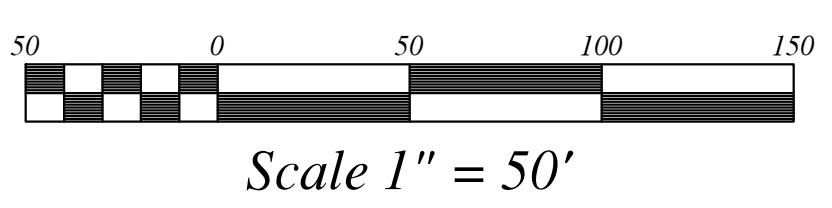






LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	CONTOUR
	EDGE OF PAVEMENT
	FENCE
	FENCE
	FENCE
	WATER LINE
	ELECTRIC LINE
	GAS LINE
	SEWER LINE
	DRAIN LINE
	WETLAND LINE
	TEST HOLE
	WETLAND FLAG
	WATER GATE
	HYDRANT
	UTILITY POLE
	DRAIN MANHOLE
	CATCH BASIN

WETLAND RESOURCE AREA DELINEATED  
BY JOHN ZIMMER, SOUTH RIVER  
ENVIRONMENTAL NOVEMBER 23, 2015



ASSESSORS PARCEL D6-2  
#158A HOBOMOCK STREET  
N/F TOWN OF PEMBROKE  
DEED BOOK 3096 PAGE 332

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## DEFINITIVE SUBDIVISION PLAN

### OLD CART PATH LANE EXT. (70 OLD CART PATH LANE) PEMBROKE, MASSACHUSETTS

PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

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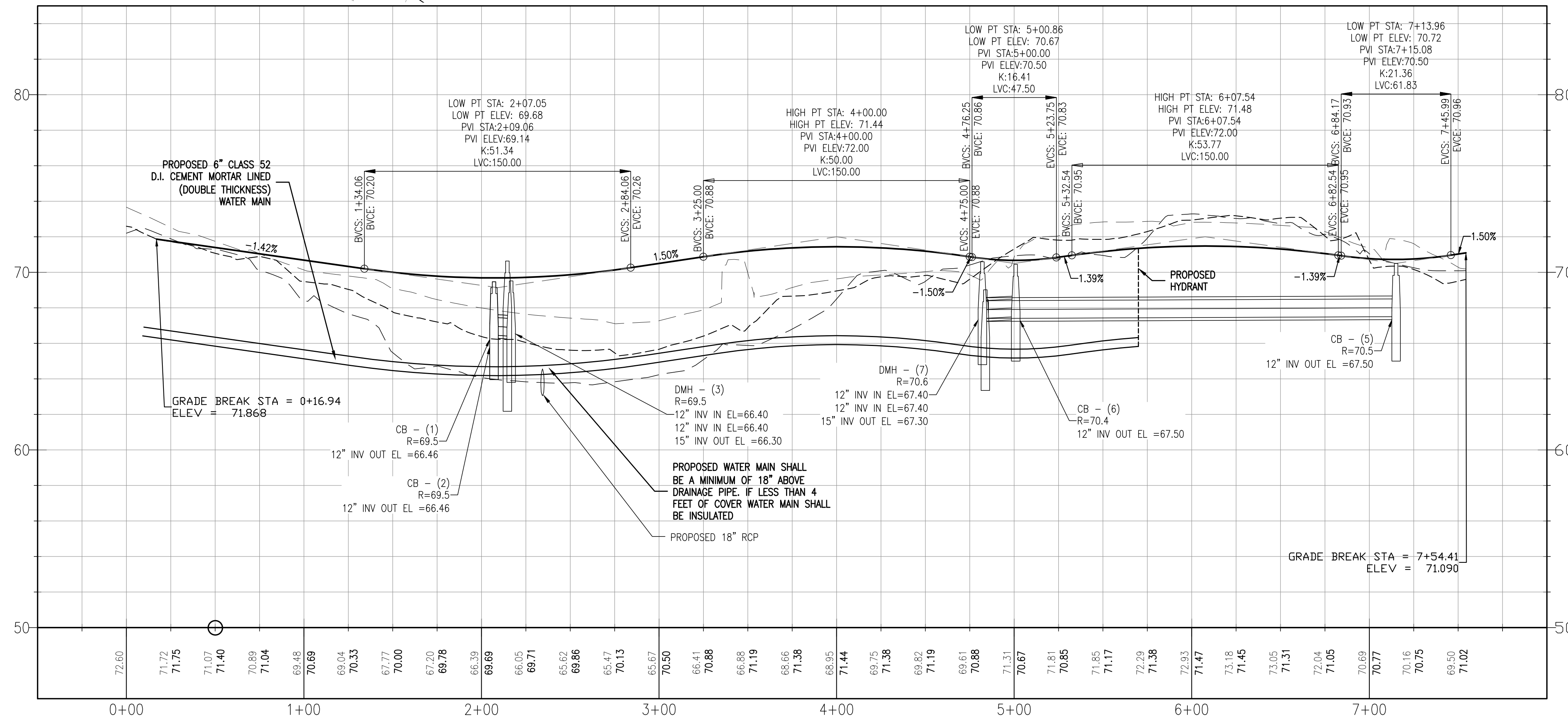
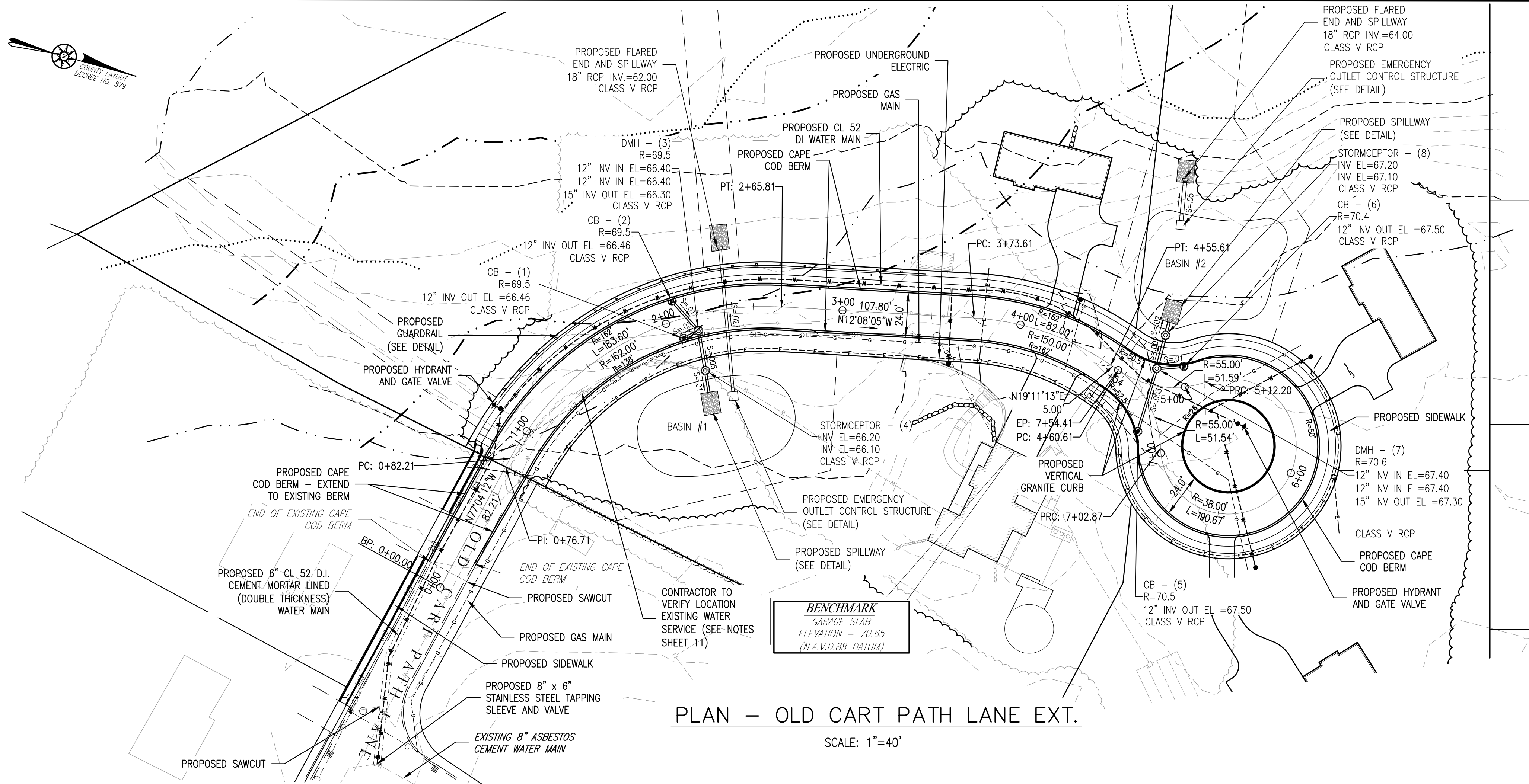
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Douglas Bailey  
DOUGLAS BAILEY P.L.S. #35385  
4/6/20  
DATE

EXISTING CONDITIONS





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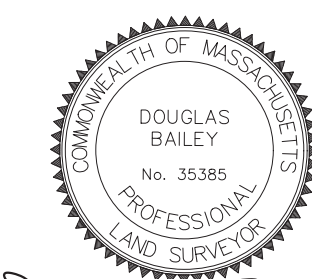
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DOUGLAS BAILEY P.L.S. #35385  
DATE 4/6/20

## DEFINITIVE SUBDIVISION PLAN OLD CART PATH LANE EXT. (70 OLD CART PATH LANE) PEMBROKE, MASSACHUSETTS

PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

JANUARY 7, 2020  
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JOB No. 14-346

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PHASE 1 CONSTRUCTION SEQUENCE:

PHASE 1 INCLUDES THE CONSTRUCTION OF THE ROADWAY, UTILITIES AND DRAINAGE BASINS

STAKE LIMITS OF WORK AND TREE CLEARING

INSTALL EROSION CONTROLS INCLUDING TEMPORARY SEDIMENT TRAPS & SWALES. TRAPS AND SWALES ARE TO BE INSPECTED FOLLOWING HEAVY RAINFALL OR SIGNIFICANT LEAF LITTER. CONTRACTOR TO KEEP SILT TRAPS AND SWALES CLEAR AT ALL TIMES

CUT TREES, CLEAR AND GRUB ROADWAY AND DRAINAGE BASIN AREAS AS SHOWN

GRADE TEMPORARY SHOULDER AND INSTALL WATER LINE.

CONSTRUCT DRAINAGE SWALE, DRAINAGE ACCESS ROAD, INFILTRATION BASIN INCLUDING LOAM AND SEED

(LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS) THE CONTRACTOR SHALL TAKE CARE TO MINIMIZE SOIL COMPACTION IN ALL AREAS OF THE SITE WITH THE EXCEPTION OF ROADWAYS AND STRUCTURAL AMENITIES AS REQUIRED FOR STRUCTURAL STABILITY.

BRING CUT AREAS TO SUBGRADE INSPECT BASIN AND FOREBAY AFTER ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND REMOVE SEDIMENT

INSTALL UTILITIES (ie, DRAIN, WATER, ELECTRIC, etc.)

CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE

INSTALL EROSION CONTROLS ON EXPOSED SLOPES, INSTALL SILT SACK IN CATCH BASIN, SILT SOCK AT BASIN INLET

PLACE BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS

STABILIZATION SEED SHALL BE PLACED PRIOR TO NOVEMBER TO EACH YEAR DURING CONSTRUCTION TO ENSURE VEGETATIVE STABILIZATION.

PAVING SHOULD ONLY BE COMPLETED WHILE PAVEMENT PLANTS ARE OPERATING. IT IS PREFERRED THAT PAVING BE COMPLETED PRIOR TO NOVEMBER.

PHASE 2 CONSTRUCTION SEQUENCE:

PHASE 2 INCLUDES THE CONSTRUCTION OF THE INDIVIDUAL HOUSE LOTS, SUBDIVISION LANDSCAPE AND FINISH PAVEMENT

STAKE LIMITS OF WORK AND TREE CLEARING

INSTALL EROSION CONTROLS, INSTALL EROSION CONTROLS ON EXPOSED SLOPES, INSTALL SILT SACK IN CATCH BASIN, MAINTAIN SILT SOCK AT BASIN INLET

CUT TREES, CLEAR AND GRUB YARD AREAS AS SHOWN

BRING CUT AREAS TO SUBGRADE INSPECT BASIN AND FOREBAY AFTER ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND REMOVE SEDIMENT

INSTALL AND BACKFILL FOUNDATION

CONSTRUCT DWELLINGS

INSTALL UTILITIES (IE, DRAIN, WATER, ELECTRIC, SEPTIC ETC.)

(LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS)

BRING YARDS TO SUBGRADE

INSTALL DOWNSPOUTS/ROOF DRAIN CONNECTIONS

PLACE DRIVEWAY BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS

CONTRACTOR SHALL REMOVE AND REPLACE ANY COMPACTED SOILS THROUGHOUT THE PROPERTY PRIOR TO PLACING LANDSCAPE TO ALLOW FOR PROPER DRAINAGE AND INFILTRATIVE CAPACITY OF THE UNDERLYING SOILS.

COMPLETE SUBDIVISION LANDSCAPING

STABILIZATION SEED SHALL BE PLACED PRIOR TO NOVEMBER TO EACH YEAR DURING CONSTRUCTION TO ENSURE VEGETATIVE STABILIZATION.

PAVING SHOULD ONLY BE COMPLETED WHILE PAVEMENT PLANTS ARE OPERATING. IT IS PREFERRED THAT PAVING BE COMPLETED PRIOR TO NOVEMBER.

