

SCALE: 1"=2000'± LOCATION MAP

#### ZONING DATA

DISTRICT: RESIDENTIAL A

LOT AREA

40,000 S.F. UPLAND 80% CONTIGUOUS 32,000 S.F. (>30,000 S.F. WITHIN 275' OF WAY) (HOUSE PLACED IN 150' DIA. CIRCLE LOCATED TOTALLY WITHIN 80% UPLAND AREA WITH ABILITY TO INSCRIBE CIRCLE FROM LOT'S FRONTAGE TO DESIGN AREA)

LOT FRONTAGE 150 FT 40 FT FRONT YARD SIDE YARD 20 FT REAR YARD

#### ROADWAY DATA

#### "MINOR STREET"

RIGHT OF WAY 24' PAVEMENT WIDTH CAPE COD BERM SIDEWALK WIDTH MIN. SIGHT DISTANCE MAX. GRADE MIN. GRADE 150' MIN. CENTERLINE RADIUS MAX. STREET LENGTH TURNAROUND DIAMETER

#### TOTAL LENGTH OF ROADWAY = 459'

(MEASURED FROM PROPERTYLINE AT RIGHT OF WAY TO CENTER OF CUL-DE-SAC ALONG CENTERLINE)

TOTAL LENGTH OF DEAD END = 644'

(MEASURED FROM THE INTERSECTION OF ORCHARD DRIVE TO CENTER OF CUL-DE-SAC ALONG CENTERLINE)

#### RECORD OWNER:

ASSESSOR MAP D8 LOT 5b

DIANE SAUNDERS & STEPHEN V. SAIA

DEED BOOK 37098 PAGE 128

PLAN No. 58 OF 1980 PLAN BOOK 21 PAGE 415

#### PLAN REFERENCES:

- 1. PLAN NO. 296 OF 1953, PLAN BOOK 9 PAGE 342
- 2. PLAN No. 126 OF 1968, PLAN BOOK 14 PAGE 793 3. COUNTY LAYOUT OF MOUNTAIN AVE DECREE NO. 879,
- MARCH 20, 1934.

#### PLAN REFERENCES:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS NOT LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP AS DEPICTED ON COMMUNITY PANEL No. 25023C0216J WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

#### NOTES:

1. BENCHMARK - GARAGE SLAB EXISTING DWELLING #70

2. ALL ELEVATIONS ARE BASED ON N.A.V.D.88 DATUM



FOR REGISTRY USE ONLY

#### PEMBROKE PLANNING BOARD

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE SIGNED: \_

DATE APPROVED:

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED \_\_2020, RUNNING WITH THE THE \_\_\_\_\_ DAY OF \_\_\_\_ LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE

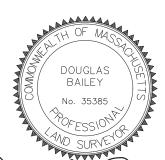
THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE PEMBROKE PLANNING BOARD CERTIFICATE OF ACTION DATED\_ \_ FILED WITH THE PEMBROKE TOWN AND HEREWITH RECORDED AS PART OF THIS PLAN.

PEMBROKE TOWN CLERK

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

TOWN CLERK, TOWN OF PEMBROKE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



5/19/20 DOUGLAS BAILEY P.L.S. #35385 DATE



# DEFINITIVE SUBDIVISION PLAN

OLD CART PATH LANE EXT. (70 OLD CART PATH LANE)

PEMBROKE, MASSACHUSETTS

PREPARED FOR: STEPHEN SAIA 70 OLD CART PATH LANE PEMBROKE, MA 02359

JANUARY 7, 2020 SCALE: AS SHOWN JOB No. 14-346



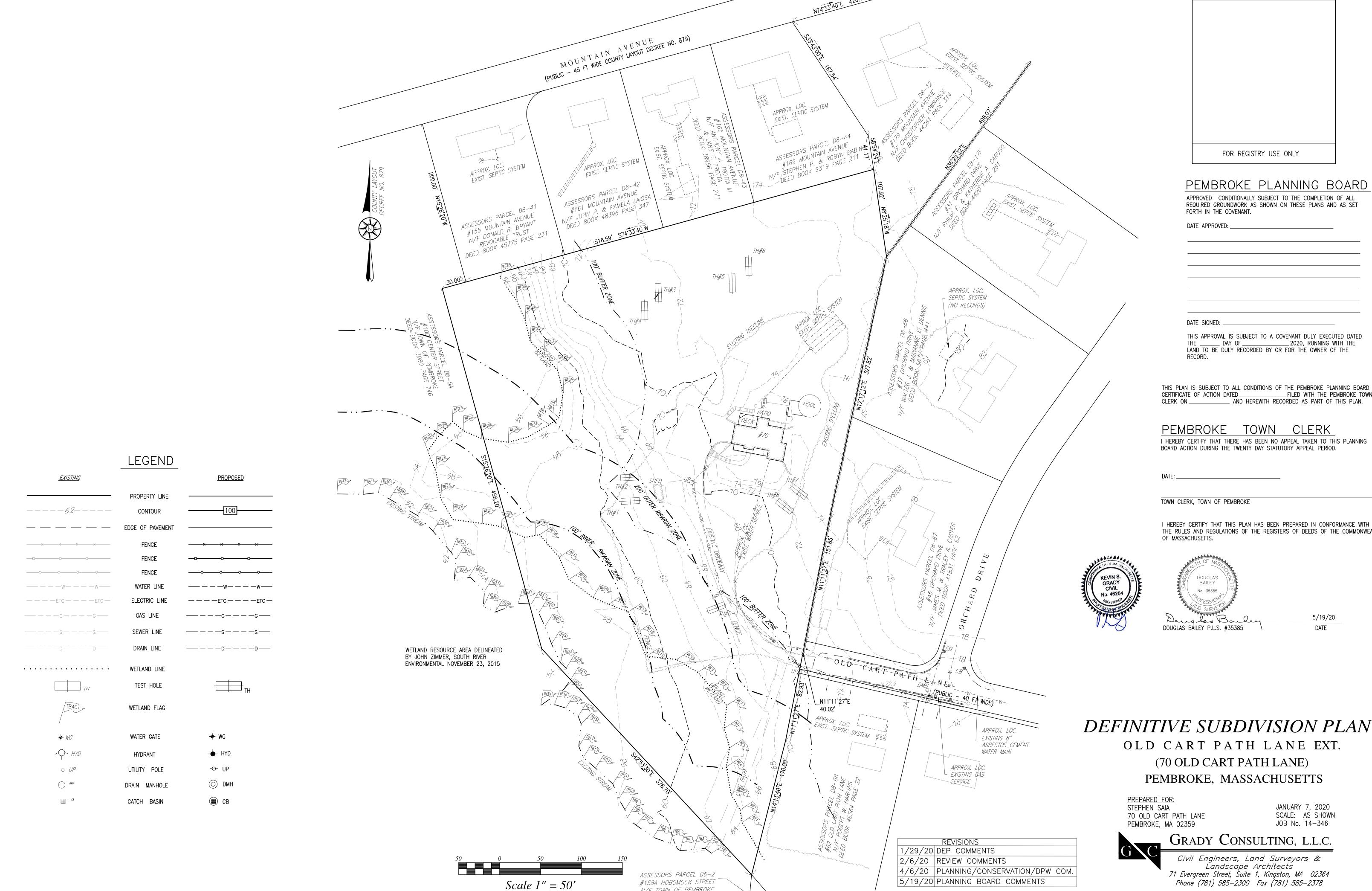
GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

*Scale* 1'' = 50'

ASSESSORS PARCEL D6-2 #158A HOBOMOCK STREET

N/F TOWN OF PEMBROKE DÉED BOOK 3096 PAGE 332



N/F TOWN OF PEMBROKE DEED BOOK 3096 PAGE 332

APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET

THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED \_\_2020, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE

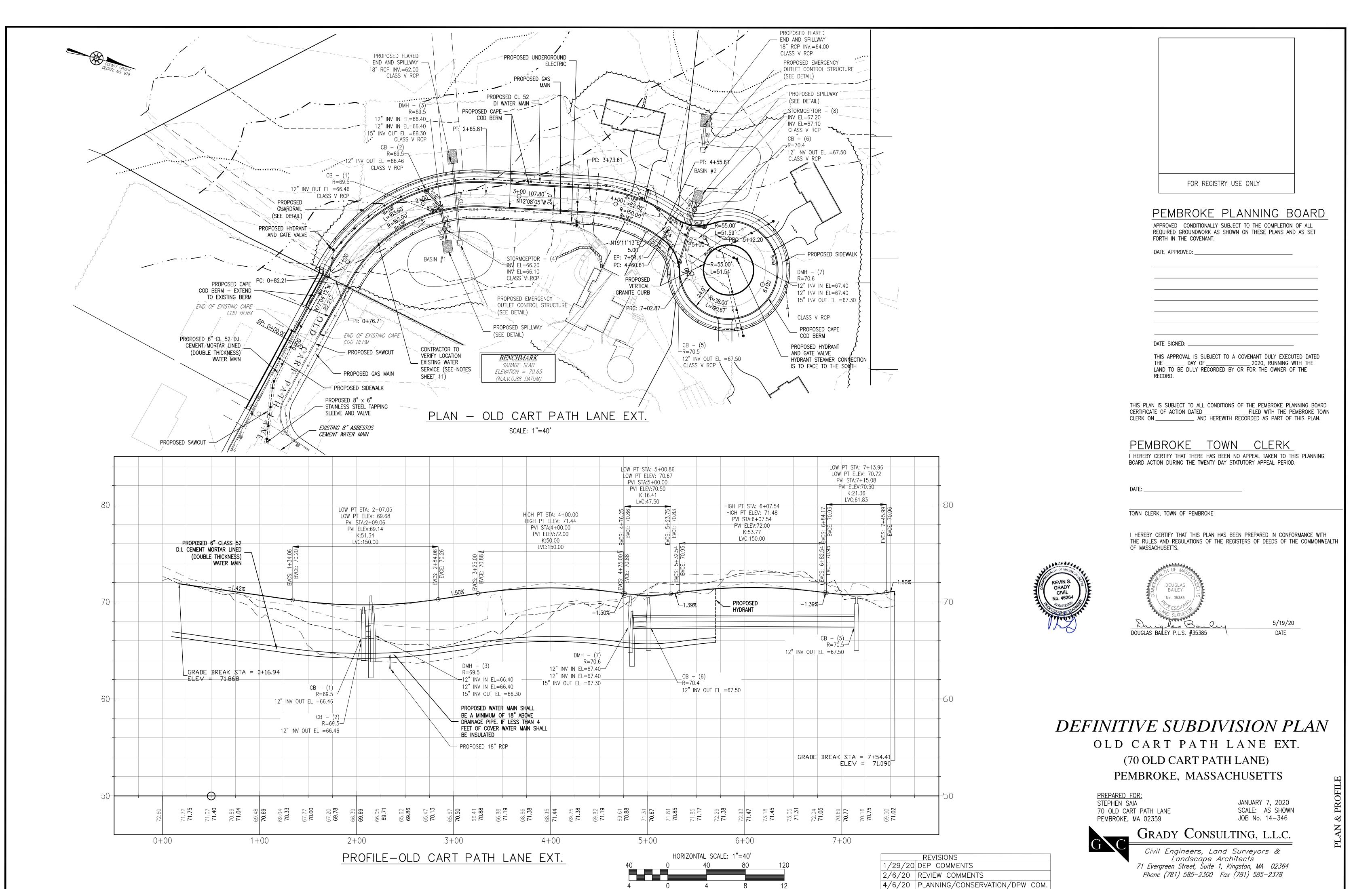
\_ FILED WITH THE PEMBROKE TOWN AND HEREWITH RECORDED AS PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

