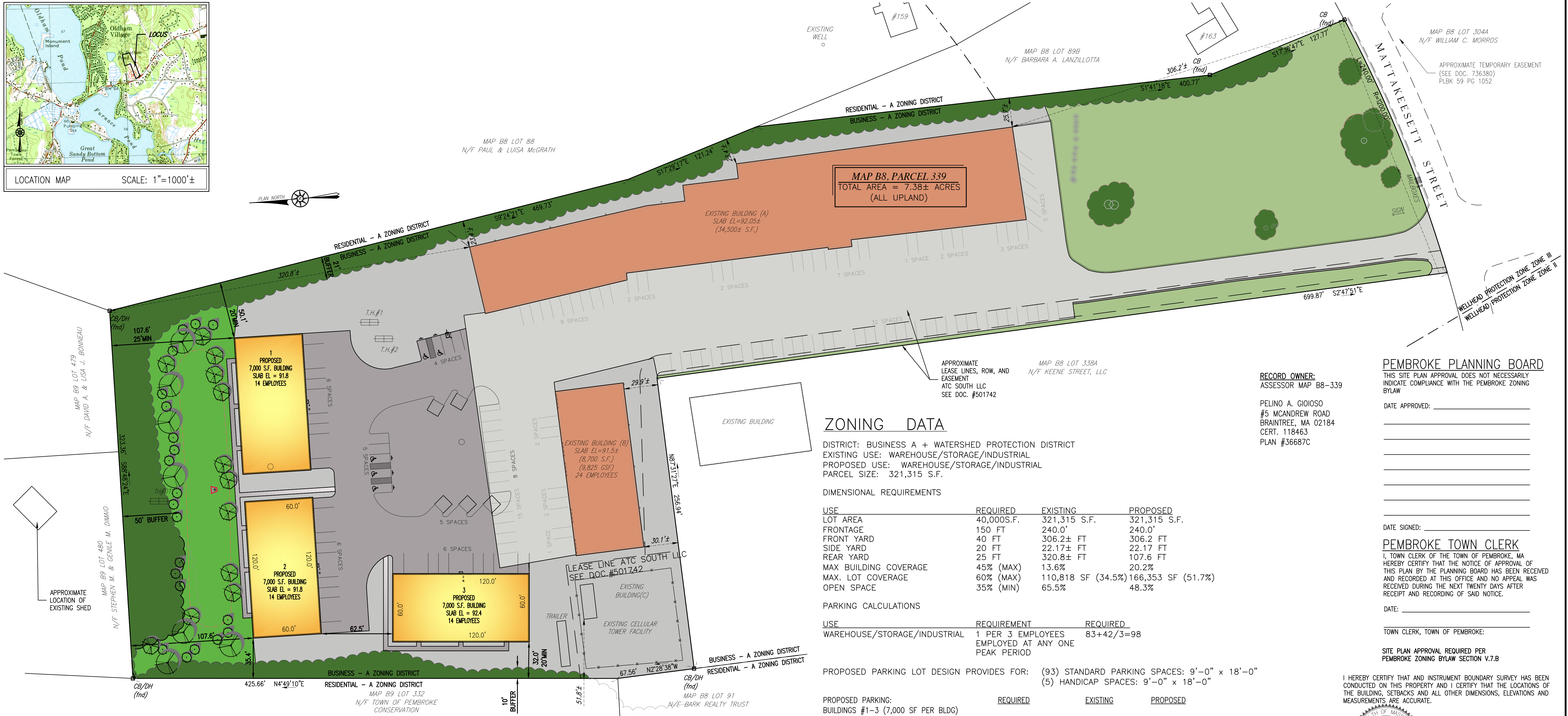
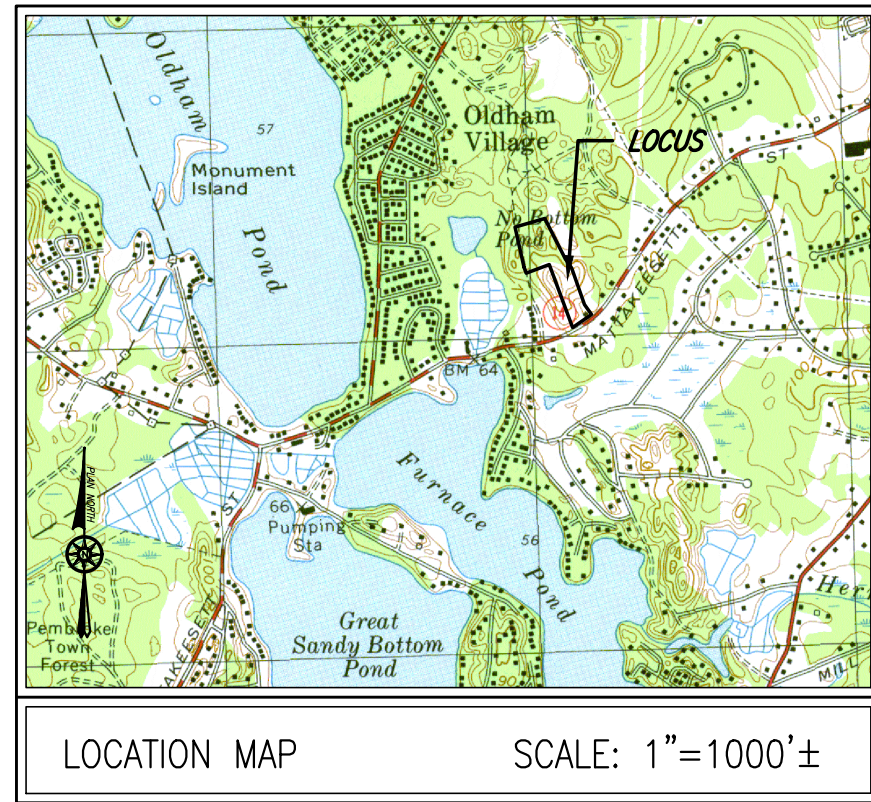