UNCOVER TEMPORARY DRAINAGE SEALS / FINISH PAVING ON ROADWAY AND DRIVEWAYS

REQUEST CERTIFICATE OF COMPLIANCE FROM CONSERVATION AND PLANNING BOARD

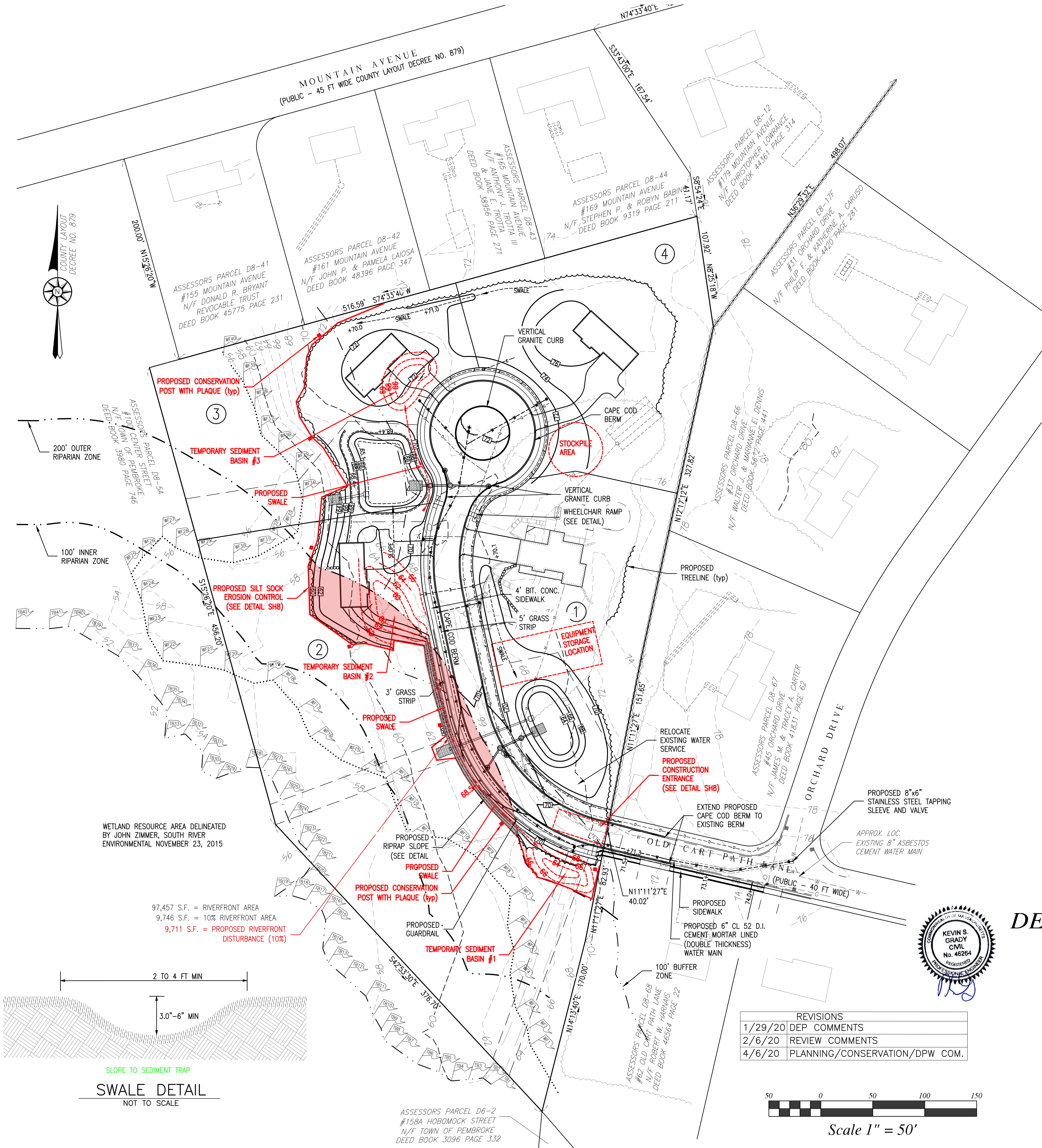
SEDIMENT TRAP #1 & 2  
2 YEAR RUNOFF VOLUME FROM POST #2, #3, & #10 = 3,781 (CU. FT) (4,605 CU. FT PROVIDED)

CONTOUR ELEVATION (sq. FT)	CONTOUR AREA	DEPTH (FT)	INCREMENTAL VOLUME AVG. END (CU. FT)	CUMULATIVE VOLUME AVG. END (CU. FT)
SEDIMENT TRAP #1				
64	284	N/A	N/A	0.00
66	1055	2.000	1339	1339

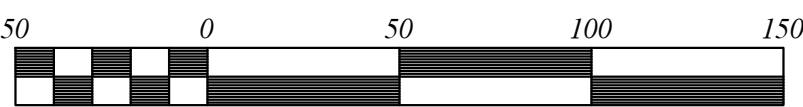
SEDIMENT TRAP #2				
60	1076	N/A	N/A	0.00
62	2190	2.000	3266	3266

SEDIMENT TRAP #2  
2 YEAR RUNOFF VOLUME FROM POST #5 & #6 = 2,539 (CU. FT) (3,200 CU. FT PROVIDED @ EL=69)

CONTOUR ELEVATION	CONTOUR AREA (SQ. FT)	DEPTH (FT)	INCREMENTAL VOLUME AVG. END (CU. FT)	CUMULATIVE VOLUME AVG. END (CU. FT)
66	470	N/A	N/A	0.00
68	1141	2.000	1611	1611
69	2038	1.000	1589	3200



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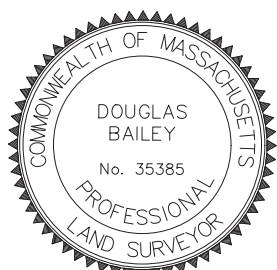
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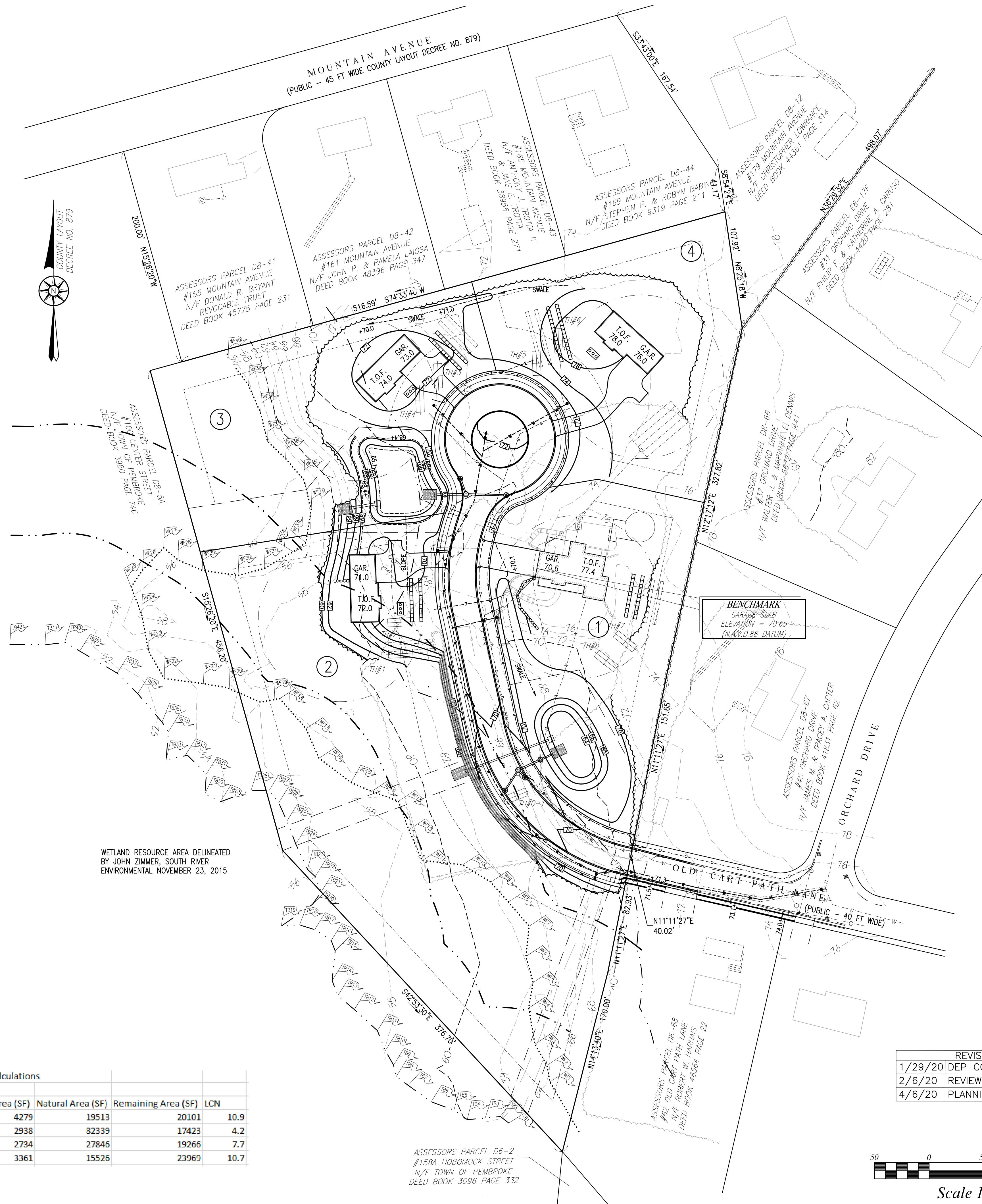
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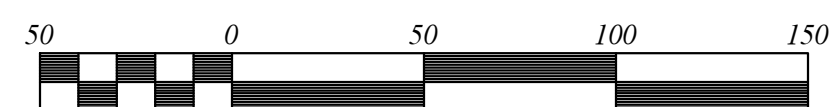
ROADWAY GRADING, EROSION CONTROL & LANDSCAPING





Lot Characterization Number (LCN) Calculations				
Refer to ZBL Section V.10.				
	Lot Area (SF)	Impervious Area (SF)	Natural Area (SF)	Remaining Area (SF)
1	43893	4279	19513	20101
2	102700	2938	82339	17423
3	49846	2734	19266	27846
4	42856	3361	15526	23969

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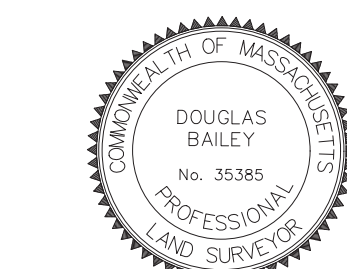
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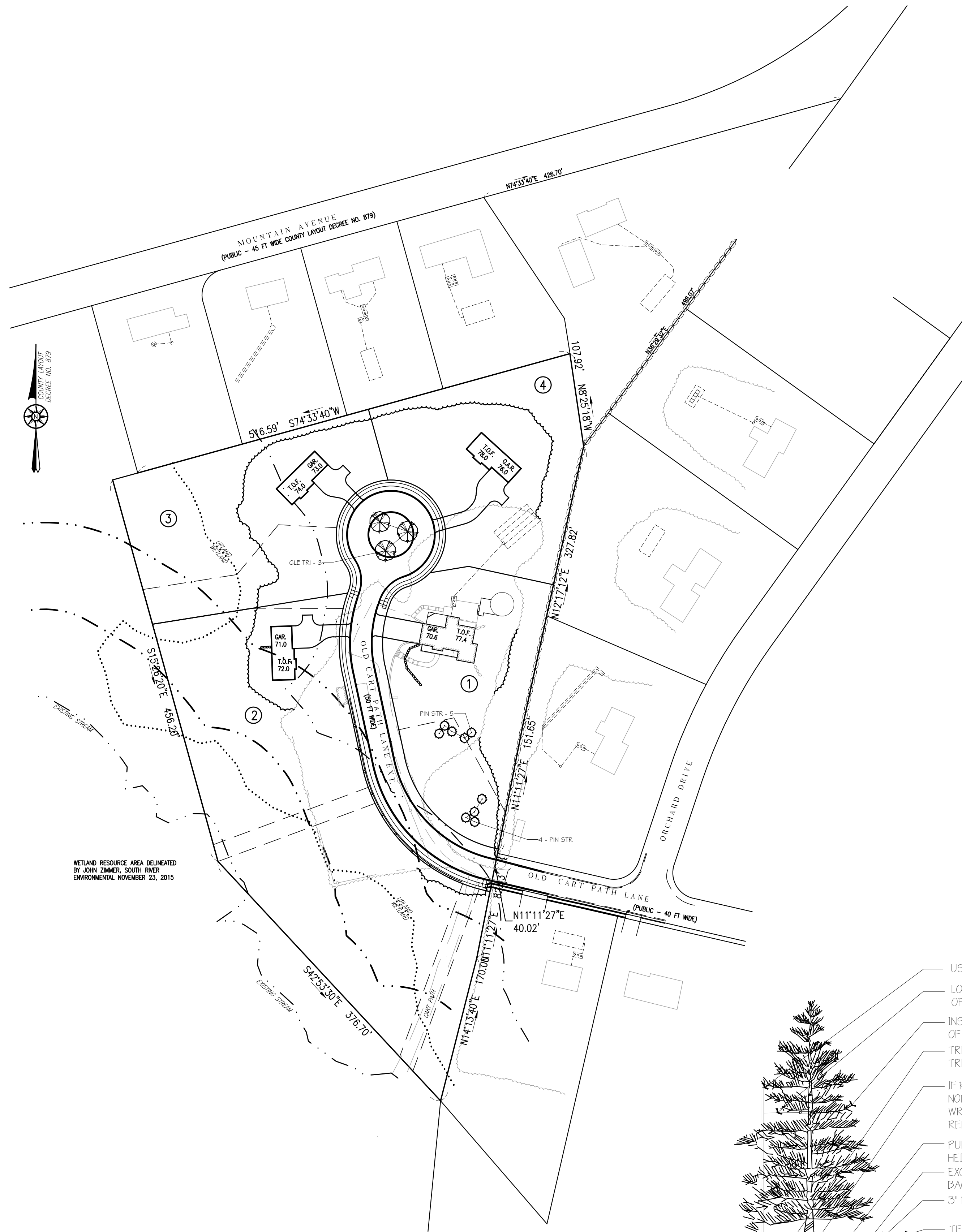
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LOT DEVELOPMENT





PLANT\_SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
GLE TRI	3	Gleditsia triacanthos inermis / Thornless Common Honeylocust	B & B	3"	Cal
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
PIN STR	9	Pinus strobus / White Pine	B & B		7-8' hgt.

PLANTING NOTES

- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION

2) ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER SETTLEMENT AS TO THEIR ORIGINAL GRADE BEFORE DIGGING. LOCATE PLANT COLLAR TWO OR THREE INCHES HIGHER THAN PLANTING SOIL MIX TO INSURE CORRECT FINAL RELATIONSHIP.

3) APPLY AN APPROVED ANTI-DESSICANT TO ALL PLANTS IN LEAF AT PLANTING TIME, AND TO ALL EVERGREENS BEFORE THEIR FIRST WINTER.

4) FLOOD ALL PLANTS WITH CLEAN WATER TWICE IN THE FIRST 24 HOURS AFTER PLANTING. CONTRACTOR TO ARRANGE FOR ALL PLANTS TO BE PLANTED WITHIN THREE DAYS AFTER DELIVERY TO THE SITE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.

5) NEVER CUT A LEADER.

6) TRIM ONLY BROKEN OR DEAD BRANCHES FROM EVERGREEN PLANTS.

7) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.

8) ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

9) ALL TREES SHALL HAVE "BEST FACE" SIDE TAGGED AT NURSERY PRIOR TO DIGGING.

10) ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.

11) CONTRACTOR TO STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.

12) LANDSCAPE ARCHITECT TO APPROVE IN PLACE ALL SHRUBS, PERENNIALS AND VINES PRIOR TO PLANTING.

13) ALL TREES TO RECEIVE A MINIMUM OF THREE INCHES OF MULCH. ALL SHRUBS, VINES AND GROUND COVERS TO RECEIVE A MINIMUM OF TWO INCHES OF MULCH.

14) WHERE SPECIFIED, CALIPER SIZE TO BE OVERRIDING FACTOR IN TREE SELECTION.

15) STAKE OR GUY ALL TREES AND LARGE EVERGREEN MATERIAL.
- 16) CONTRACTOR TO PROVIDE TWO YEAR GUARANTEE ON ALL MATERIAL. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO BEGIN AT FINAL ACCEPTANCE.

17) ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO FINAL TOP-DRESSING AND SODDING/SEEDING.

18) COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM & LANDSCAPE LIGHTING (IF APPLICABLE).

19) NO PLANTING BEFORE THE ACCEPTANCE OF ROUGH GRADING.

20) CONTRACTOR TO PROVIDE SOIL TESTS IN AREAS DESIGNATED BY LANDSCAPE ARCHITECT IN FIELD FOR EXISTING SOILS TO DETERMINE APPROPRIATE SOIL AMENDMENTS PRIOR TO THE DISTURBANCE OF SITE.

21) ALL PLANTING BEDS TO BE TREATED WITH PREEN AND GREEN OR APPROVED EQUAL TO PROHIBIT WEED GERMINATION AND GROWTH PRIOR TO THE SPREADING OF MULCH.

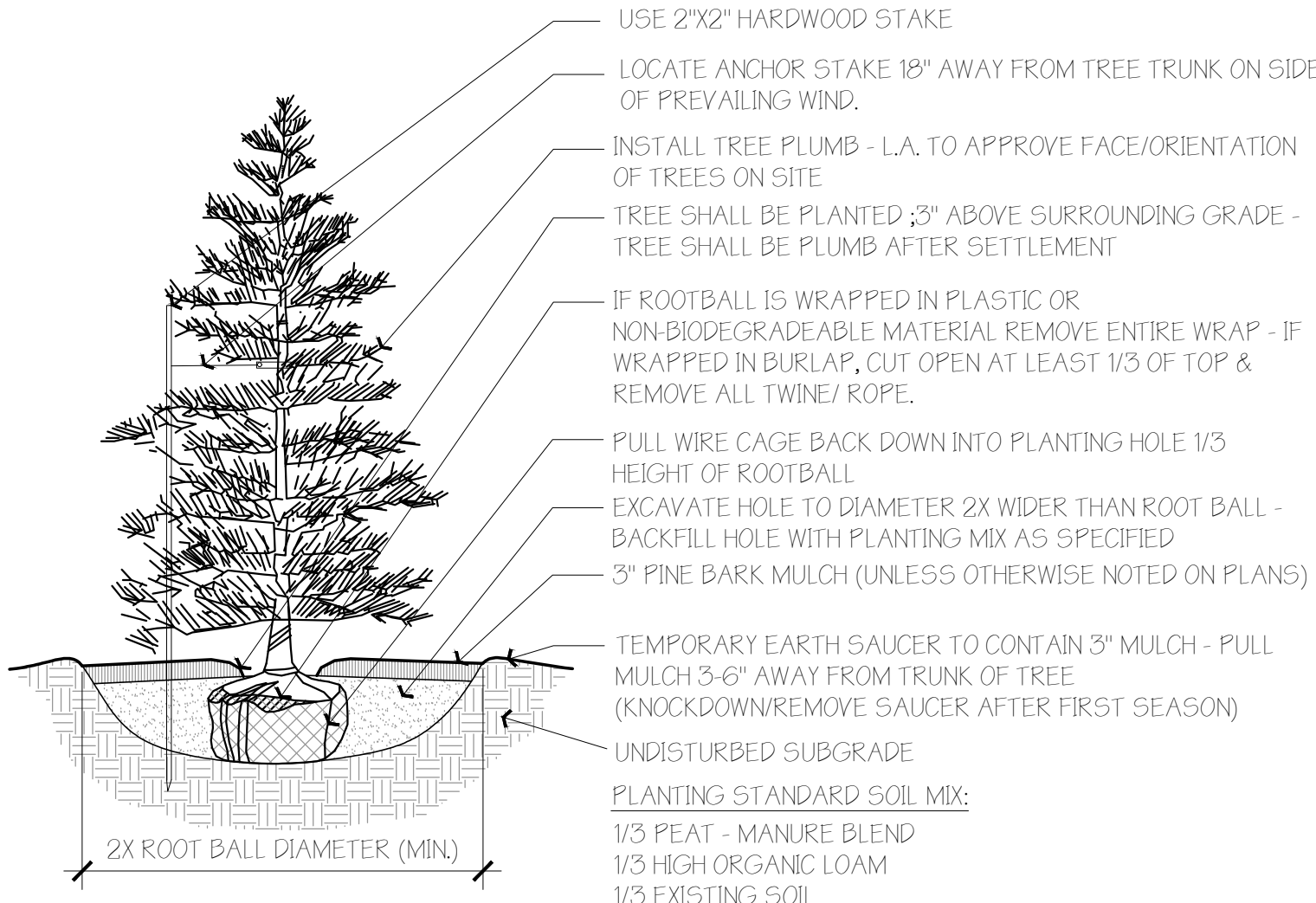
22) ALL PERENNIALS ARE TO BE PLANTED INTO DAMP SOIL.

23) PLANT LIST: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANTS IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. WHEN MULTIPLE PLANT SPECIES ARE LISTED IN ONE PLANT CATEGORY, THE GOAL IS TO PROVIDE THE BEST PLANTS AVAILABLE AT THE TIME OF INSTALLATION. THE LANDSCAPE ARCHITECT SHALL SELECT OR COORDINATE THE SELECTION OF THE APPROPRIATE PLANTS AT LOCAL NURSERIES. GRADY CONSULTING HAS THE RIGHT TO REJECT ANY PLANT THAT DOES NOT MEET THE SPECIFICATIONS LISTED IN THE PLANT TABLE.

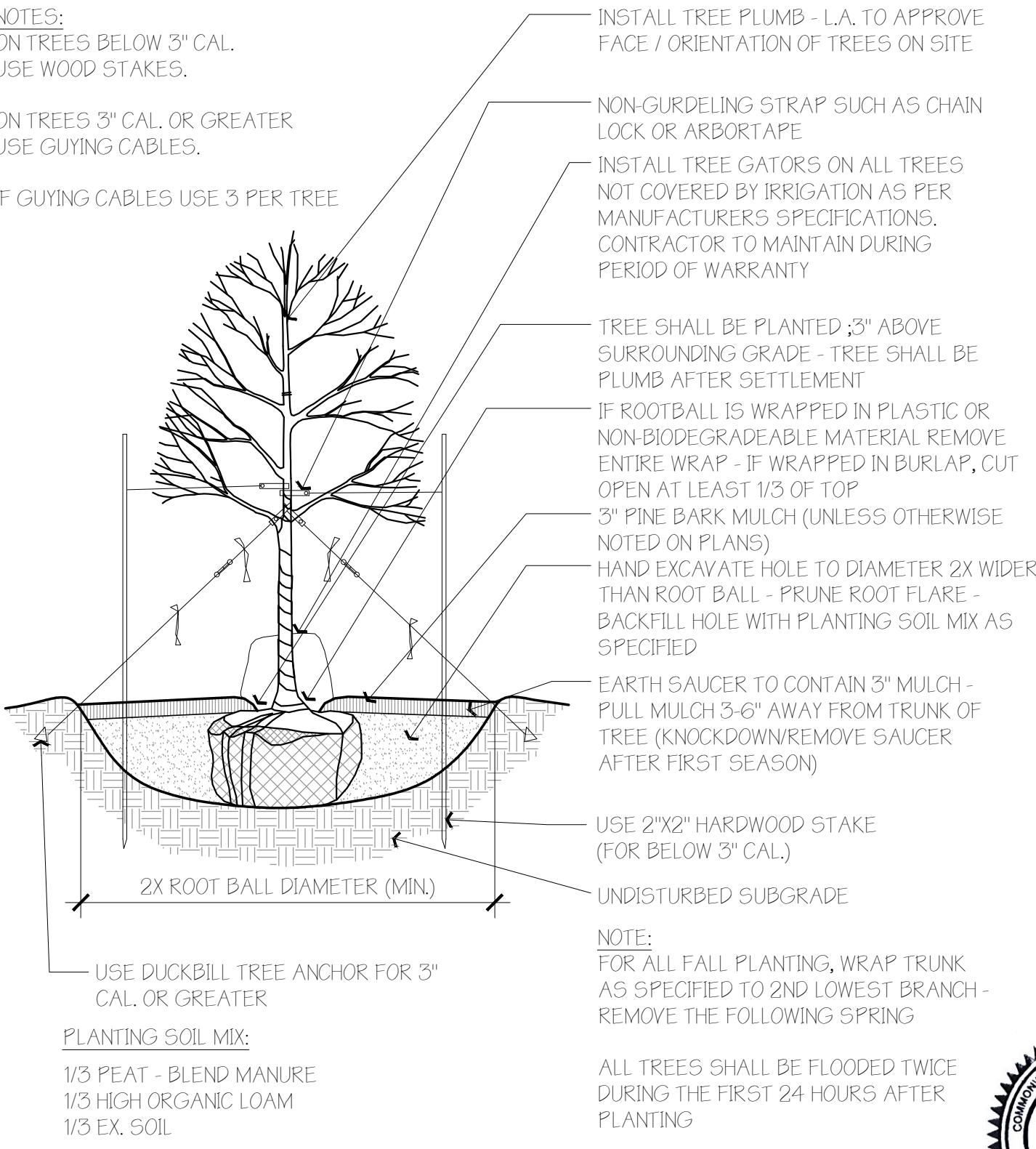
24) PLANT SUBSTITUTION ARE NOT ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.

25) ALL DISTURBED AREAS TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS (REFER TO ENGINEER'S SOIL STABILIZATION AND EROSION CONTROL PLAN FOR FURTHER INFORMATION).

26) CONTRACTOR SHALL (IF APPLICABLE) REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM).



2 EVERGREEN TREE DETAIL  
1/2" = 1'-0"



1 SHADE / FLOWERING TREE DETAIL  
1/2" = 1'-0"

REVISIONS
1/29/20 DEP COMMENTS
2/6/20 REVIEW COMMENTS
4/6/20 PLANNING/CONSERVATION/DPW COM.

FOR REGISTRY USE ONLY

PEMBROKE PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED: \_\_\_\_\_

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\_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

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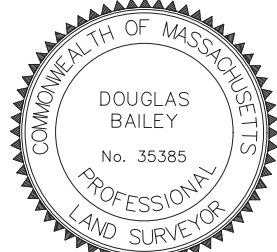
PEMBROKE TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



*Douglas Bailey* 4/6/20  
DOUGLAS BAILEY P.L.S. #35385 DATE



DEFINITIVE SUBDIVISION PLAN  
OLD CART PATH LANE EXT.  
(70 OLD CART PATH LANE)  
PEMBROKE, MASSACHUSETTS

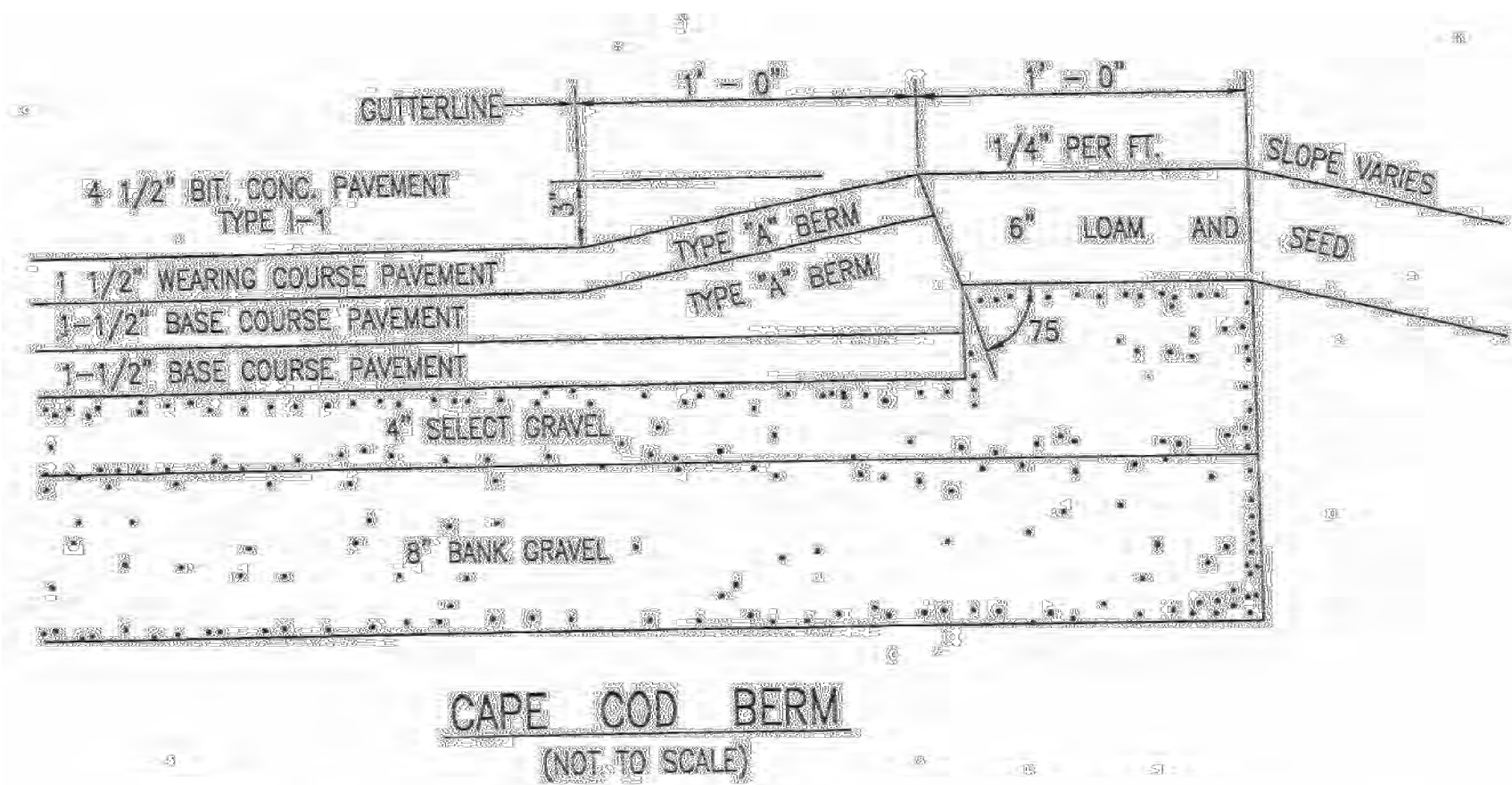
PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