5/19/20

# DEFINITIVE SUBDIVISION PLAN



VERTICAL SCALE: 1"=4"

5/19/20 PLANNING BOARD COMMENTS

SHEET 4 OF 11

PHASE 1 CONSTRUCTION SEQUENCE: PHASE 1 INCLUDES THE CONSTRUCTION OF THE ROADWAY, UTILITIES AND DRAINAGE BASINS MOUNTAIN AVENUE

MOUNTAIN AVENUE

(PUBLIC - 45 FT WIDE COUNTY LAYOUT DECREE NO. 879) STAKE LIMITS OF WORK AND TREE CLEARING INSTALL EROSION CONTROLS INCLUDING TEMPORARY SEDIMENT TRAPS & SWALES. TRAPS AND SWALES ARE TO BE INSPECTED FOLLOWING HEAVY RAINFALL OR SIGNIFICANT LEAF LITTER. CONTRACTOR TO KEEP SILT TRAPS AND SWALES CLEAR AT ALL TIMES CUT TREES, CLEAR AND GRUB ROADWAY AND DRAINAGE BASIN AREAS AS SHOWN GRADE TEMPORARY SHOULDER AND INSTALL WATER LINE. CONSTRUCT DRAINAGE SWALE, DRAINAGE ACCESS ROAD, INFILTRATION BASIN INCLUDING LOAM AND SEED (LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS) THE CONTRACTOR SHALL TAKE CARE TO MINIMIZE SOIL COMPACTION IN ALL AREAS OF THE SITE WITH THE EXCEPTION OF ROADWAYS AND FOR REGISTRY USE ONLY STRUCTURAL AMENITIES AS REQUIRED FOR STRUCTURAL STABILITY. BRING CUT AREAS TO SUBGRADE INSPECT BASIN AND FOREBAY AFTER ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND PEMBROKE PLANNING BOARD REMOVE SEDIMENT APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL INSTALL UTILITIES (ie, DRAIN, WATER, ELECTRIC, etc.) REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT. CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE DATE APPROVED: \_ INSTALL EROSION CONTROLS ON EXPOSED SLOPES, INSTALL SILT SACK IN CATCH BASIN, SILT SOCK AT BASIN INLET PLACE BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS VERTICAL STABILIZATION SEED SHALL BE PLACED PRIOR TO NOVEMBER TO EACH GRANITE CURB YEAR DURING CONSTRUCTION TO ENSURE VEGETATIVE STABILIZATION. PAVING SHOULD ONLY BE COMPLETED WHILE PAVEMENT PLANTS ARE OPERATING. IT IS PREFERRED THAT PAVING BE COMPLETED PRIOR TO NOVEMBER. PROPOSED CONSERVATION POST WITH PLAQUE (typ) PHASE 2 CONSTRUCTION SEQUENCE: DATE SIGNED: \_\_\_\_\_ PHASE 2 INCLUDES THE CONSTRUCTION OF THE INDIVIDUAL HOUSE THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED LOTS, SUBDIVISION LANDSCAPE AND FINISH PAVEMENT THE \_\_\_\_\_ DAY OF \_\_\_\_\_ \_\_ 2020, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE STAKE LIMITS OF WORK AND TREE CLEARING 200' OUTER RIPARIAN ZONE INSTALL EROSION CONTROLS, INSTALL EROSION CONTROLS ON EXPOSED SLOPES, INSTALL SILT SACK IN CATCH BASIN, MAINTAIN SILT SOCK AT THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE PEMBROKE PLANNING BOARD CUT TREES, CLEAR AND GRUB YARD AREAS AS SHOWN GRANITE CURB CERTIFICATE OF ACTION DATED\_ \_\_FILED\_WITH\_THE\_PEMBROKE\_TOWN \_ AND HEREWITH RECORDED AS PART OF THIS PLAN. WHEELCHAIR RAMP BRING CUT AREAS TO SUBGRADE INSPECT BASIN AND FOREBAY AFTER (SEE DETAIL) ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND REMOVE SEDIMENT PEMBROKE TOWN CLERK INSTALL AND BACKFILL FOUNDATION 100' INNER I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING RIPARIAN ZONE CONSTRUCT DWELLINGS PROPOSED BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD. TREELINE (typ) INSTALL UTILITIES (IE, DRAIN, WATER, ELECTRIC, SEPTIC ETC.) PROPOSED SILT SOCK (LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS) BRING YARDS TO SUBGRADE TOWN CLERK, TOWN OF PEMBROKE INSTALL DOWNSPOUTS/ROOF DRAIN CONNECTIONS PLACE DRIVEWAY BASE COURSE OF PAVEMENT / LOAM AND SEED I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS. CONTRACTOR SHALL REMOVE AND REPLACE ANY COMPACTED SOILS THROUGHOUT THE PROPERTY PRIOR TO PLACING LANDSCAPE TO ALLOW FOR PROPER DRAINAGE AND INFILTRATIVE CAPACITY OF THE UNDERLYING SOILS. COMPLETE SUBDIVISION LANDSCAPING **RELOCATE** EXISTING WATER S STABILIZATION SEED SHALL BE PLACED PRIOR TO NOVEMBER TO EACH SERVICE YEAR DURING CONSTRUCTION TO ENSURE VEGETATIVE STABILIZATION. CONSTRUCTION PAVING SHOULD ONLY BE COMPLETED WHILE PAVEMENT PLANTS ARE ENTRANCE OPERATING. IT IS PREFERRED THAT PAVING BE COMPLETED PRIOR TO 5/19/20 (SEE DETAIL SH8) PROPOSED 8"x6" DOUGLAS BAILEY P.L.S. #35385 DATE - STAINLESS STEEL TAPPING UNCOVER TEMPORARY DRAINAGE SEALS / FINISH PAVING ON ROADWAY EXTEND PROPOSED SLEEVE AND VALVE AND DRIVEWAYS - CAPE COD BERM TO EXISTING BERM WETLAND RESOURCE AREA DELINEATED REQUEST CERTIFICATE OF COMPLIANCE FROM CONSERVATION AND BY JOHN ZIMMER, SOUTH RIVER APPROX. LOC. PROPOSED -PLANNING BOARD EXISTING 8" ASBESTOS ENVIRONMENTAL NOVEMBER 23, 2015 RIPRAP SLOPE CEMENT WATER MAIN (SEE DETAIL 2 YEAR RUNOFF VOLUME FROM POST #2, #3, & #10 =3,781 (CU. FT) (4,605 CU. ft PROVIDED) N11°11'27"E POST WITH PLAQUE (typ) 97,457 S.F. = RIVERFRONT AREA SIDEWALK DEFINITIVE SUBDIVISION PLAN 9,746 S.F. = 10% RIVERFRONT AREA **ELEVATION** VOLUME PROPOSED -PROPOSED 6" CL 52 D.I. 9,711 S.F. = PROPOSED RIVERFRONT GUARDRAIL (sq. FT) AVG. END AVG. END CEMENT MORTAR LINED DISTURBANCE (10%) OLD CART PATH LANE EXT. ROADWAY GRADING, EROSION CONTROL & LANDSCAPING (CU. FT) (CU. FT) (DOUBLE THICKNESS) SEDIMENT TRAP #1 WATER MAIN N/A N/A (70 OLD CART PATH LANE) 100' BUFFER 1339 2.000 1339 2 TO 4 FT MIN ZONE PEMBROKE, MASSACHUSETTS SEDIMENT TRAP #2 3266 PREPARED FOR: 3.0"-6" MIN REVISIONS STEPHEN SAIA JANUARY 7, 2020 1/29/20 DEP COMMENTS SCALE: AS SHOWN 70 OLD CART PATH LANE 2/6/20 | REVIEW COMMENTS JOB No. 14-346 PEMBROKE, MA 02359 2 YEAR RUNOFF VOLUME FROM POST #5 & #6 = 2,539 (CU. FT) (3,200 CU. ft PROVIDED @ EL=69) 4/6/20 | PLANNING/CONSERVATION/DPW COM. Grady Consulting, L.L.C. 5/19/20 PLANNING BOARD COMMENTS SLOPE TO SEDIMENT TRAP CONTOUR SWALE DETAIL **ELEVATION** AREA **VOLUME** VOLUME Civil Engineers, Land Surveyors & Landscape Architects AVG. END (SQ. FT) AVG. END NOT TO SCALE 71 Evergreen Street, Suite 1, Kingston, MA 02364 (CU FT) (CU. FT) ASSESSORS PARCEL D6-2 Phone (781) 585-2300 Fax (781) 585-2378 #158A HOBOMOCK STREET N/F TOWN OF PEMBROKE 2.000 1611 1141 1611 DEED BOOK 3096 PAGE 332