ZONING DATA

DISTRICT: BUSINESS A + WATERSHED PROTECTION DISTRICT
EXISTING USE: WAREHOUSE/STORAGE/INDUSTRIAL
PROPOSED USE: WAREHOUSE/STORAGE/INDUSTRIAL
PARCEL SIZE: 321,315 S.F.

DIMENSIONAL REQUIREMENTS

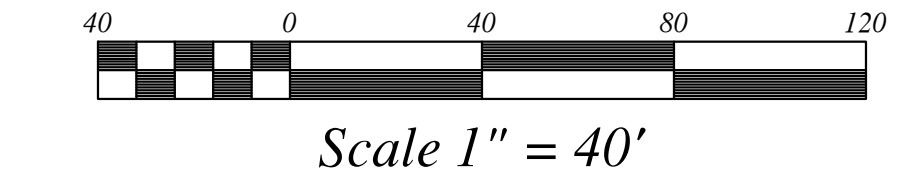
USE	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000S.F.	321,315 S.F.	321,315 S.F.
FRONTAGE	150 FT	240.0'	240.0'
FRONT YARD	40 FT	306.2± FT	306.2 FT
SIDE YARD	20 FT	22.17± FT	22.17 FT
REAR YARD	25 FT	320.8± FT	107.6 FT
MAX BUILDING COVERAGE	45% (MAX)	13.6%	20.2%
MAX. LOT COVERAGE	60% (MAX)	110,818 SF (34.5%)	166,353 SF (51.7%)
OPEN SPACE	35% (MIN)	65.5%	48.3%