JANUARY 7, 2020  
SCALE: AS SHOWN  
JOB No. 14-346

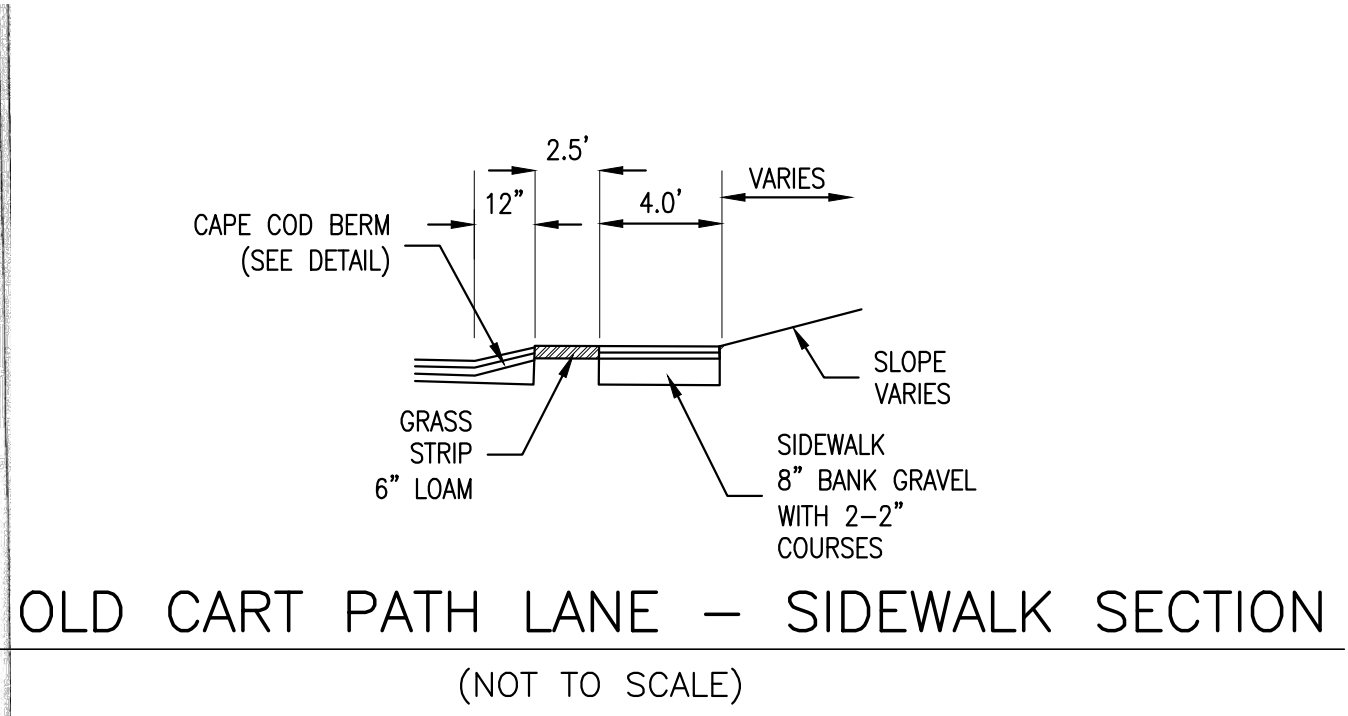
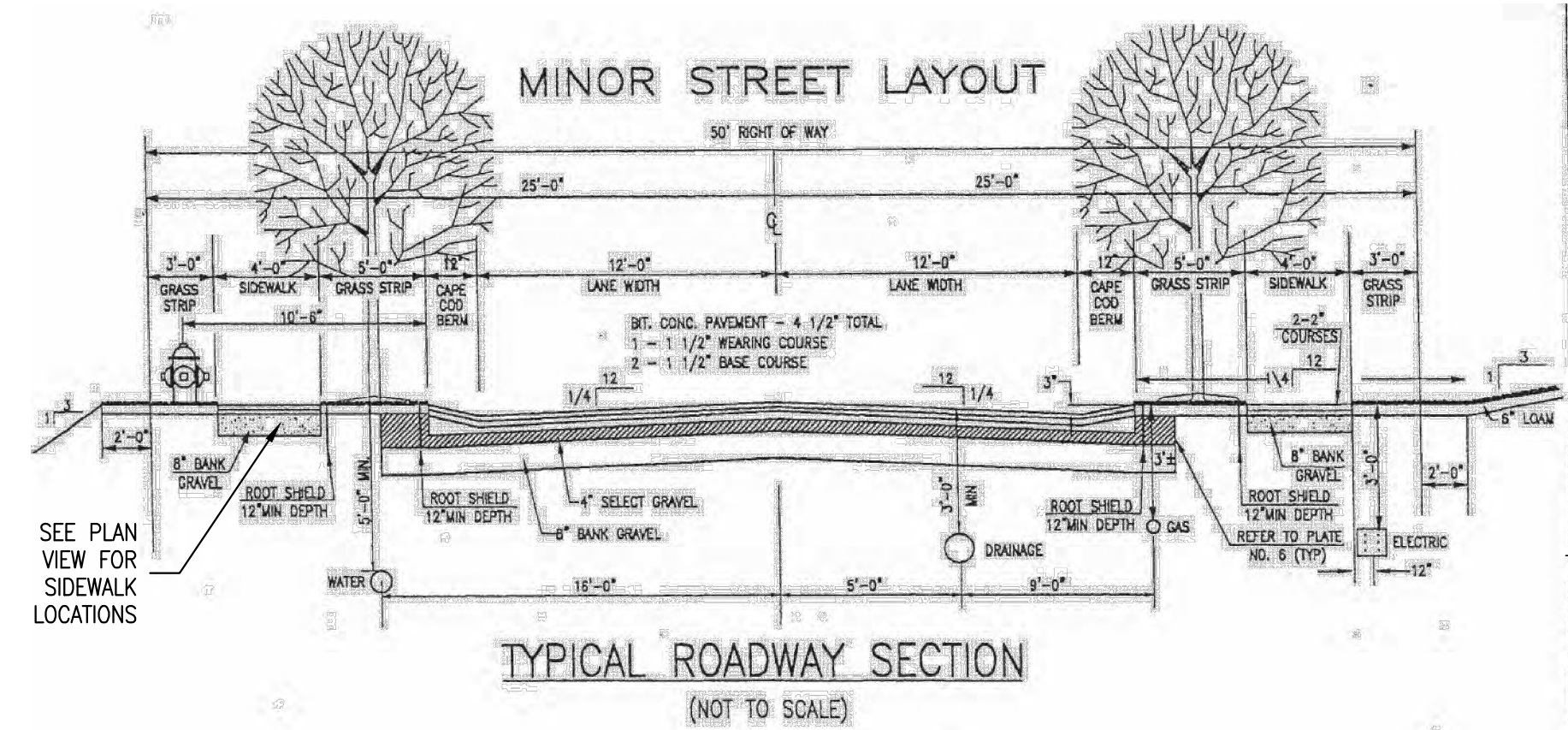
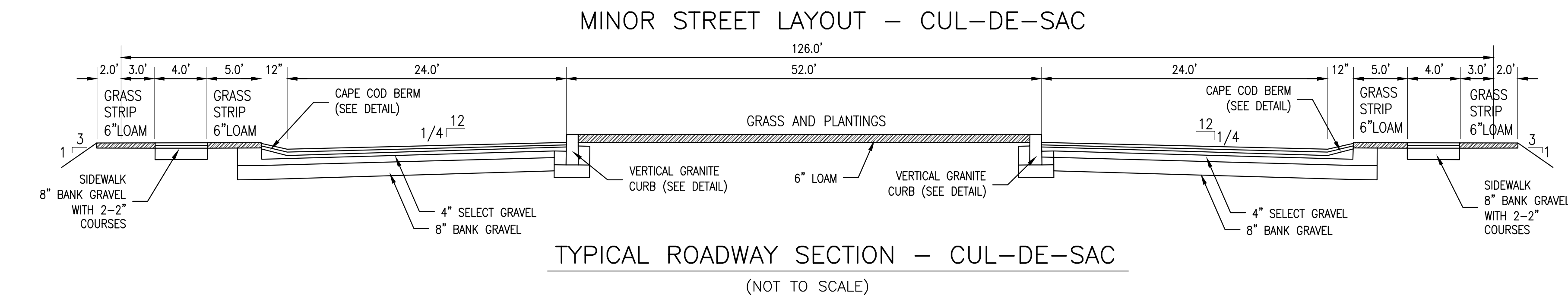
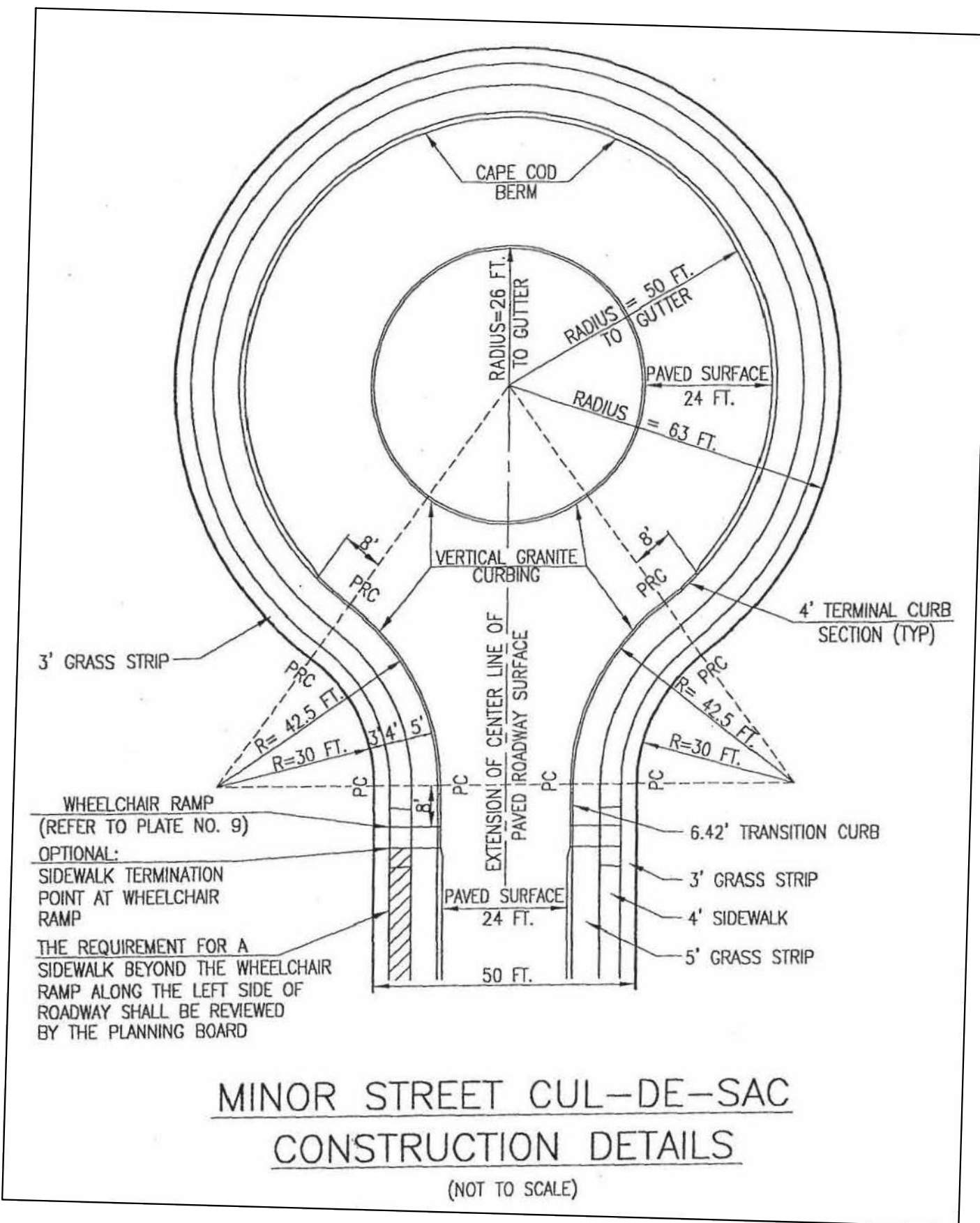
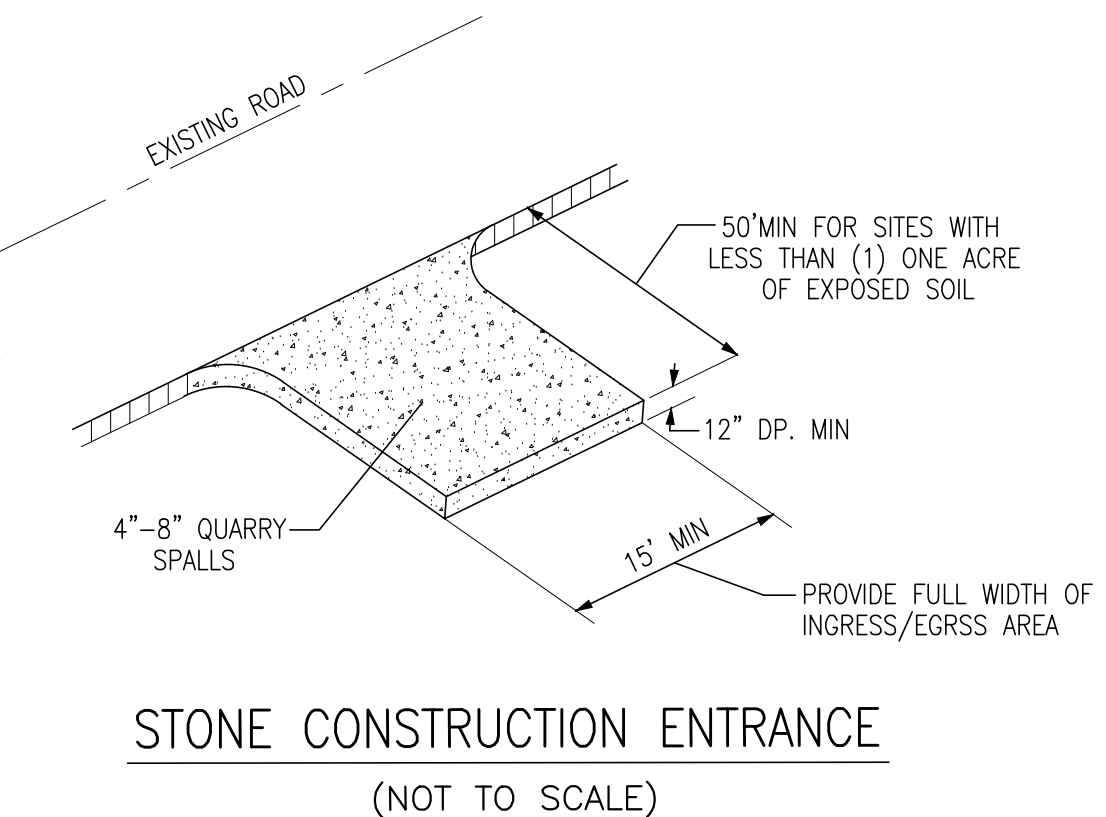
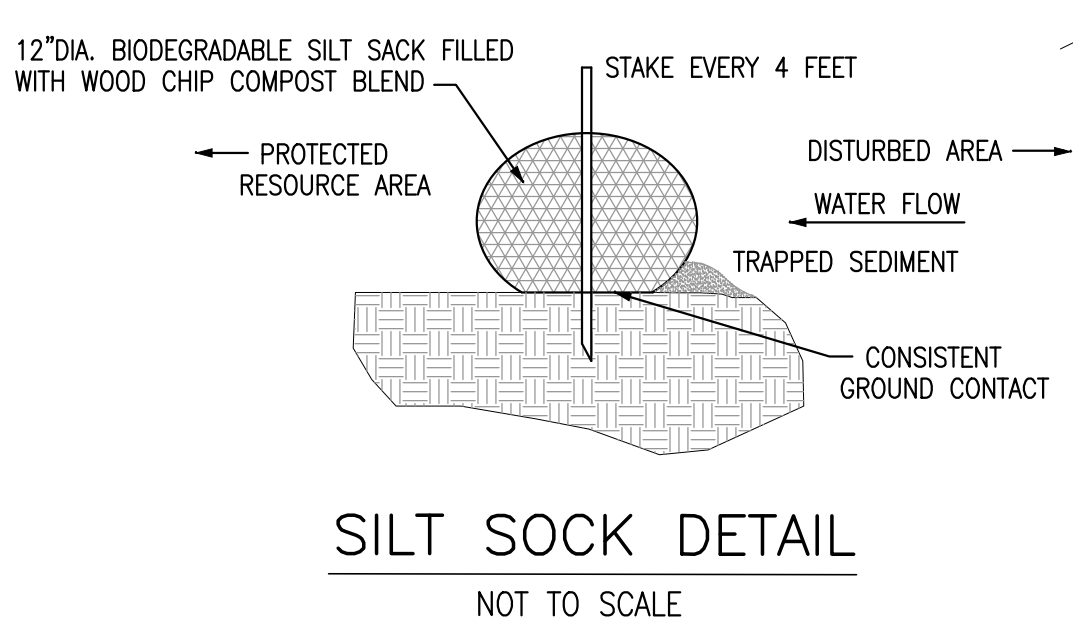