*Scale* 1'' = 50'

1589

1.000

3200

SHEET 5 OF 11

*Scale 1"* = 50'

5/19/20

DATE

# SECTION V.J. STREET TREES STREET TREES NOT LESS THAN 3" CALIPER 3' FROM GRADE AND OF A SPECIES APPROVED BY THE PLANNING BOARD SHALL BE PLANTED ON EACH SIDE OF EVERY STREET IN THE SUBDIVISION WHEREVER, IN THE OPINION OF THE PLANNING BOARD, EXISTING WOODLANDS OR SUITABLE INDIVIDUAL TREES ARE NOT RETAINED. TREES SHALL BE LOCATED INSIDE THE LAYOUT NOT GREATER THAN 60 FEET APART IN THE LAYOUT WITH NOT FEWER THAN TWO TREES PER LOT. TREES ARE TO BE PLANTED 15 MONTHS PRIOR TO SIGNING OF THE AS-BUILT PLAN. TYPES OF TREES, WHICH WILL BE ACCEPTED, WETLAND RESOURCE AREA DELINEATED BY JOHN ZIMMER, SOUTH RIVER ENVIRONMENTAL NOVEMBER 23, 2015 ARE: LOCUSTS, CRIMSON KING MAPLES, ORNAMENTAL BRADFORD PEARS AND LITTLE LEAF LINDENS. ALL TREES SHALL BE GUARANTEED FOR ON FULL YEAR AFTER ACCEPTANCE OF AS-BUILT PLAN. A ROOT SHIELD SHALL BE PLACED 12 INCHES DOWN AND 1 INCH BELOW GRADE FOR A DISTANCE OF 3 TO 4 FEET ON THE SIDEWALK SIDE. USE 2"X2" HARDWOOD STAKE

*Scale 1"* = 50'

#### PLANT SCHEDULE

2020-05-19 10:32 BOTANICAL / COMMON NAME B & B 3"CAL ACE RUB ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST B & B 3"CAL GLE TRI PLA XLP PLATANUS X ACERIFOLIA / LONDON PLANE TREE B & B 3"CAL BOTANICAL / COMMON NAME <u>SIZE</u> 7-8' HGT.

#### PLANTING NOTES

PIN STR

- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION
- 2) ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER SETTLEMENT AS TO THEIR ORIGINAL GRADE BEFORE DIGGING. LOCATE PLANT COLLAR TWO OR THREE INCHES HIGHER THAN PLANTING SOIL MIX TO INSURE CORRECT FINAL RELATIONSHIP.

9 PINUS STROBUS / WHITE PINE

NOTES: ON TREES BELOW 3" CAL.

ON TREES 3" CAL. OR GREATER

IF GUYING CABLES USE 3 PER TREE

2X ROOT BALL DIAMETER (MIN.)

SHADE / FLOWERING TREE DETAIL

- USE DUCKBILL TREE ANCHOR FOR 3"

CAL. OR GREATER

1/3 PEAT - BLEND MANURE

1/3 HIGH ORGANIC LOAM

PLANTING SOIL MIX:

1/3 EX. SOIL

USE WOOD STAKES.

USE GUYING CABLES.

- 3) APPLY AN APPROVED ANTI-DESSICANT TO ALL PLANTS IN LEAF AT PLANTING TIME, AND TO ALL EVERGREENS BEFORE THEIR FIRST WINTER.
- 4) FLOOD ALL PLANTS WITH CLEAN WATER TWICE IN THE FIRST 24 HOURS AFTER PLANTING. CONTRACTOR TO ARRANGE FOR ALL PLANTS TO BE PLANTED WITHIN THREE DAYS AFTER DELIVERY TO THE SITE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- ,5) NEVER CUT A LEADER.

LOCATE ANCHOR STAKE 18" AWAY FROM TREE TRUNK ON SIDE

- INSTALL TREE PLUMB - L.A. TO APPROVE FACE/ORIENTATION

- PULL WIRE CAGE BACK DOWN INTO PLANTING HOLE 1/3 HEIGHT OF

— 3" PINE BARK MULCH (UNLESS OTHERWISE NOTED ON PLANS)

- TREE SHALL BE PLANTED ;3" ABOVE SURROUNDING GRADE - TREE SHALL BE

— IF ROOTBALL IS WRAPPED IN PLASTIC OR NON-BIODEGRADEABLE MATERIAL

REMOVE ENTIRE WRAP - IF WRAPPED IN BURLAP, CUT OPEN AT LEAST 1/3

- EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOT BALL - BACKFILL HOLE

— TEMPORARY EARTH SAUCER TO CONTAIN 3" MULCH - PULL MULCH 3-6"

AWAY FROM TRUNK OF TREE (KNOCKDOWN/REMOVE SAUCER AFTER FIRST

OF PREVAILING WIND.

PLUMB AFTER SETTLEMENT

OF TOP & REMOVE ALL TWINE/ ROPE.

WITH PLANTING MIX AS SPECIFIED

INDISTURBED SUBGRADE

1/3 PEAT - MANURE BLEND

1/3 HIGH ORGANIC LOAM

1/3 EXISTING SOIL

2X ROOT BALL DIAMETER

**EVERGREEN TREE DETAIL** 

PLANTING STANDARD SOIL MIX:

329343.04-01

OF TREES ON SITE

- 6) TRIM ONLY BROKEN OR DEAD BRANCHES FROM EVERGREEN PLANTS.
- 7) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST
- 8) ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- 9) ALL TREES SHALL HAVE "BEST FACE" SIDE TAGGED AT NURSERY PRIOR TO
- 10) ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 11) CONTRACTOR TO STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- 12) LANDSCAPE ARCHITECT TO APPROVE IN PLACE ALL SHRUBS, PERENNIALS AND VINES PRIOR TO PLANTING.
- 13) ALL TREES TO RECEIVE A MINIMUM OF THREE INCHES OF MULCH. ALL SHRUBS, VINES AND GROUND COVERS TO RECEIVE A MINIMUM OF TWO INCHES OF MULCH.
- 14) WHERE SPECIFIED, CALIPER SIZE TO BE OVERRIDING FACTOR IN TREE
- 15) STAKE OR GUY ALL TREES AND LARGE EVERGREEN MATERIAL.

- 16) CONTRACTOR TO PROVIDE TWO YEAR GUARANTEE ON ALL MATERIAL. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO BEGIN AT FINAL
- 17) ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO FINAL TOP-DRESSING AND SODDING/SEEDING.

B & B

- 18) COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM & LANDSCAPE LIGHTING (IF APPLICABLE).
- 19) NO PLANTING BEFORE THE ACCEPTANCE OF ROUGH GRADING.
- 20) CONTRACTOR TO PROVIDE SOIL TESTS IN AREAS DESIGNATED BY LANDSCAPE ARCHITECT IN FIELD FOR EXISTING SOILS TO DETERMINE APPROPRIATE SOIL AMENDMENTS PRIOR TO THE DISTURBANCE OF SITE.
- 21) ALL PLANTING BEDS TO BE TREATED WITH PREEN AND GREEN OR APPROVED EQUAL TO PROHIBIT WEED GERMINATION AND GROWTH PRIOR TO THE SPREADING OF MULCH.
- 22) ALL PERENNIALS ARE TO BE PLANTED INTO DAMP SOIL.
- 23) PLANT LIST: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANTS IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. WHEN MULTIPLE PLANT SPECIES ARE LISTED IN ONE PLANT CATEGORY, THE GOAL IS TO PROVIDE THE BEST PLANTS AVAILABLE AT THE TIME OF INSTALLATION. THE LANDSCAPE ARCHITECT SHALL SELECT OR COORDINATE THE SELECTION OF THE APPROPRIATE PLANTS AT LOCAL NURSERIES. GRADY CONSULTING HAS THE RIGHT TO REJECT ANY PLANT THAT DOES NOT MEET THE SPECIFICATIONS LISTED IN THE PLANT TABLE.
- 24) PLANT SUBSTITUTION ARE NOT ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- 25) ALL DISTURBED AREAS TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS (REFER TO ENGINEER'S SOIL STABILIZATION AND EROSION CONTROL PLAN FOR FURTHER INFORMATION).
- 26) CONTRACTOR SHALL (IF APPLICABLE) REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM).

- INSTALL TREE PLUMB - L.A. TO APPROVE

FACE / ORIENTATION OF TREES ON SITE

- NON-GURDELING STRAP SUCH AS CHAIN

/ INSTALL TREE GATORS ON ALL TREES NOT

CONTRACTOR TO MAINTAIN DURING PERIOD

COVERED BY IRRIGATION AS PER

MANUFACTURERS SPECIFICATIONS.

TREE SHALL BE PLANTED ;3" ABOVE SURROUNDING GRADE - TREE SHALL BE

- IF ROOTBALL IS WRAPPED IN PLASTIC OR NON-BIODEGRADEABLE MATERIAL REMOVE

- HAND EXCAVATE HOLE TO DIAMETER 2X WIDER

HOLE WITH PLANTING SOIL MIX AS SPECIFIED

— EARTH SAUCER TO CONTAIN 3" MULCH -

AFTER FIRST SEASON)

(FOR BELOW 3" CAL.)