PARKING CALCULATIONS

USE	REQUIREMENT	REQUIRED
WAREHOUSE/STORAGE/INDUSTRIAL	1 PER 3 EMPLOYEES EMPLOYED AT ANY ONE PEAK PERIOD	83+42/3=98

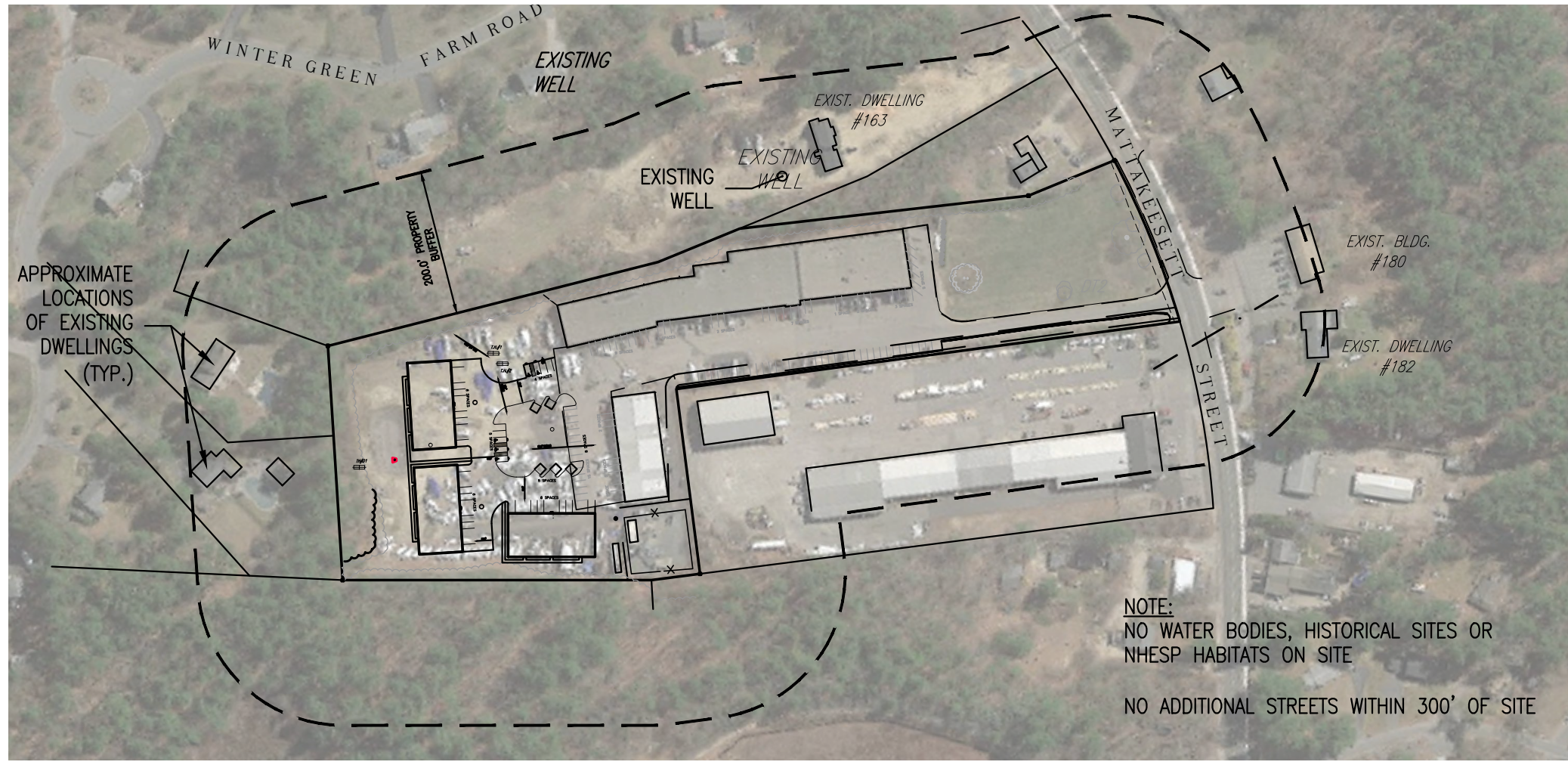
PROPOSED PARKING LOT DESIGN PROVIDES FOR: (93) STANDARD PARKING SPACES: 9'-0" x 18'-0"
(5) HANDICAP SPACES: 9'-0" x 18'-0"