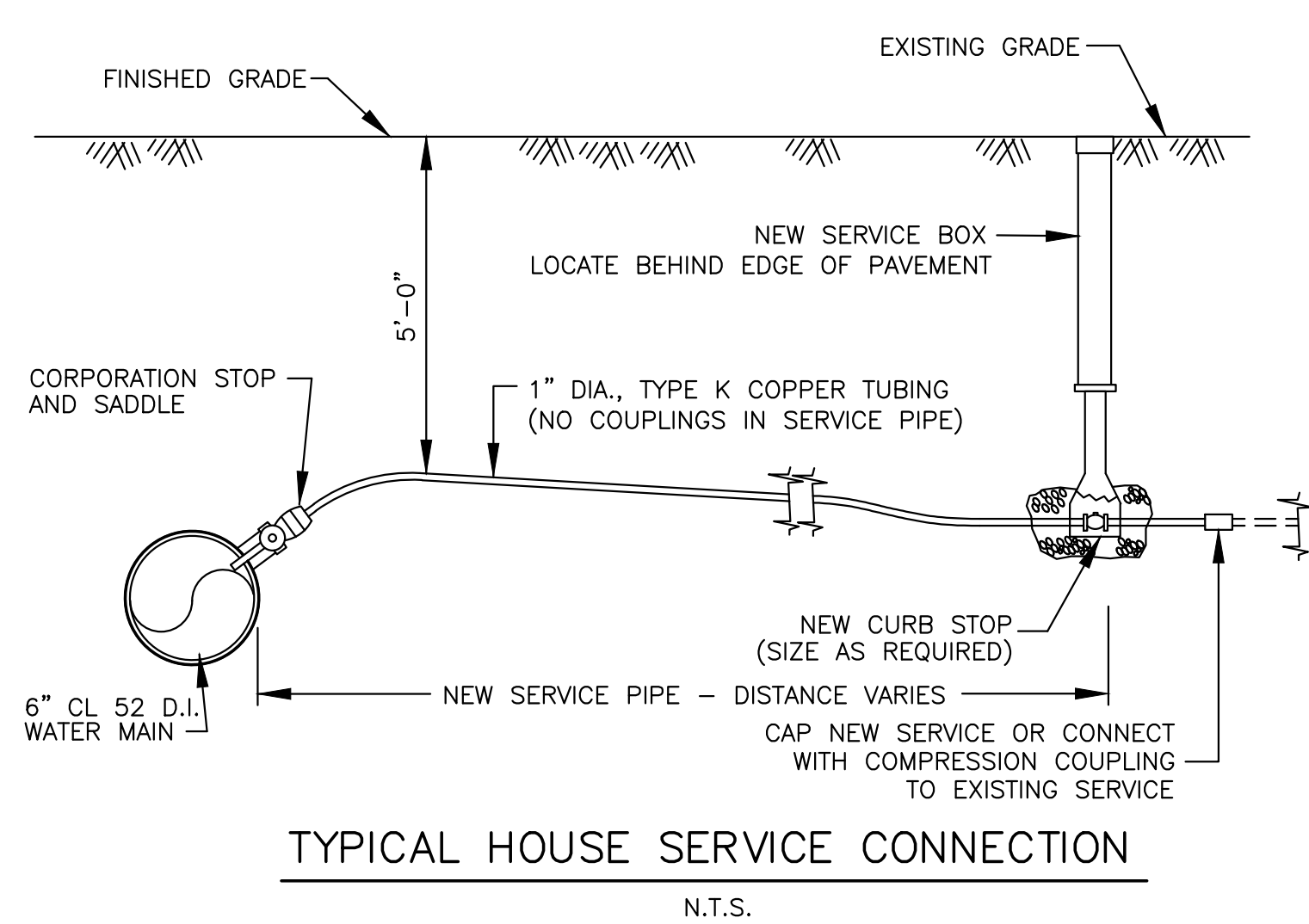
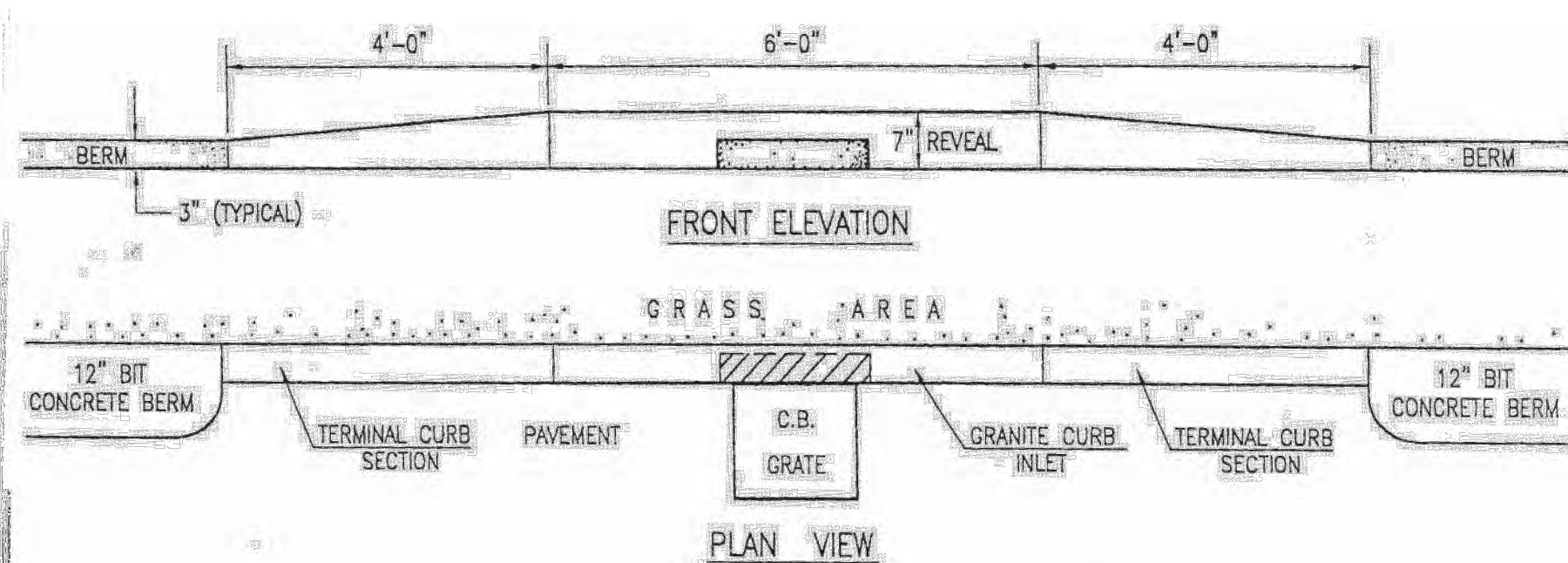
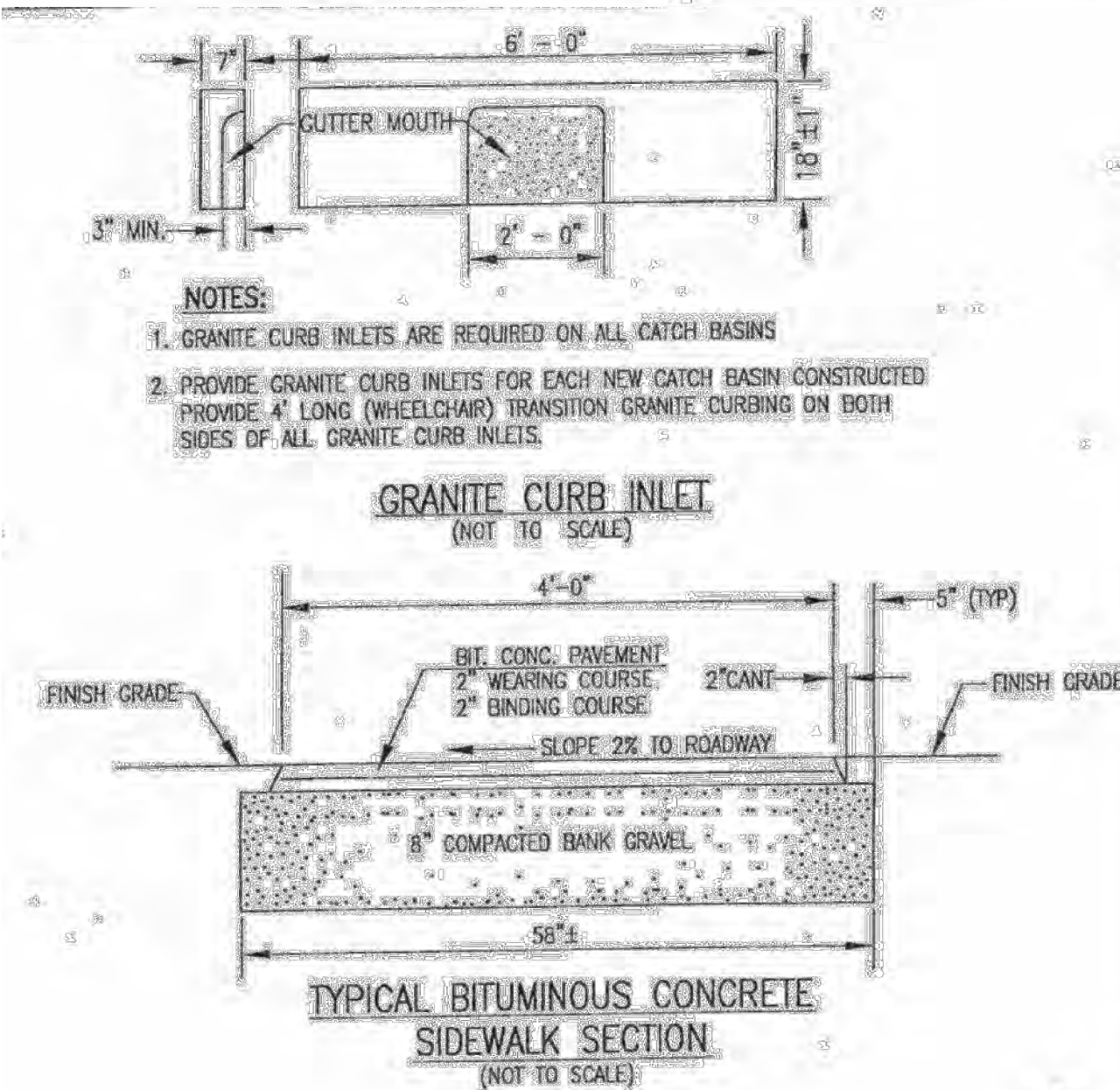
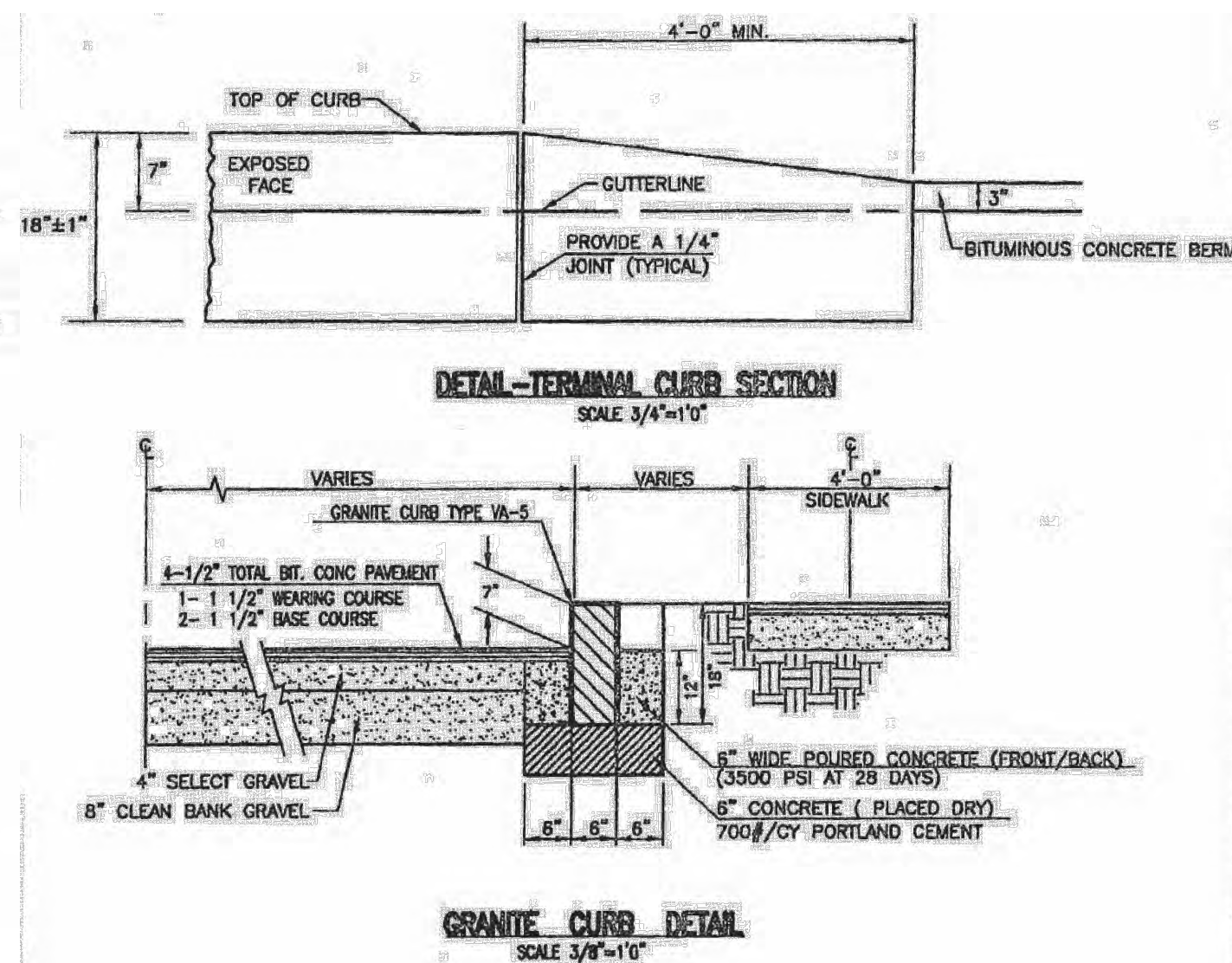
GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors &  
Landscape Architects  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378