USE 2"X2" HARDWOOD STAKE

UNDISTURBED SUBGRADE

PULL MULCH 3-6" AWAY FROM TRUNK OF TREE (KNOCKDOWN/REMOVE SAUCER

FOR ALL FALL PLANTING, WRAP TRUNK AS

SPECIFIED TO 2ND LOWEST BRANCH -

ALL TREES SHALL BE FLOODED TWICE

DURING THE FIRST 24 HOURS AFTER

REMOVE THE FOLLOWING SPRING

PLUMB AFTER SETTLEMENT

AT LEAST 1/3 OF TOP

ON PLANS)

LOCK OR ARBORTAPE

OF WARRANTY

FOR REGISTRY USE ONLY



APPROVED CONDITIONALLY SUBJECT TO THE COMPLETION OF ALL REQUIRED GROUNDWORK AS SHOWN ON THESE PLANS AND AS SET FORTH IN THE COVENANT.

DATE APPROVED:

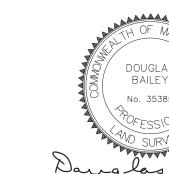
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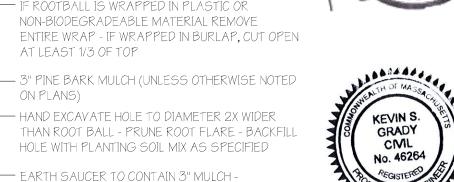
PEMBROKE TOWN CLERK I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

TOWN CLERK, TOWN OF PEMBROKE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



5/19/20 DOUGLAS BAILEY P.L.S. #35385 DATE





# THAN ROOT BALL - PRUNE ROOT FLARE - BACKFILL

#### DEFINITIVE SUBDIVISION PLAN OLD CART PATH LANE EXT. (70 OLD CART PATH LANE)

PEMBROKE, MASSACHUSETTS

PREPARED FOR: STEPHEN SAIA 70 OLD CART PATH LANE PEMBROKE, MA 02359

JANUARY 7, 2020 SCALE: AS SHOWN JOB No. 14-346



Grady Consulting, L.L.C.

Civil Engineers, Land Surveyors & Landscape Architects 71 Evergreen Street, Suite 1, Kingston, MA 02364 Phone (781) 585-2300 Fax (781) 585-2378