PROPOSED PARKING:	REQUIRED	EXISTING	PROPOSED
BUILDINGS #1-3 (7,000 SF PER BLDG)			
WAREHOUSE 21,000 SF (1 SP/3 EMPLOYEES)	= 15 SPACES	N/A	27 SPACES
EXISTING BUILDING A,B&C		83 SPACES	76 (7 SPACES REMOVED)
TOTALS			103 SPACES (INCLUDING HANDICAP)



WAIVER REQUESTS

- 5.1.2 THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENT OF A THREE (3) FOOT WIDE LANDSCAPE STRIP ALONG FOUNDATION WALLS TO BE CONSISTENT WITH THE REST OF THE SITE.
- 5.1.5 THE APPLICANT REQUESTS A WAIVER TO THE REQUIREMENT OF FIVE (5) PERCENT OF PARKING AREA AS MAINTAINED LANDSCAPING (WITHIN THE INTERIOR OF THE PARKING AREA). THERE ARE NO INTERIOR ISLANDS DUE TO EXISTING USE.
- 5.1.6 THE APPLICANT REQUESTS A WAIVER FROM SECTION 5.1.5, LANDSCAPED BUFFER STRIP WITH A MINIMUM WIDTH OF 50 FEET FROM THE EAST AND WEST PROPERTY LINES.
- 5.3.2.9 THE APPLICANT REQUESTS A WAIVER TO THE REQUIREMENT OF GROUND INFILTRATION BY MEANS OF LEACHING PITS. AN OPEN BASIN AND STORAGE CHAMBERS WERE USED TO MAXIMIZE THE PROPOSED SITES USE OF STORAGE.
- 5.6.2 THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENT OF CURBING TO BE PLACED AT THE EDGES OF ALL PAVED SURFACES. CURBING WAS USED IN AREAS TO DIRECT RUNOFF INTO PROPOSED DRAIN INLETS. CURBING AROUND THE REST OF THE PAVED EDGES WOULD BE PROHIBITIVE TO THE SITES CURRENT USE.



LOCUS - 200' PROPERTY BUFFER
1"=200'

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BYLAW

DATE APPROVED: _____

DATE SIGNED: _____

PEMBROKE TOWN CLERK

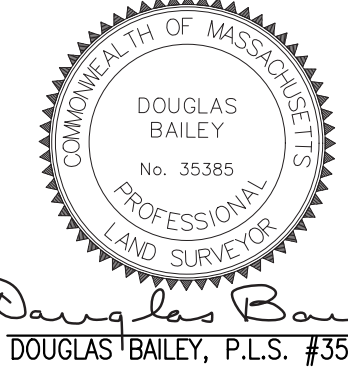
I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE: _____

TOWN CLERK, TOWN OF PEMBROKE: _____

SITE PLAN APPROVAL REQUIRED PER PEMBROKE ZONING BYLAW SECTION V.7.B

I HEREBY CERTIFY THAT AND INSTRUMENT BOUNDARY SURVEY HAS BEEN CONDUCTED ON THIS PROPERTY AND I CERTIFY THAT THE LOCATIONS OF THE BUILDING, SETBACKS AND ALL OTHER DIMENSIONS, ELEVATIONS AND MEASUREMENTS ARE ACCURATE.



Douglas Bailey
DOUGLAS BAILEY, P.L.S., #35385

SITE PLAN

#171 MATTAKESETT STREET
PEMBROKE, MASSACHUSETTS

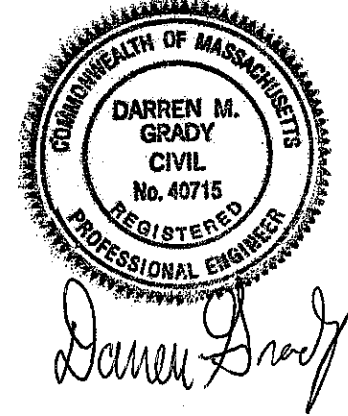
PREPARED FOR:
171 MATTAKESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=40'
JOB No. 18-181