NOTE:  
BITUMINOUS CONCRETE BERM SHALL BE CONSTRUCTED MONOLITHICALLY USING BOTH THE 3\"/>



## DEFINITIVE SUBDIVISION PLAN

### OLD CART PATH LANE EXT. (70 OLD CART PATH LANE) PEMBROKE, MASSACHUSETTS

PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

JANUARY 7, 2020  
SCALE: AS SHOWN  
JOB No. 14-346

**GRADY CONSULTING, L.L.C.**  
Civil Engineers, Land Surveyors & Landscape Architects  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378

FOR REGISTRY USE ONLY

## PEMBROKE PLANNING BOARD

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DATE APPROVED: \_\_\_\_\_

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DATE SIGNED: \_\_\_\_\_

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## PEMBROKE TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

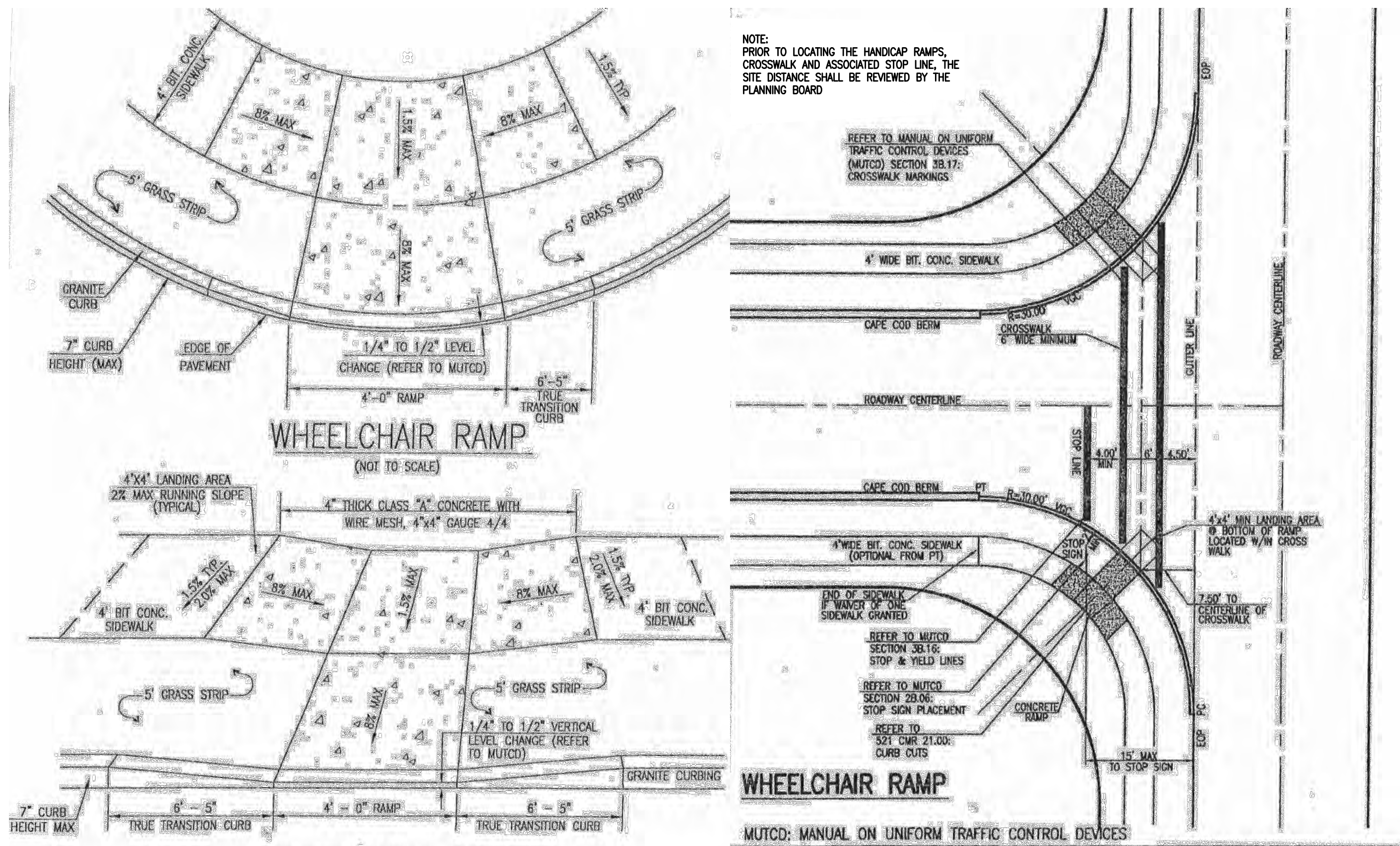
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*Douglas Bailey*  
DOUGLAS BAILEY P.L.S. #35385

4/6/20  
DATE

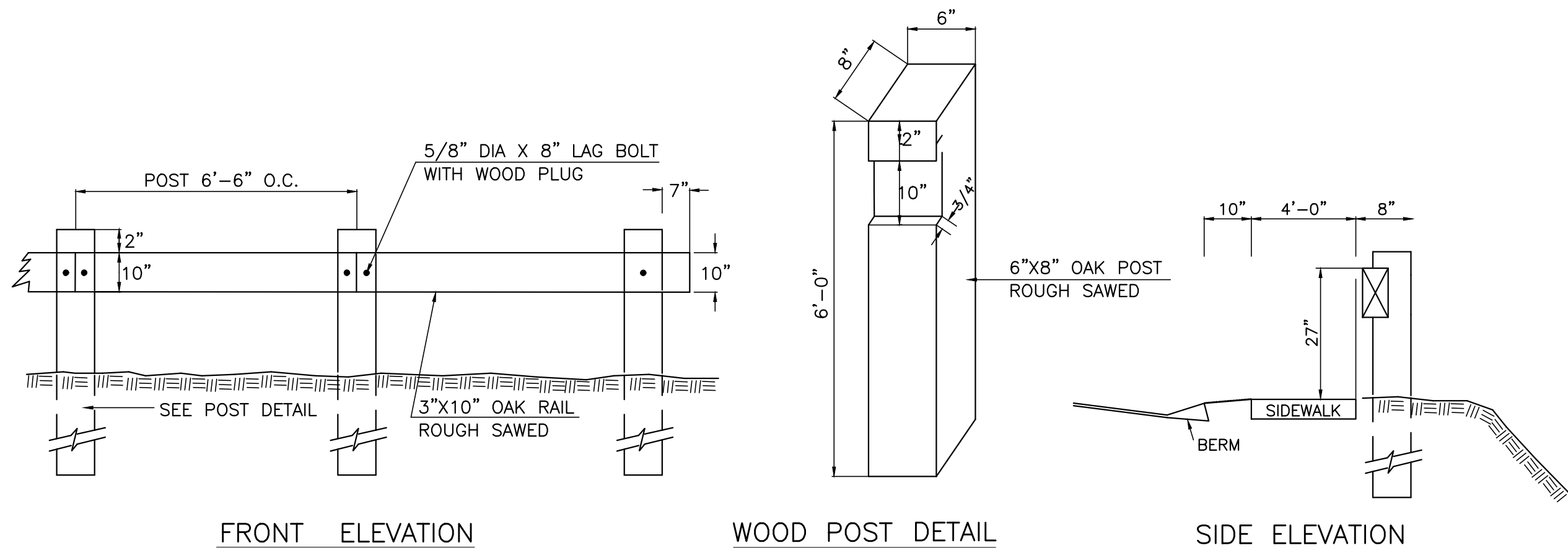




SOIL LOGS

T.H.#1 EL. 61.5	T.H.#2 EL. 63.3	T.H.#3 EL. 70.2	T.H.#4 EL. 70.1	T.H.#5 EL. 73.1	T.H.#6 EL. 73.0	T.H.#7 EL. 73.5	T.H.#8 EL. 70.5	T.H. D-1 EL. 65.8
0'-20" FILL LOAM 59.83	0'-6" A LOAM 62.80	0'-6" A LOAM 69.70	0'-6" A LOAM 69.60	0'-6" A LOAM 72.60	0'-6" A LOAM 72.60	0'-6" A LOAM 73.00	0'-6" A LOAM 70.00	0'-6" A LOAM 65.30
20'-24" A LOAM 59.50	6'-24" B LOAMY SAND 61.30	6'-24" B LOAMY SAND 68.20	6'-24" B LOAMY SAND 68.10	6'-24" B LOAMY SAND 71.10	6'-24" B LOAMY SAND 71.10	6'-24" B LOAMY SAND 71.50	6'-24" B LOAMY SAND 68.50	6'-24" B LOAMY SAND 63.80
24'-36" B LOAMY SAND 58.50	24'-144" C1 GRAVELLY COARSE SAND 52.50	24'-144" C1 FINE SAND 58.20	24'-150" C FINE SAND 57.60	24'-132" C1 FINE LOAMY SAND 62.10	24'-144" C FINE LOAMY SAND 62.10	24'-80" C1 FINE SAND 66.83	24'-120" C1 FINE SAND 60.50	24'-66" C1 GRAVELLY SAND 60.30
36'-54"/108" C1 GRAVELLY COARSE SAND 57.00	PERC @ 32"-50" P.R.<2 MIN/IN	PERC @ 30"-48" P.R.<2 MIN/IN	PERC @ 36"-54" P.R.<2 MIN/IN	PERC @ 36"-54" P.R.<2 MIN/IN	PERC @ 36"-54" P.R.<2 MIN/IN	PERC @ 36"-54" P.R.=6 MIN/IN	PERC @ 30"-48" P.R.=5 MIN/IN	66'-84" C2 MEDIUM SAND 58.80
54'/108"-168" C2 FINE LOAMY SAND 47.50	D= 12'-0" MOTTLING @ 6'-0" (EL.=57.30)	D= 12'-0" MOTTLING @ 7'-10" (EL.=62.36)	D= 12'-6" MOTTLING @ 7'-0" (EL.=63.10)	D= 11'-0" MOTTLING @ 4'-6" (EL.=68.60)	D= 12'-0" MOTTLING @ 3'-6" (EL.=69.50)	D= 6'-8" NO WATER	D= 10'-0" MOTTLING @ 6'-0" (EL.=64.50)	84'-120" C3 SILT LOAM 55.80

TH#1-8 AND D-1 PERFORMED BY GRADY CONSULTING LLC, OCTOBER 5, 2017, WITNESSED BY LISA CULLITY



WOOD GUARD RAIL  
(NOT TO SCALE)

WOOD POST DETAIL

SIDE ELEVATION

CONSTRUCTION NOTES

GENERAL:

- TOPOGRAPHIC DATA BY GRADY CONSULTING, L.L.C.
- THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES WITH UTILITY COMPANIES.
- CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7233) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION.
- UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE DEPARTMENT OR COMPANY. THE CONTRACTOR SHALL NOTIFY THE PEMBROKE D.P.W. (293-5620) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION OF DRAINAGE & WATER SYSTEMS.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF PEMBROKE PLANNING BOARD RULES AND REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OFF SITE AND IN ACCORDANCE WITH DEP

EROSION CONTROL:

- ALL CUT AND FILL AREAS, AND DISTURBED DRAINAGE AREAS ARE TO BE BROUGHT TO FINISHED GRADE WITH A MIN. OF 4" OF LOAM, SEEDED WITH A MIXTURE OF ANNUAL RYEGRASS AND PERENNIAL GRASSES, AND MAINTAINED UNTIL VEGETATION STABILIZES THESE AREAS.
- HAY MULCH, OR OTHER SUITABLE EROSION PROTECTION, SHALL BE UTILIZED ON ALL EXPOSED SLOPES.

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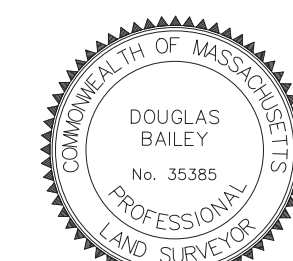
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*Douglas Bailey*  
DOUGLAS BAILEY P.L.S. #35385  
4/6/20  
DATE

DEFINITIVE SUBDIVISION PLAN  
OLD CART PATH LANE EXT.  
(70 OLD CART PATH LANE)  
PEMBROKE, MASSACHUSETTS

PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

JANUARY 7, 2020  
SCALE: AS SHOWN  
JOB No. 14-346



GRADY CONSULTING, L.L.C.