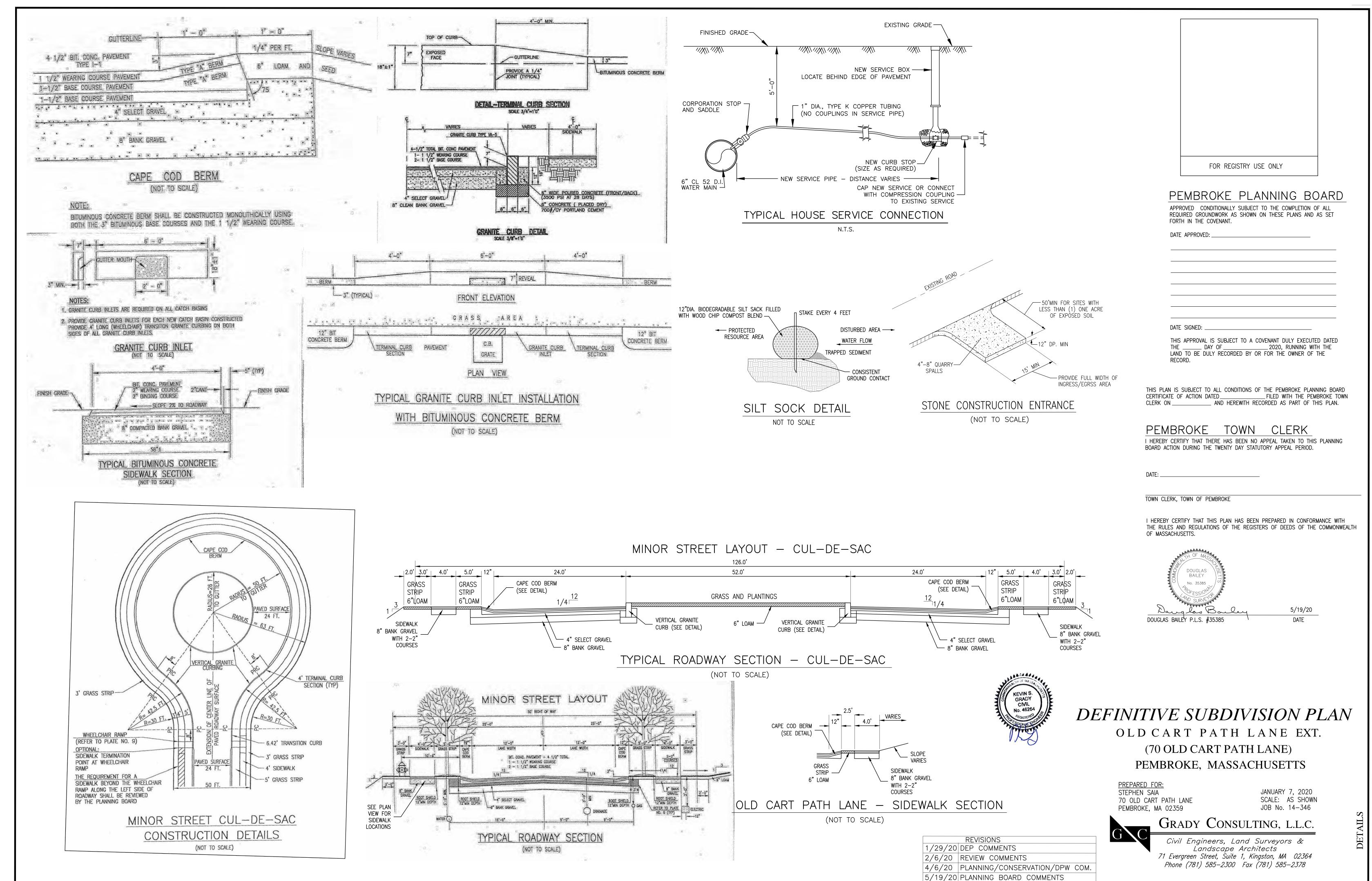
REVISIONS

2/6/20 | REVIEW COMMENTS

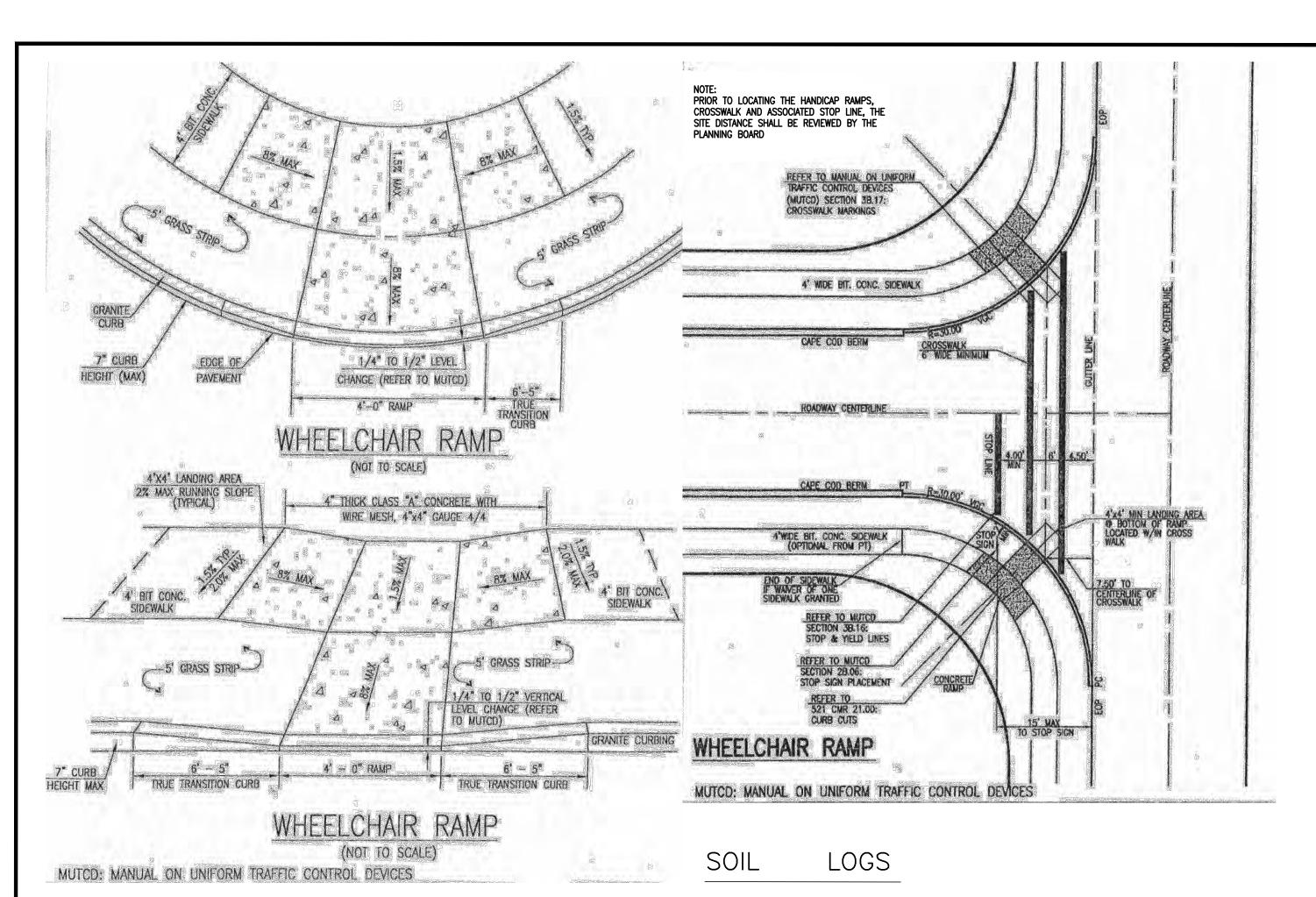
PLANTING

1/29/20 DEP COMMENTS

4/6/20 | PLANNING/CONSERVATION/DPW COM 5/19/20 PLANNING BOARD COMMENTS

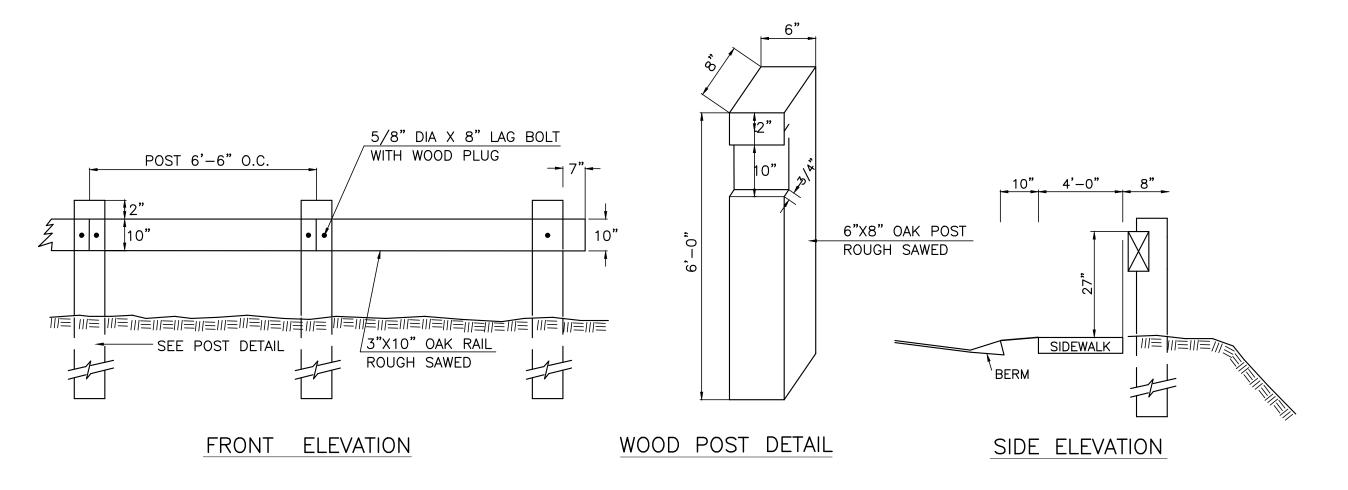


SHEET 8 OF 11



|                             | H.#1<br>61.5  | T.H.#2<br><u>EL. 63.3</u>        | T.H.#3<br><u>EL. 70.2</u>                           | T.H. <b>#</b> 4<br><u>EL. 70.1</u>            | T.H. <b>#</b> 5<br><u>EL. 73.1</u>                    | T.H. <b>#</b> 6<br><u>EL. 73.0</u>                              | T.H. <b>#</b> 7<br><u>EL. 73.5</u>     | T.H.#8<br><u>EL. 70.5</u>                          |
|-----------------------------|---|----------------------------------|---|---|---|---|--|--|
| L                           | "-20" FILL LOAM 59.83 "-24"   | 0"-6"<br>A<br>LOAM 62.80         | 0"-6"<br>A<br>LOAM 69.70                            | 0"-6"<br>A<br>LOAM 69.60                      | 0"-6"<br>A<br>LOAM 72.60                              | 0"-6"<br>A<br>LOAM 72.60  | 0"-6"<br>A<br>LOAM <u>73.00</u>        | 0"-6"<br>A<br>LOAM 70.00                           |
| 24<br>L(                    | A<br>LOAM 59.50<br>F'-36"<br>B<br>OAMY<br>SAND 58.50                    | 6"-24" B LOAMY SAND              | 6"-24" B LOAMY SAND                                 | 6"-24" B LOAMY SAND                           | 6"-24"<br>B<br>LOAMY SAND<br>71.10                    | 6"-24" B LOAMY SAND   | 6"-24"<br>B<br>LOAMY SAND              | 6"-24" B LOAMY SAND                                |
| 36"-5<br>GR/<br>CC<br>57.00 | 54"/108" C1 AVELLY DARSE SAND 52.50  PERC © 48"-66" P.R.<2 MIN/IN 52.50 | 24"-144" C1 GRAVELLY COARSE SAND | 68.20  PERC @ 30"-48" P.R.<2 MIN/IN FINE SAND       | 68.10  PERC © 36"-54" P.R.<2 MIN/IN FINE SAND | 24"-132" PERC @ 36"-54" P.R.<2 MIN/IN FINE LOAMY SAND | 24"-144" C FINE LOAMY SAND  71.10  PERC @ 36"-54" P.R.=6 MIN/IN | 71.50<br>24"-80"<br>C1<br>FINE<br>SAND | 68.50  PERC @ 30"-48" P.R.=5 MIN/IN FINE SAND      |
| D=<br>MO                    | C2<br>E LOAMY<br>SAND<br>14'-0"<br>OTTLING<br>@<br>4'-0"<br>=57.50)     | D= 12'-0" MOTTLING               | D= 12'-0"<br>MOTTLING<br>@<br>7'-10"<br>(EL.=62.36) | D= 12'-6"<br>MOTTLING<br>@ 7'-0" (EL.=63.10)  | D= 11'-0" MOTTLING                                    | D= 12'-0" MOTTLING  @ 3'-6" (EL.=69.50)                         | D= 6'-8"<br>NO<br>WATER                | D= 10'-0"<br>MOTTLING<br>@<br>6'-0"<br>(EL.=64.50) |

TH#1-8 AND D-1 PERFORMED BY GRADY CONSULTING LLC, OCTOBER 5, 2017, WITNESSED BY LISA CULLITY



WOOD GUARD RAIL (NOT TO SCALE)

#### CONSTRUCTION NOTES

#### GENERAL:

- 1. TOPOGRAPHIC DATA BY GRADY CONSULTING. L.L.C.
- 2. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
- 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES WITH UTILITY COMPANIES.
- 4. CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7233) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION.
- 5. UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE DEPARTMENT OR COMPANY. THE CONTRACTOR SHALL NOTIFY THE PEMBROKE D.P.W. (293-5620) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION OF DRAINAGE & WATER SYSTEMS.
- 6. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF PEMBROKE PLANNING BOARD RULES AND REGULATIONS.
- 7. ALL STUMPS SHALL BE DISPOSED OFF SITE AND IN ACCORDANCE WITH DEP

#### **EROSION CONTROL:**

T.H. D-1 EL. 65.8

6"-24"

24"–66" C1 GRAVELLY SAND

66"-84"

MEDIUM SAND

84"-120"

SILT LOAM

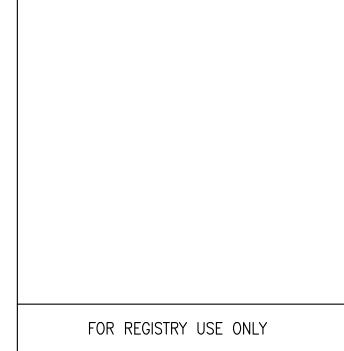
D = 10' - 0''MOTTLING

6'-8"

(EL.=59.13)

LOAMY SAND | 63.80

- 1. ALL CUT AND FILL AREAS, AND DISTURBED DRAINAGE AREAS ARE TO BE BROUGHT TO FINISHED GRADE WITH A MIN. OF 4" OF LOAM. SEEDED WITH A MIXTURE OF ANNUAL RYEGRASS AND PERENNIAL GRASSES, AND MAINTAINED UNTIL VEGETATION STABILIZES THESE AREAS.
- 2. HAY MULCH, OR OTHER SUITABLE EROSION PROTECTION, SHALL BE UTILIZED ON ALL EXPOSED SLOPES.



#### PEMBROKE PLANNING BOARD

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DATE SIGNED: \_\_\_\_\_

DATE APPROVED:

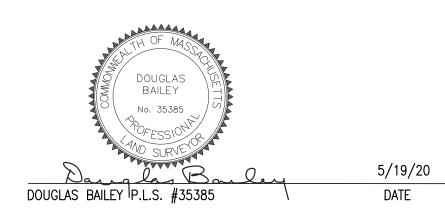
THIS APPROVAL IS SUBJECT TO A COVENANT DULY EXECUTED DATED THE \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_ 2020, RUNNING WITH THE LAND TO BE DULY RECORDED BY OR FOR THE OWNER OF THE

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PEMBROKE TOWN CLERK I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE TWENTY DAY STATUTORY APPEAL PERIOD.

TOWN CLERK, TOWN OF PEMBROKE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.





REVISIONS

4/6/20 PLANNING/CONSERVATION/DPW COM.