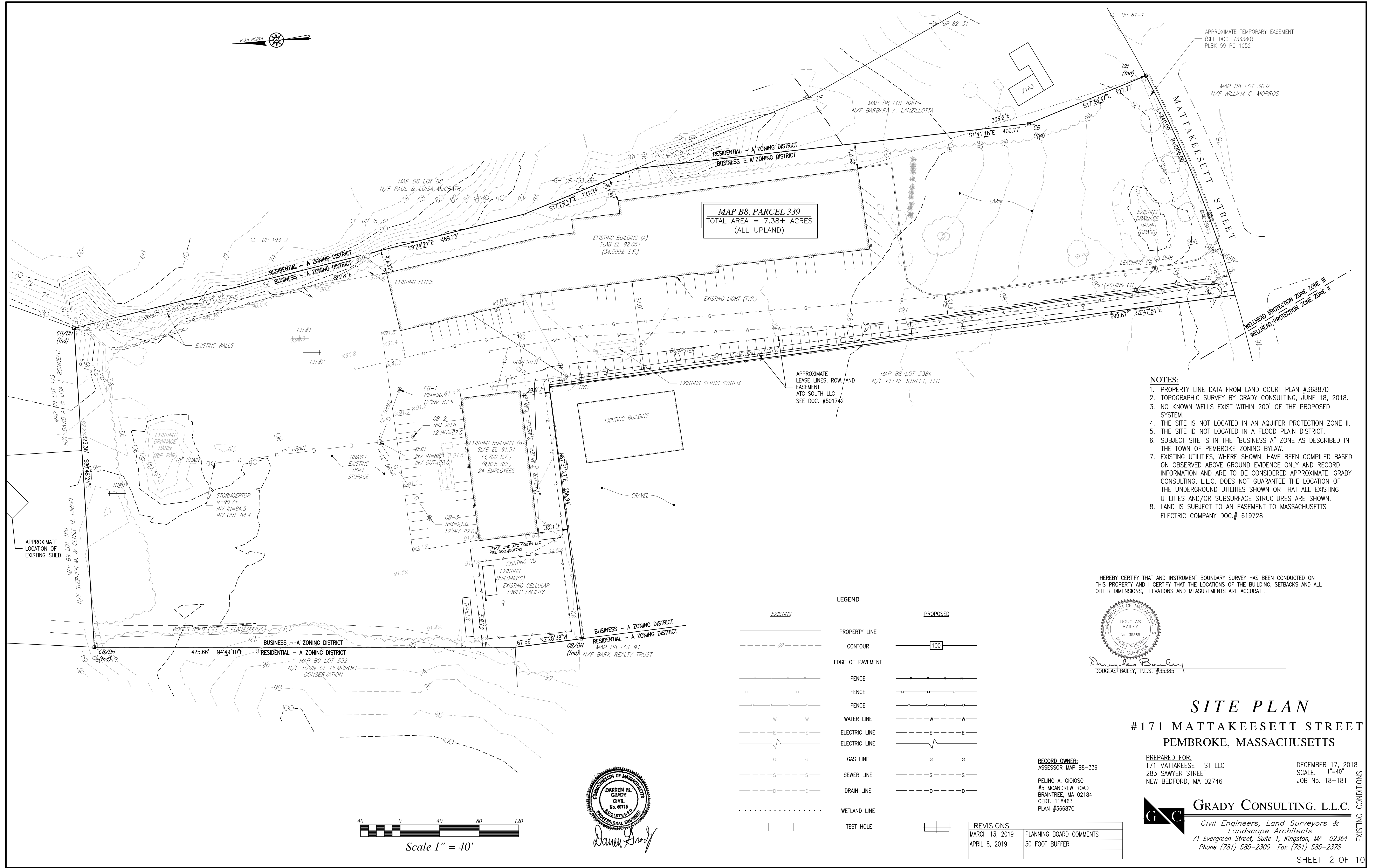
GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