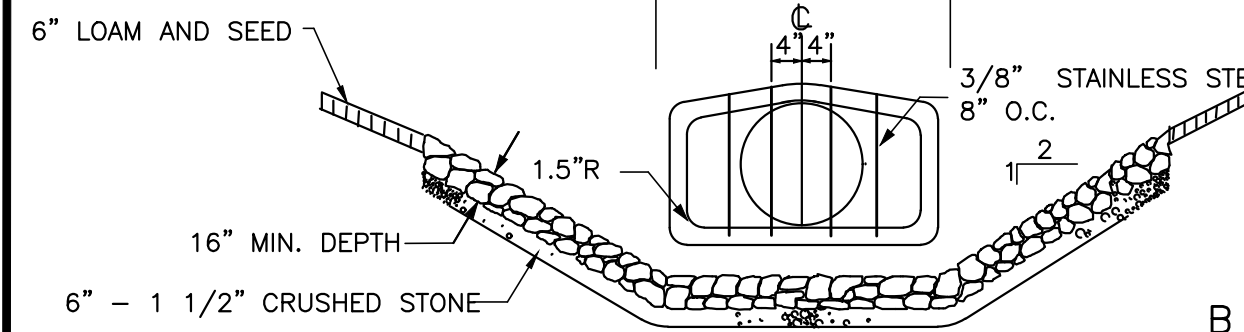
Civil Engineers, Land Surveyors &  
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71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378

REVISIONS	
1/29/20	DEP COMMENTS
2/6/20	REVIEW COMMENTS
4/6/20	PLANNING/CONSERVATION/DPW COM.

DETAILS



PIPE DIA.	12"	15"	18"	24"
A	10'-0"	12'-6"	15'-0"	20'-0"
B	7'-6"	9'-6"	11'-3"	15'-0"
C	2'-6"	3'-0"	3'-9"	5'-0"
D	3'-0"	4'-0"	4'-6"	6'-0"
E	4'-0"	5'-0"	6'-0"	8'-0"

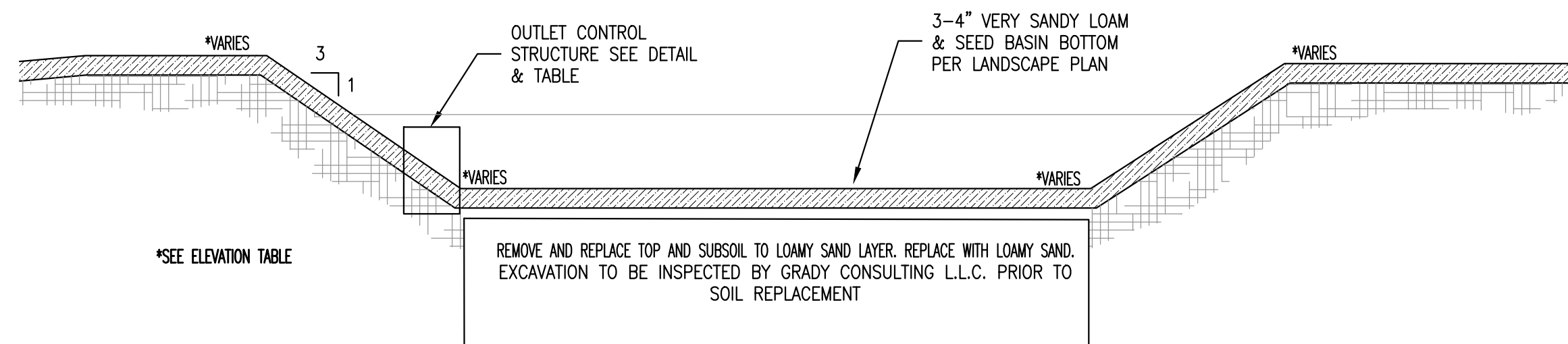


(SECTION A-A)

- NOTES:
- STONE FOR EROSION CONTROL PADS SHALL COMPLY WITH MDPW MATERIAL SPEC M 2.02.3
  - STONE BERM FOR SILT TRAP SHALL BE CONSTRUCTED AROUND SIDES OF EROSION CONTROL PADS

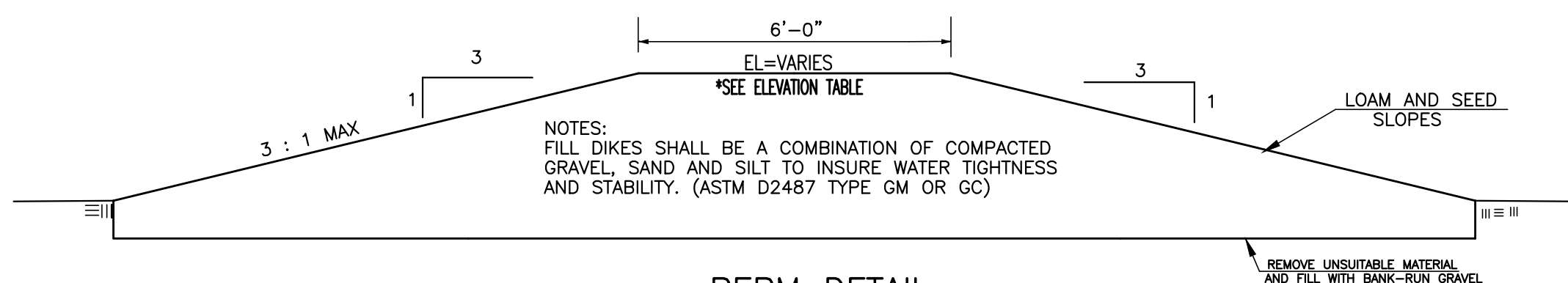
(BASIN 1)  
DETAIL – FLARED END SECTION  
(NOT TO SCALE)

ELEVATION TABLE									
BASIN	BOTTOM BASIN	BASIN TOP BERM	GROUNDWATER	INLET ELEVATION	OUTLET ELEVATION	100YR STORM	25YR STORM	10YR STORM	2YR STORM
1	64.00	68.00	62.00	66.00	65.80	66.16	65.94	65.80	64.64
2	65.10	68.40	63.10	67.00	67.00	67.34	66.68	66.22	65.46

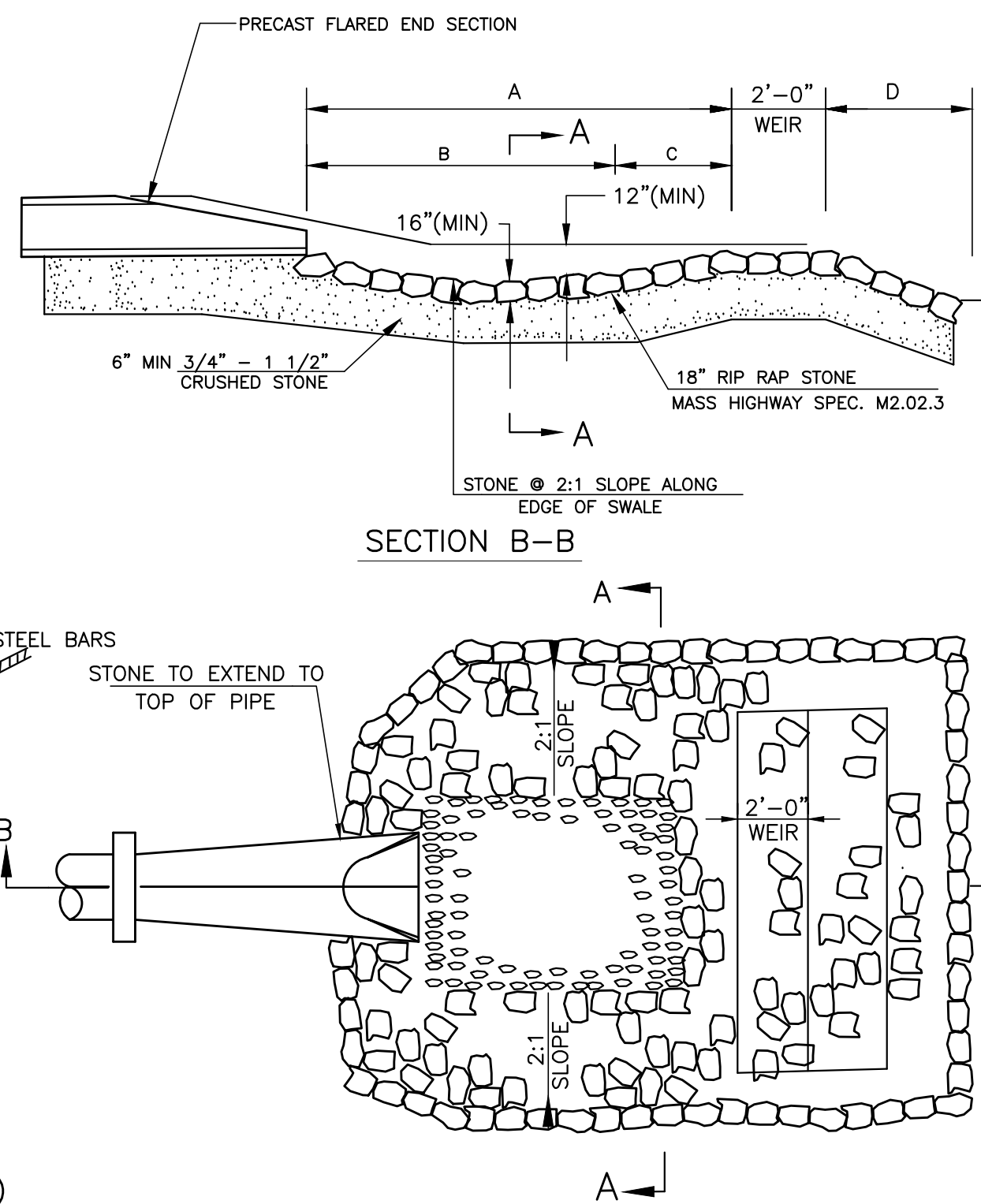


GW EL=\*VARIES

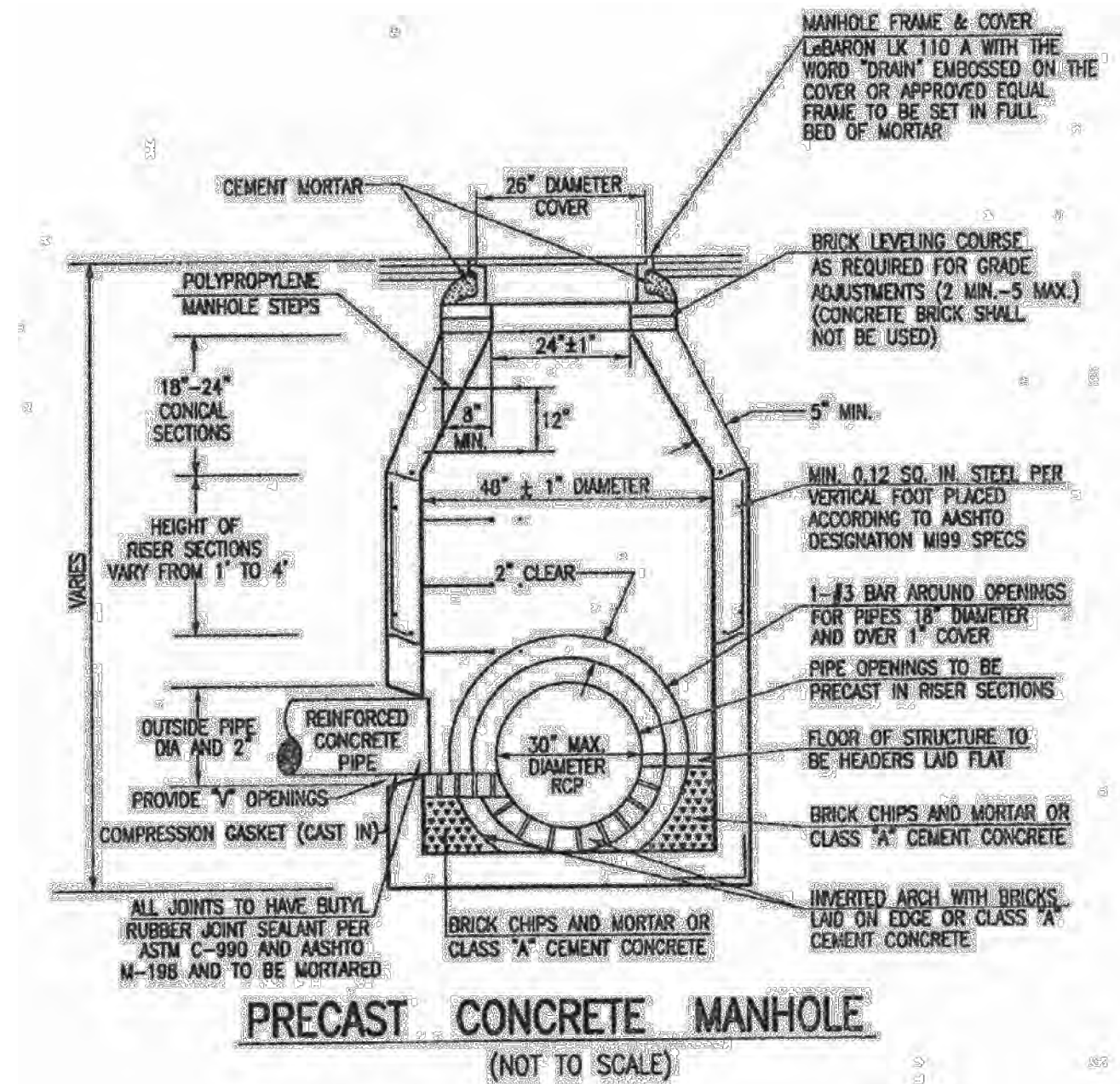
BASIN DETAIL  
(NOT TO SCALE)