5/19/20 PLANNING BOARD COMMENTS

1/29/20 DEP COMMENTS

2/6/20 | REVIEW COMMENTS

# DEFINITIVE SUBDIVISION PLAN OLD CART PATH LANE EXT.

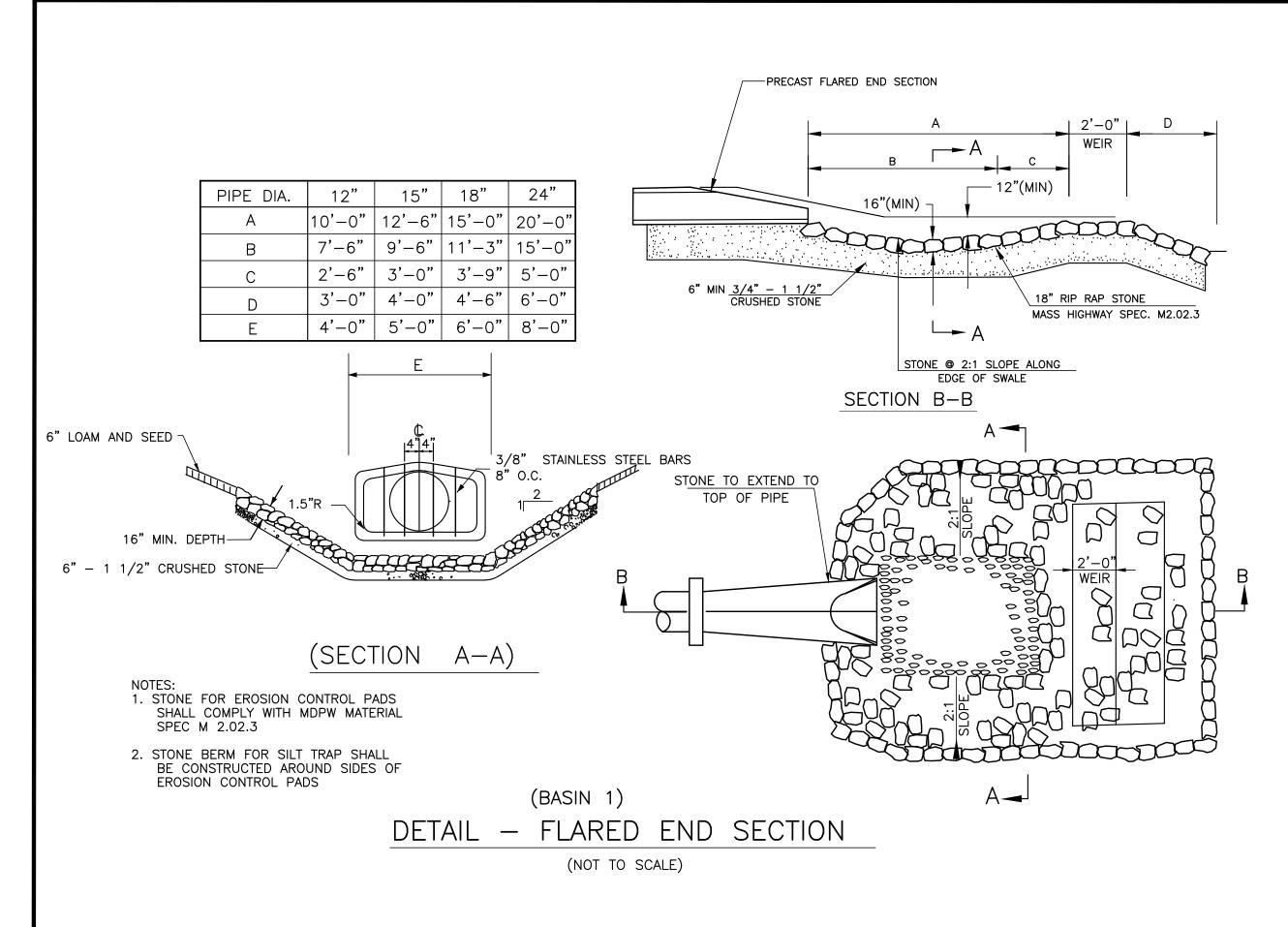
(70 OLD CART PATH LANE) PEMBROKE, MASSACHUSETTS

PREPARED FOR: STEPHEN SAIA 70 OLD CART PATH LANE PEMBROKE, MA 02359

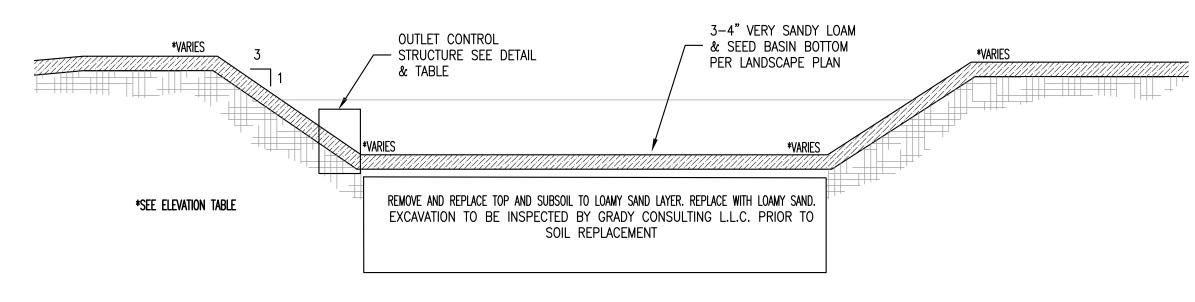
JANUARY 7, 2020 SCALE: AS SHOWN JOB No. 14-346

Grady Consulting, l.l.c. Civil Engineers, Land Surveyors &

Landscape Architects 71 Evergreen Street, Suite 1, Kingston, MA 02364 Phone (781) 585–2300 Fax (781) 585–2378

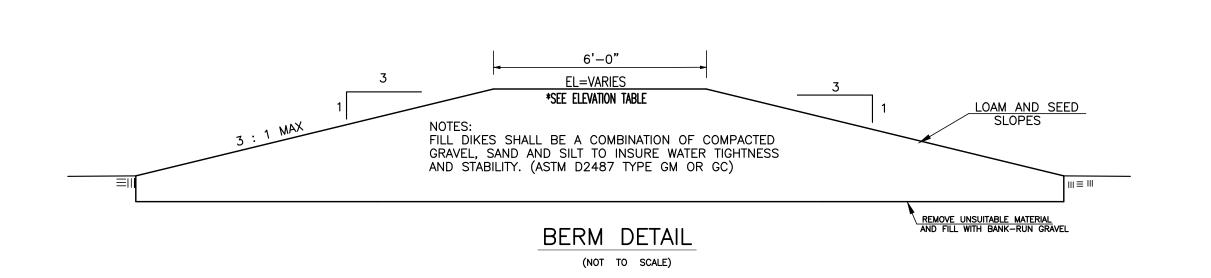


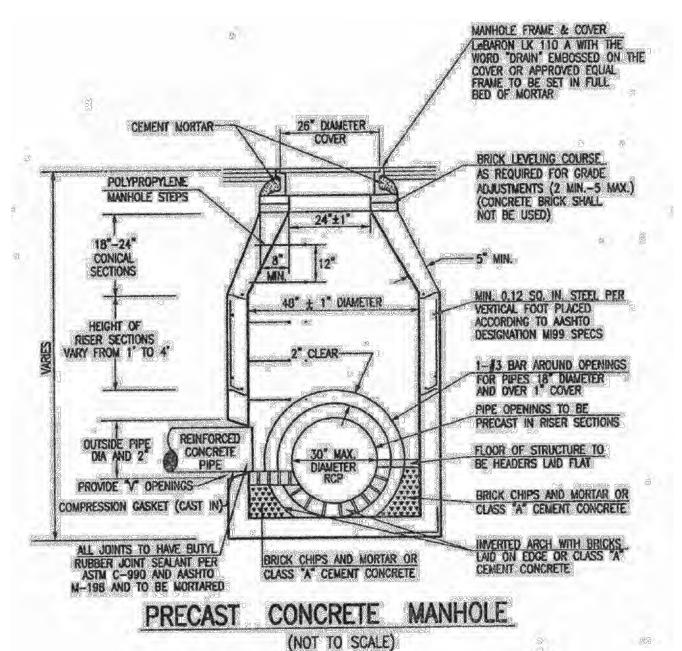
|       |              |                |             | ELEVATI         | ON TABLE         |             |            |            |           |
|-------|--------------|----------------|-------------|-----------------|------------------|-------------|------------|------------|-----------|
| BASIN | BOTTOM BASIN | BASIN TOP BERM | GROUNDWATER | INLET ELEVATION | OUTLET ELEVATION | 100YR STORM | 25YR STORM | 10YR STORM | 2YR STORM |
| 1     | 64.00        | 68.00          | 62.00       | 66.00           | 65.80            | 66.16       | 65.94      | 65.80      | 64.64     |
| 2     | 65.10        | 68.40          | 63.10       | 67.00           | 67.00            | 67.34       | 66.68      | 66.22      | 65.46     |