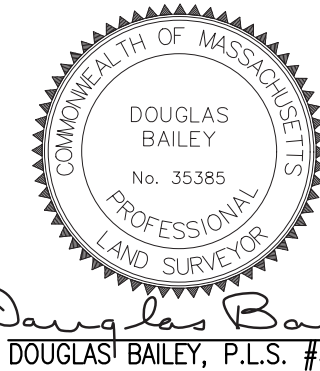
— SHEET INDEX —	
SHEET 1	COVER
SHEET 2	EXISTING CONDITIONS
SHEET 3	SITE PLAN
SHEET 4	LANDSCAPE PLAN
SHEET 5	LIGHTING AND TURN RADIUS
SHEET 6	DETAILS
SHEET 7	DETAILS (SEPTIC)
SHEET 8	DETAILS (STORMWATER & LANDSCAPE)
SHEET 9	STORMWATER PRE-DEVELOPMENT
SHEET 10	STORMWATER POST-DEVELOPMENT

COVER



- NOTES:
1. PROPERTY LINE DATA FROM LAND COURT PLAN #36887D
 2. TOPOGRAPHIC SURVEY BY GRADY CONSULTING, JUNE 18, 2018.
 3. NO KNOWN WELLS EXIST WITHIN 200' OF THE PROPOSED SYSTEM.
 4. THE SITE IS NOT LOCATED IN AN AQUIFER PROTECTION ZONE II.
 5. THE SITE IS NOT LOCATED IN A FLOOD PLAIN DISTRICT.
 6. SUBJECT SITE IS IN THE "BUSINESS A" ZONE AS DESCRIBED IN THE TOWN OF PEMBROKE ZONING BYLAW.
 7. EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY AND RECORD INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. GRADY CONSULTING, L.L.C. DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
 8. LAND IS SUBJECT TO AN EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY DOC.# 619728

I HEREBY CERTIFY THAT AN INSTRUMENT BOUNDARY SURVEY HAS BEEN CONDUCTED ON THIS PROPERTY AND I CERTIFY THAT THE LOCATIONS OF THE BUILDING, SETBACKS AND ALL OTHER DIMENSIONS, ELEVATIONS AND MEASUREMENTS ARE ACCURATE.