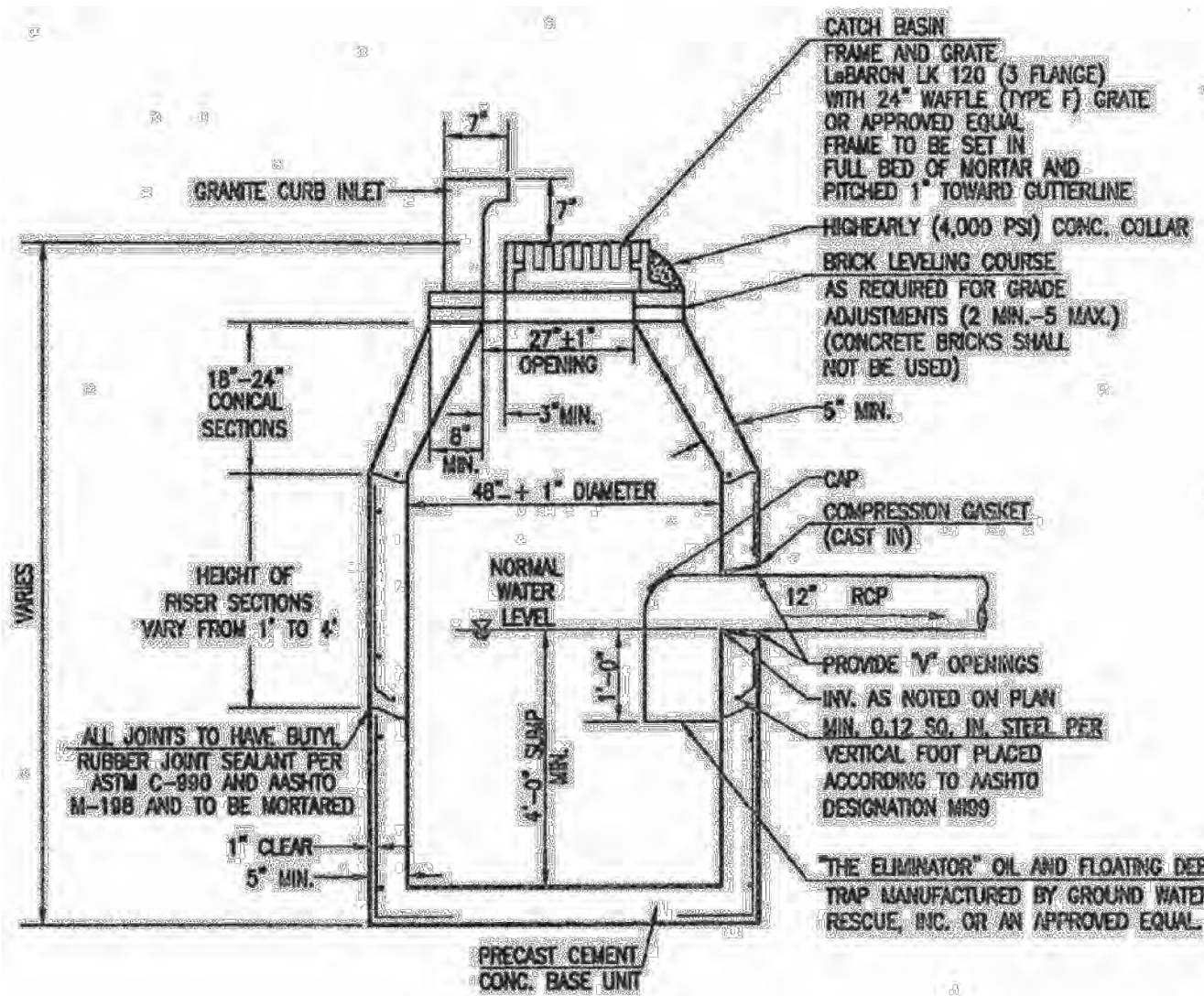
BERM DETAIL  
(NOT TO SCALE)



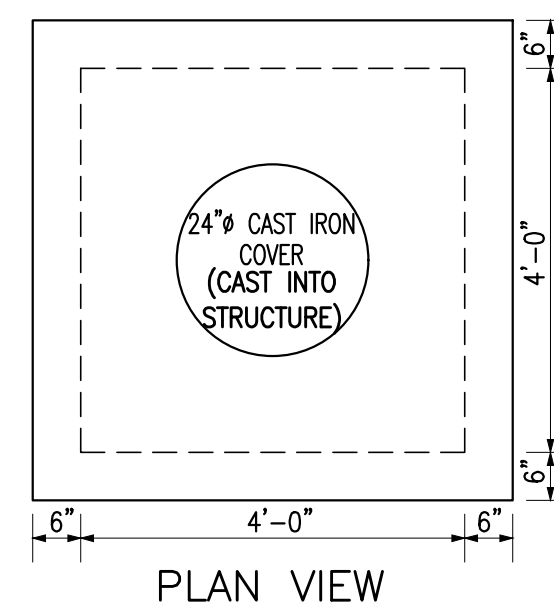
SECTION B-B



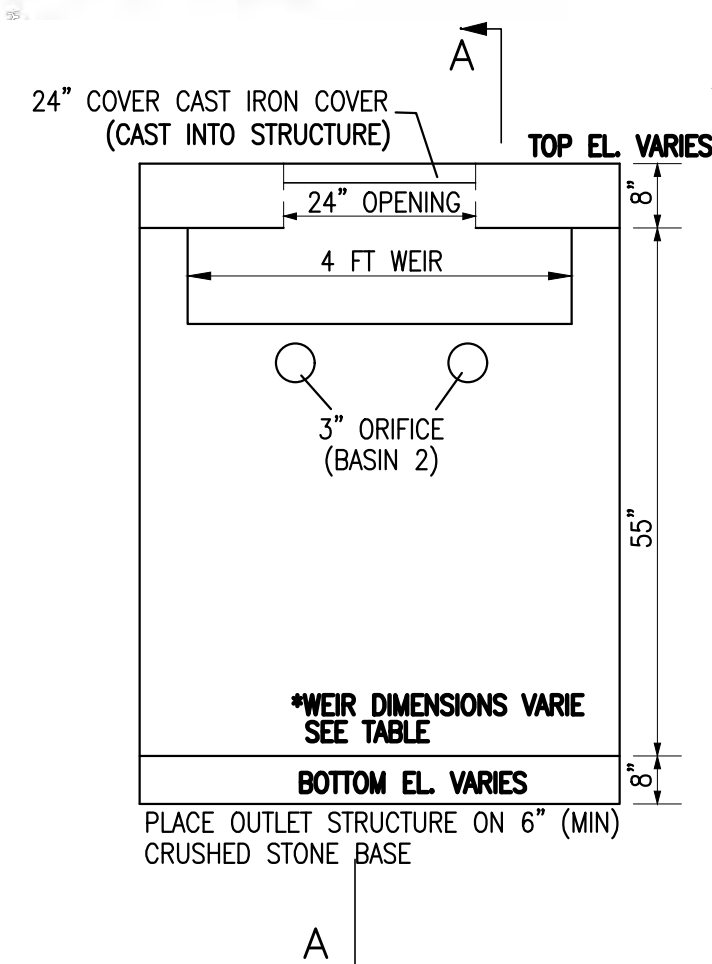
PRECAST CONCRETE MANHOLE  
(NOT TO SCALE)



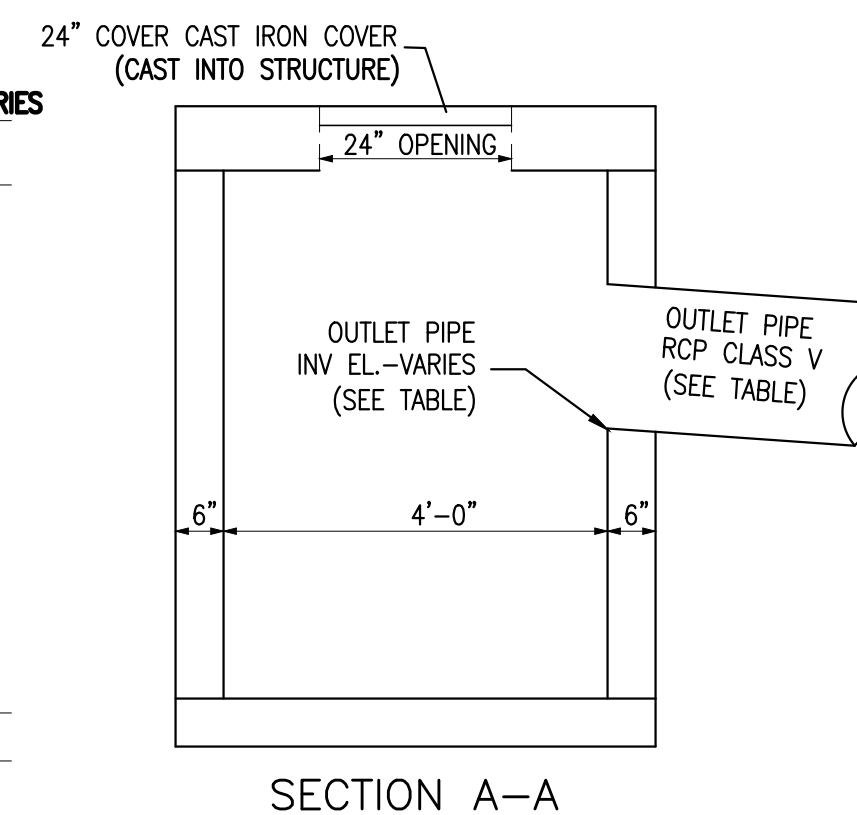
PRECAST GASOLINE TRAP CATCH BASIN  
(NOT TO SCALE)



PLAN VIEW



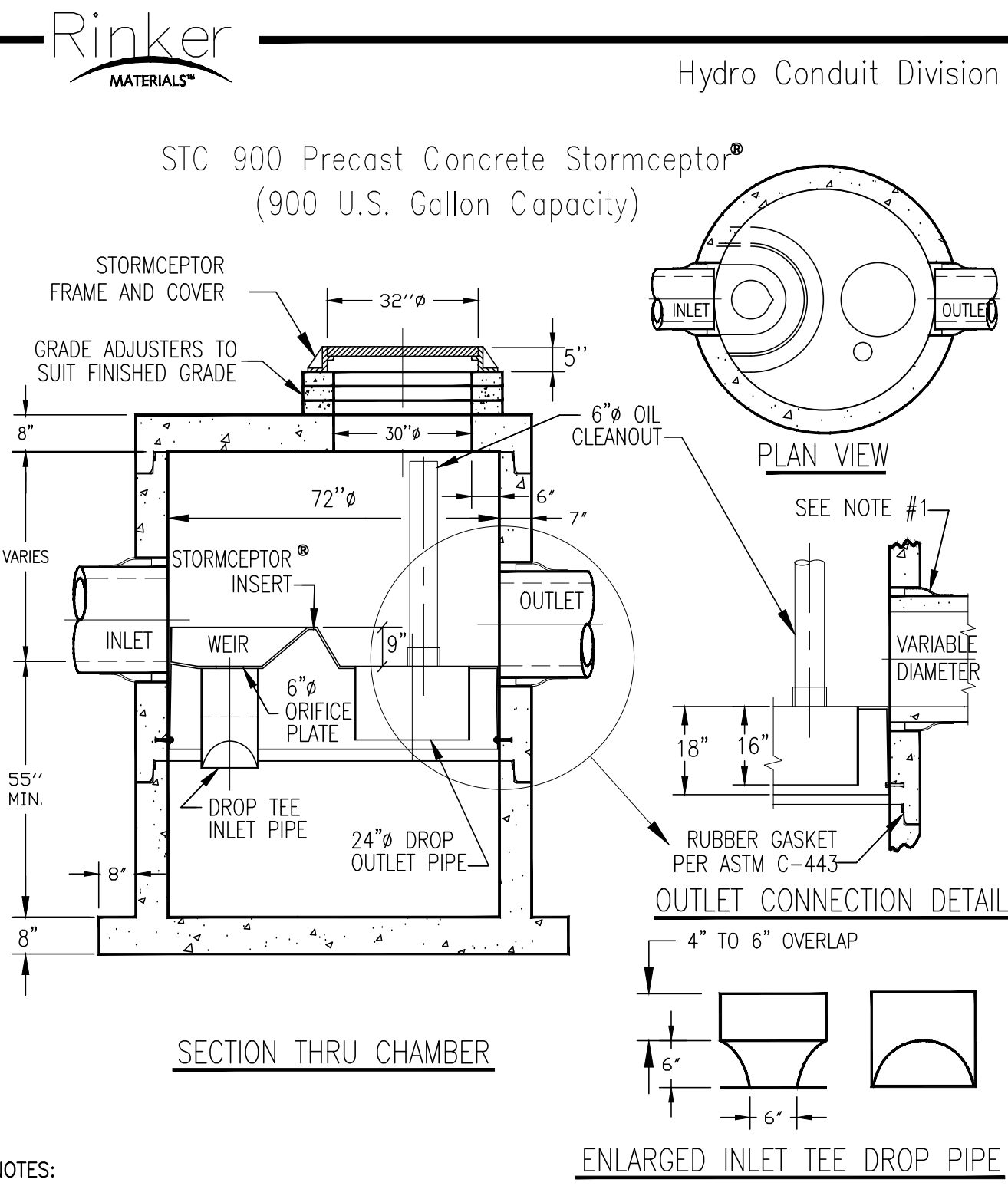
A



SECTION A-A

BASIN	WEIR			ORIFICE			OUTLET
	ELEVATION	HEIGHT (FT)	WIDTH (FT)	ELEVATION	SIZE	QUANTITY	
1	65.80	1.00	4.00	N/A	N/A	N/A	18"/64.30
2	67.10	1.00	4.00	66.00	3"	2	18"/65.00

OVERFLOW OUTLET CONTROL STRUCTURE  
(NOT TO SCALE)



SECTION THRU CHAMBER

ENLARGED INLET TEE DROP PIPE

- NOTES:
- THE USE OF A FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET PIPE.
  - THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE VENT PIPE.
  - THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
  - CONTACT A HYDRO CONDUIT REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS SHEET.

(OR AN APPROVED ALTERNATIVE APPROVED BY PEMBROKE DPW AND DESIGN ENGINEER)

DETAIL – STORMCEPTOR  
(NOT TO SCALE)

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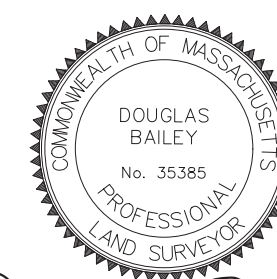
## PEMBROKE TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

DATE: \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



Douglas Bailey  
DOUGLAS BAILEY P.L.S. #35385  
4/6/20  
DATE

## DEFINITIVE SUBDIVISION PLAN OLD CART PATH LANE EXT. (70 OLD CART PATH LANE) PEMBROKE, MASSACHUSETTS

PREPARED FOR:  
STEPHEN SAIA  
70 OLD CART PATH LANE  
PEMBROKE, MA 02359

JANUARY 7, 2020  
SCALE: AS SHOWN  
JOB No. 14-346

**GRADY CONSULTING, L.L.C.**  
Civil Engineers, Land Surveyors & Landscape Architects  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378



REVISIONS	
1/29/20	DEP COMMENTS
2/6/20	REVIEW COMMENTS
4/6/20	PLANNING/CONSERVATION/DPW COM.