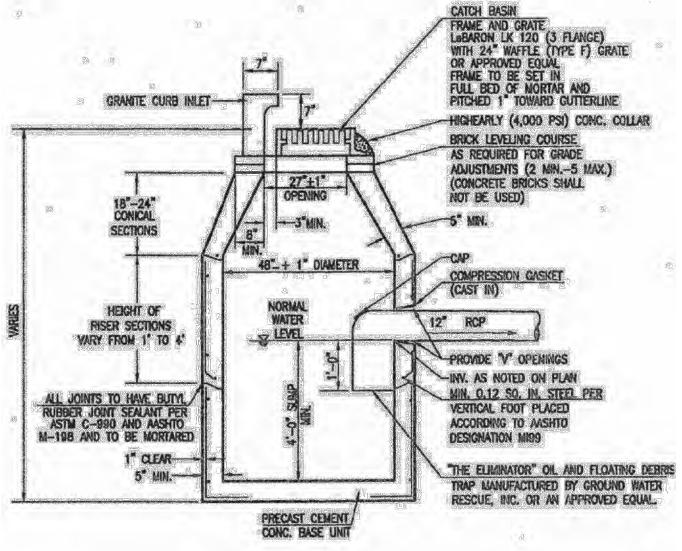


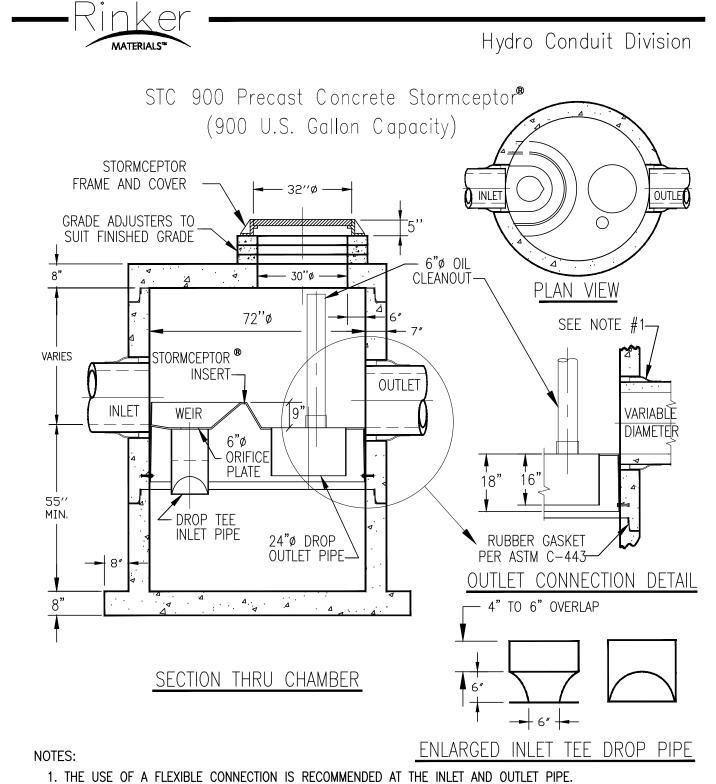
NOT TO SCALE

GW EL=\*VARIES BASIN DETAIL





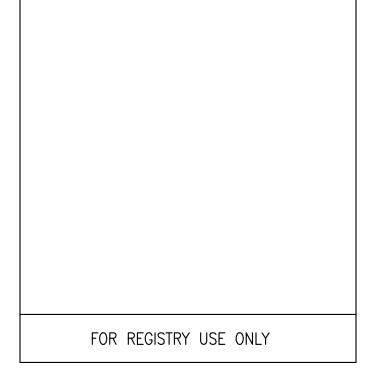




- 2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE VENT PIPE.
- 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
- 4. CONTACT A HYDRO CONDUIT REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS SHEET.

(OR AN APPROVED ALTERNATIVE APPROVED BY PEMBROKE DPW AND DESIGN ENGINEER)

> DETAIL - STORMCEPTOR (NOT TO SCALE)



#### PEMBROKE PLANNING BOARD

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DATE APPROVED:

DATE SIGNED: \_

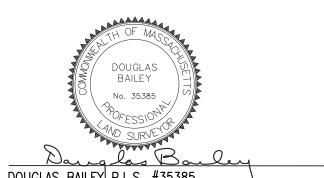
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TOWN CLERK, TOWN OF PEMBROKE

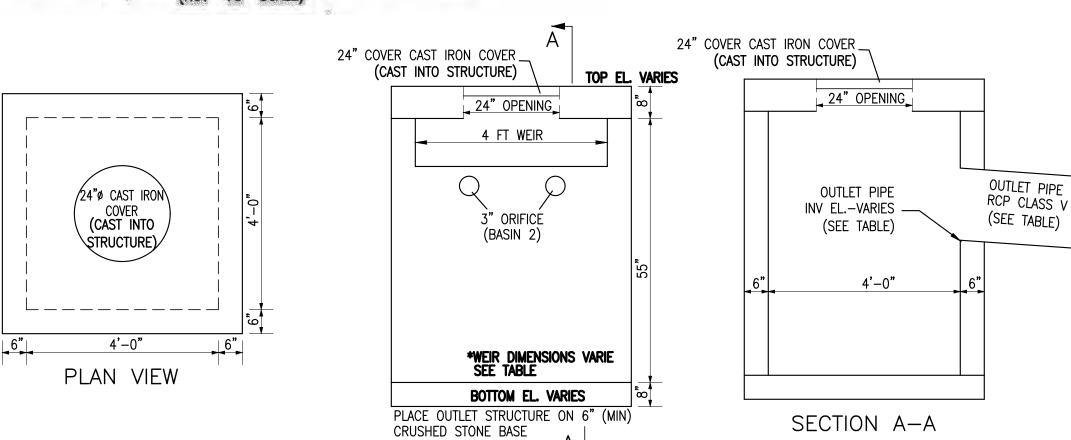
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DOUGLAS BAILEY P.L.S. #35385

5/19/20 DATE

#### PRECAST GASOLINE TRAP CATCH BASIN (NOT TO SCALE)



| DACINI |           | WEIR        |            |           | ORIFICE |          | OUTLET      |
|--------|-----------|-------------|------------|-----------|---------|----------|-------------|
| BASIN  | ELEVATION | HEIGHT (FT) | WIDTH (FT) | ELEVATION | SIZE    | QUANTITY | SIZE/INVERT |
| 1      | 65.80     | 1.00        | 4.00       | N/A       | N/A     | N/A      | 18"/64.30   |
| 2      | 67.10     | 1.00        | 4.00       | 66.00     | 3"      | 2        | 18"/65.00   |

# OVERFLOW OUTLET CONTROL STRUCTURE

(NOT TO SCALE)

|         | REVISIONS                      |
|---------|--------------------------------|
| 1/29/20 | DEP COMMENTS                   |
| 2/6/20  | REVIEW COMMENTS                |
| 4/6/20  | PLANNING/CONSERVATION/DPW COM. |
| 5/19/20 | PLANNING BOARD COMMENTS        |

# DEFINITIVE SUBDIVISION PLAN

OLD CART PATH LANE EXT.

(70 OLD CART PATH LANE)

PEMBROKE, MASSACHUSETTS

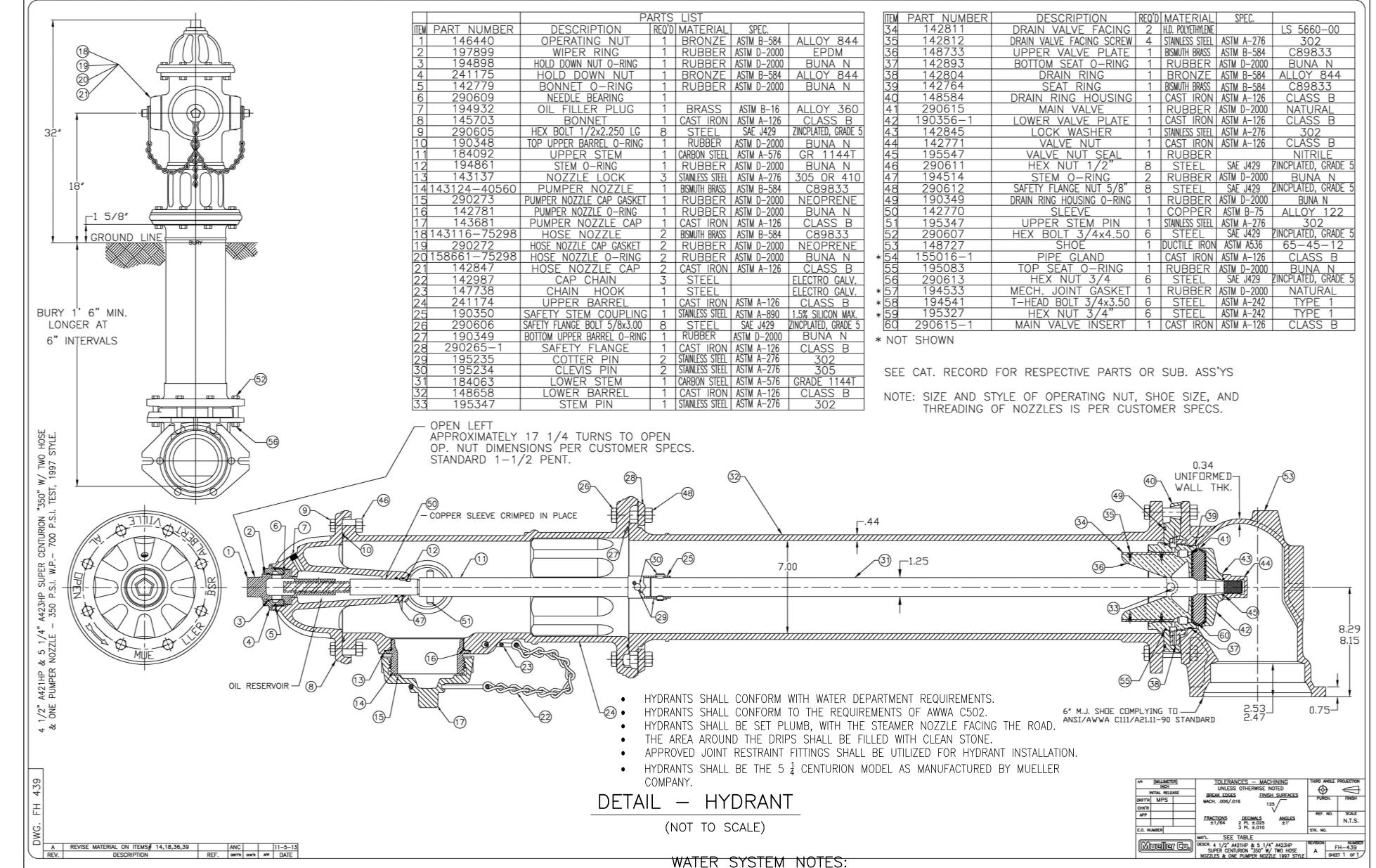
PREPARED FOR: STEPHEN SAIA 70 OLD CART PATH LANE PEMBROKE, MA 02359