SITE PLAN

#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

RECORD OWNER:
ASSESSOR MAP B8-339

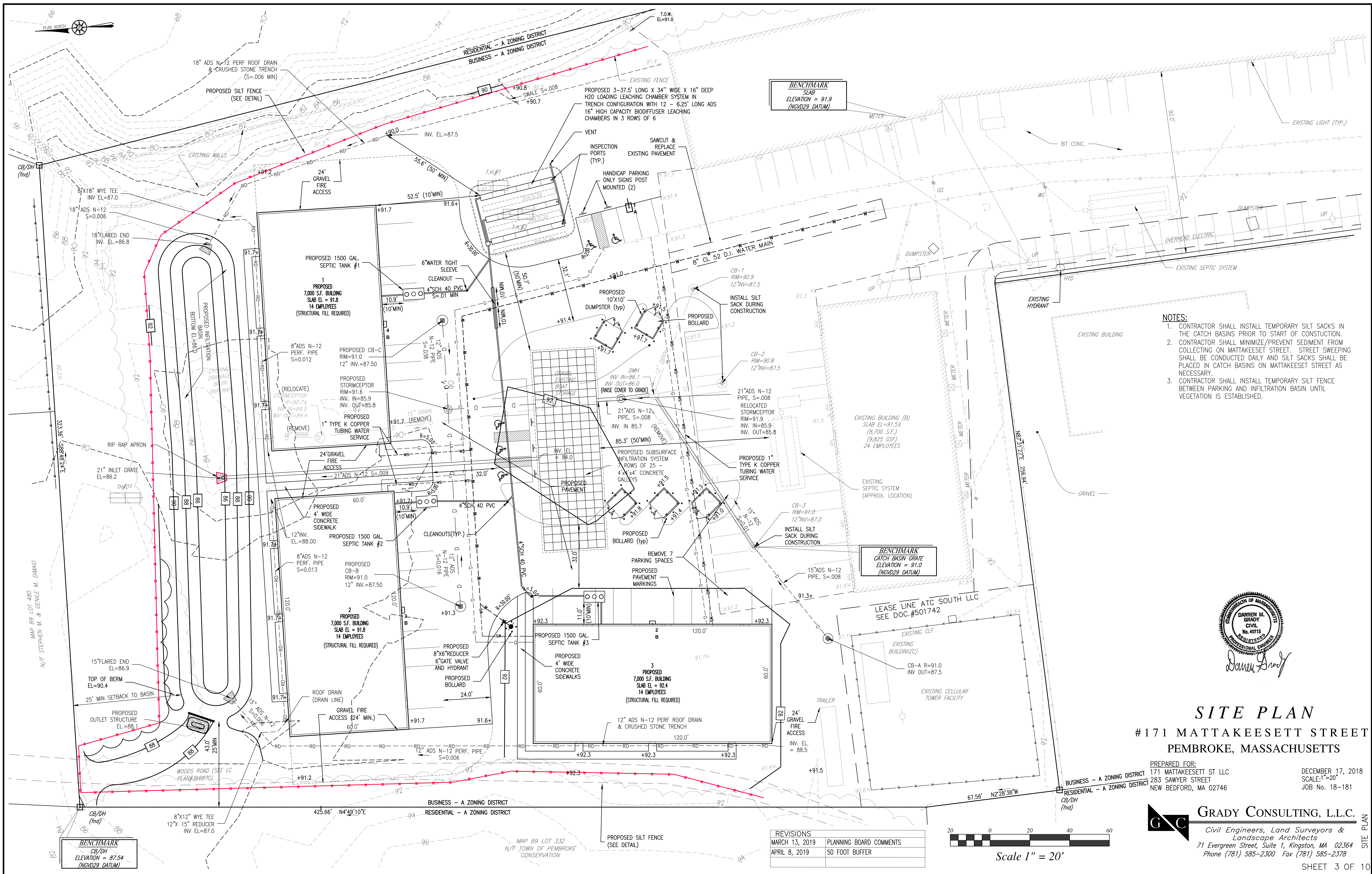
PELINO A. GIOIOSO
#5 MCANDREW ROAD
BRAintree, MA 02184
CERT. 118463
PLAN #36687C

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

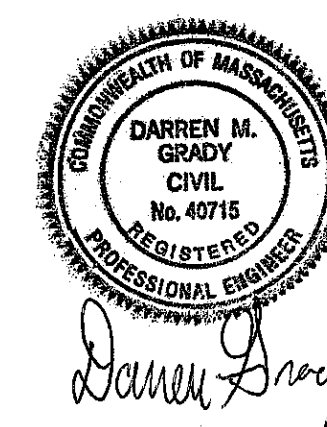
DECEMBER 17, 2018
SCALE: 1"=40'
JOB No. 18-181

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

REVISIONS	
MARCH 13, 2019	PLANNING BOARD COMMENTS
APRIL 8, 2019	50 FOOT BUFFER



- NOTES:**
1. CONTRACTOR SHALL INSTALL TEMPORARY SILT SACKS IN THE CATCH BASINS PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MINIMIZE/PREVENT SEDIMENT FROM COLLECTING ON MATTAKEESETT STREET. STREET SWEEPING SHALL BE CONDUCTED DAILY AND SILT SACKS SHALL BE PLACED IN CATCH BASINS ON MATTAKEESETT STREET AS NECESSARY.
 3. CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCE BETWEEN PARKING AND INFILTRATION BASIN UNTIL VEGETATION IS ESTABLISHED.