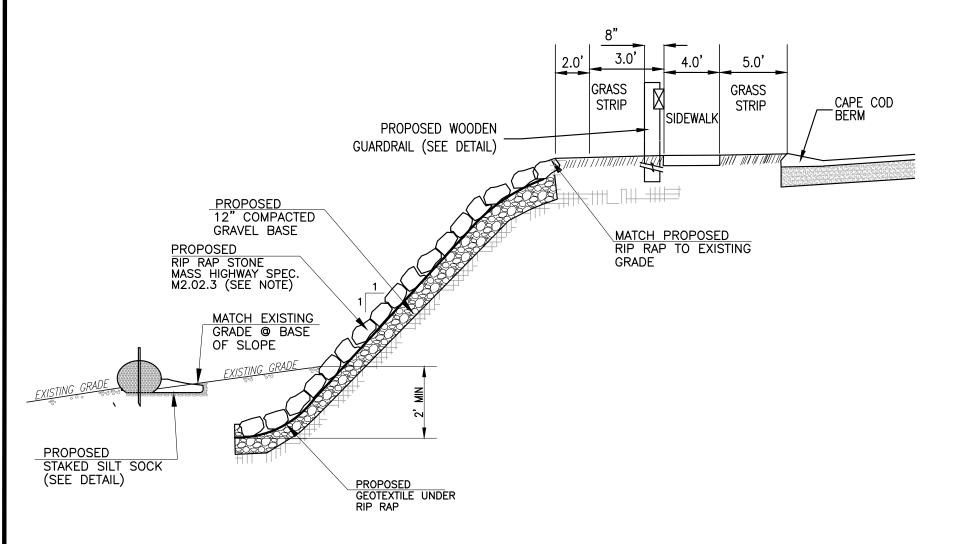
JANUARY 7, 2020 SCALE: AS SHOWN JOB No. 14-346

# Grady Consulting, l.l.c.

Civil Engineers, Land Surveyors &

Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378





UNPAVED \_ PAVED

TYPICAL WATER

TRENCH DETAIL

NOT TO SCALE

AS SPECIFIED

PAVEMENT SECTION

SHEETING, IF REQUIRED
IS TO BE CUT OFF 1 FOOT
ABOVE TOP OF PIPE AND
ANY WOOD SHEETING DRIVEN
DRIVEN BELOW PIPE ZONE
SHALL BE LEFT IN PLACE

`UNDISTURBED NATURAL MATERIAL

SEE PLANS FOR FINAL GRADING

TYPE-A GRAVEL BORROW

95% MAX. DRY DENSITY 6" MAX. STONE SIZE

12" MIN. CLEARANCE -

2. CRUSHED STONE BEDDING SHALL CONFORM TO

GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0

MASS HIGHWAY SPECIFICATION M2.01.1

PROTECTION ZONE, SAND OR TYPE-C GRAVEL BORROW COMPACTED AS SPECIFIED ABOVE. MAXIMUM STONE ——SIZE — 2"

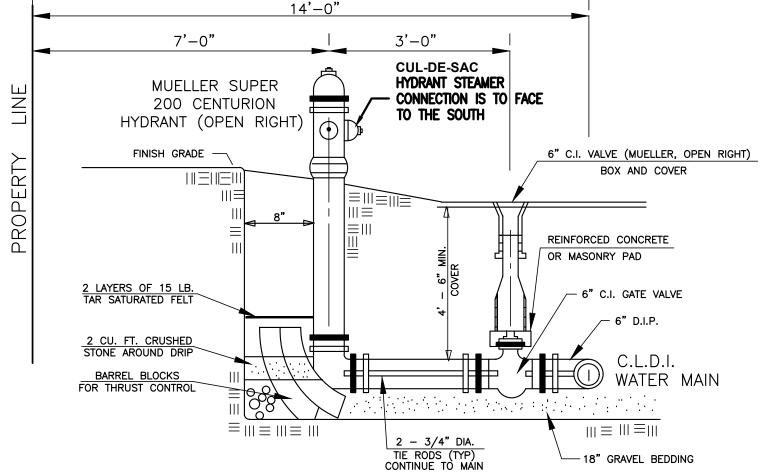
EXISTING GROUND

SURFACE ———

COMPACTED TO

NOTE:
M2.02 EACH STONE SHALL WEIGH NOT LESS THAN 50 POUNDS, NOT MORE THAN 125 POUNDS & AT LEAST 75% OF VOLUME SHALL CONSIST OF STONES WEIGHING NOT LESS THAN 75 POUNDS EACH (OR APPROVED EQUAL). THE REMAINDER OF THE STONES SHALL BE SO GRADED THAT WHEN PLACED WITH THE LONGER STONES THE ENTIRE MASS WILL BE COMPACT.

> RIP RAP SLOPE NOT TO SCALE



#### HYDRANT DETAIL (NOT TO SCALE)

- HYDRANTS SHALL CONFORM WITH WATER DEPARTMENT REQUIREMENTS. HYDRANTS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C502. • HYDRANTS SHALL BE SET PLUMB, WITH THE STEAMER NOZZLE FACING THE ROAD.
- THE AREA AROUND THE DRIPS SHALL BE FILLED WITH CLEAN STONE. APPROVED JOINT RESTRAINT FITTINGS SHALL BE UTILIZED FOR HYDRANT INSTALLATION.
- HYDRANTS SHALL BE THE 5  $\frac{1}{4}$  CENTURION MODEL AS MANUFACTURED BY MUELLER

- ALL WATER SERVICES SHALL BE 1" TYPE "K" COPPER TUBING OR APPROVED EQUAL.
- 2. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO TOWN OF PEMBROKE WATER
- DEPARTMENT REQUIREMENTS.

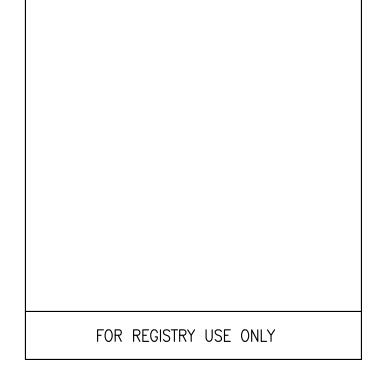
SAMPLING.

- 3. ALL WATER GATES SHALL BE MUELLER, OPEN RIGHT.
- 4. THE PROPOSED 6-INCH CLASS 52 DUCTILE IRON WATER MAIN SHALL BE CEMENT MORTAR LINED (DOUBLE THICKNESS)
- 5. ALL MECHANICAL JOINTS (VALVES, BENDS, CAPS, FITTINGS, ETC.) SHALL BE RESTRAINED WITH EBAA
- MEG-A-LUGS (SERIES 1100) OR APPROVED EQUAL. THE PROPOSED WATER MAIN SHALL BE OFFSET FIVE FEET FROM THE RIGHT OF WAY LINE
- THE PROPOSED WATER MAIN SHALL MAINTAIN 5 FEET OF COVER. IF LESS THAN 5 FEET OF COVER THE MAIN SHALL BE INSULATED WHERE THERE IS LESS THAN 4 FEET OF COVER.
- THE PROPOSED WATER MAIN SHALL BE A MINIMUM OF 4 FEET FROM DRAINAGE STRUCTURES SUCH AS MANHOLES AND CATCH BASINS.
- THE PROPOSED WATER MAIN SHALL BE A MINIMUM OF 5 FEET FROM UTILITY POLES.
- 10. THE WATER MAIN, FITTINGS, AND HYDRANT LATERALS SHALL BE POLYETHYLENE ENCASED WITH
- V-BIO WHEN INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE. 11. CONTRACTOR SHALL AVOID USING 90 DEGREE BENDS.
- 12. All PROPOSED RESIDENTIAL WATER SERVICES SHALL BE 1" COPPER TUBING AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF PEMBROKE DPW RULES AND REGULATIONS.
- 13. A TEMPORARY TAP/BLOW OFF IS REQUIRED IMMEDIATELY DOWNSTREAM OF THE PROPOSED TAPPING SLEEVE AND VALVE. A TAP SHALL BE INSTALLED WITHIN THE PROPOSED CUL-DE-SAC FOR

#### WATER SERVICE #70 OLD CART PATH LANE

- 1. THE LOCATION OF THE EXISTING WATER SERVICE IS BASED ON AS-BUILT NOTES PROVIDED BY PEMBROKE DPW AND IS TO BE CONSIDERED APPROXIMATE.
- 2. CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING WATER SERVICE #70 OLD CART
- PATH LANE PRIOR TO CONSTRUCTION. 3. CONTRACTOR TO COORDINATE LOCATION OF EXISTING WATER SERVICE WITH GRADY
- CONSULTING TO DETERMINE IF THERE ARE ANY CONFLICTS WITH PROPOSED DESIGN AND CONSTRUCTION SEQUENCE
- 4. CONTRACTOR SHALL RELOCATE THE EXISTING WATER SERVICE AS NEEDED TO PROVIDED TEMPORARY SERVICE DURING CONSTRUCTION.
- 5. AFTER INSTALLATION OF THE PROPOSED WATER MAIN AND NEW WATER SERVICE THE EXISTING WATER SERVICE SHALL BE ABANDONED BY CLOSING THE CORPORATION SO THAT THERE ARE NO OPEN ENDS.

| <i>,</i> , , , | NO THE CON | I ONATION 30                   |
|----------------|------------|--------------------------------|
|                |            | REVISIONS                      |
|                | 1/29/20    | DEP COMMENTS                   |
|                | 2/6/20     | REVIEW COMMENTS                |
|                | 4/6/20     | PLANNING/CONSERVATION/DPW COM. |
|                | 5/19/20    | PLANNING BOARD COMMENTS        |



#### PEMBROKE PLANNING BOARD

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DATE SIGNED: \_

DATE APPROVED:

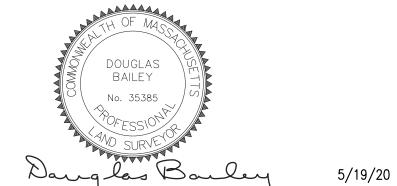
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DOUGLAS BAILEY P.L.S. #35385



# DEFINITIVE SUBDIVISION PLAN

OLD CART PATH LANE EXT.

(70 OLD CART PATH LANE) PEMBROKE, MASSACHUSETTS

PREPARED FOR: STEPHEN SAIA 70 OLD CART PATH LANE PEMBROKE, MA 02359

JANUARY 7, 2020 SCALE: AS SHOWN JOB No. 14-346

DATE



Civil Engineers, Land Surveyors & Landscape Architects

71 Evergreen Street, Suite 1, Kingston, MA 02364 Phone (781) 585-2300 Fax (781) 585-2378