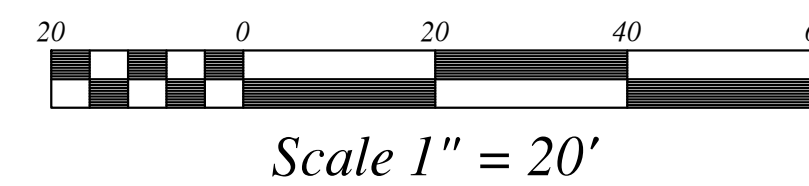
SITE PLAN
#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=20'
JOB No. 18-181

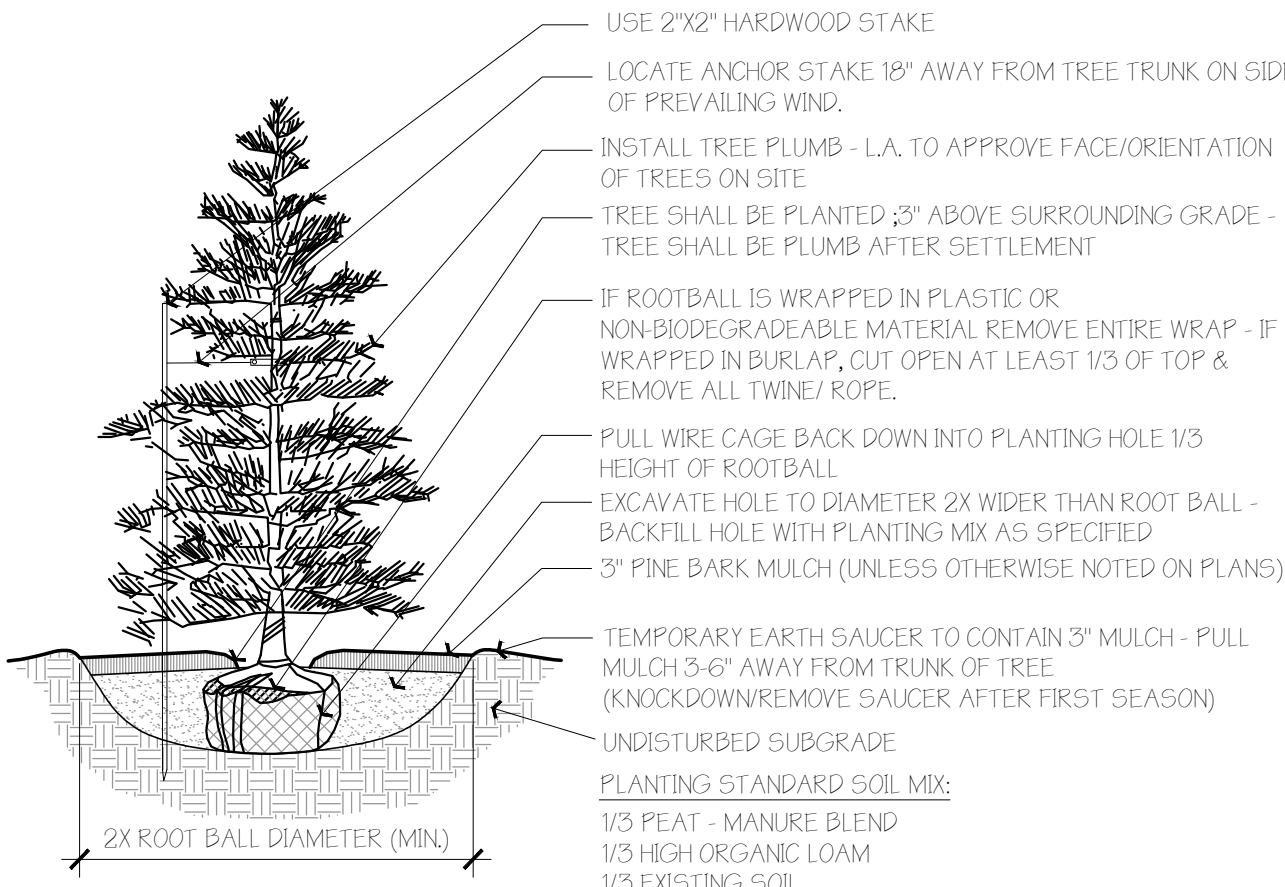
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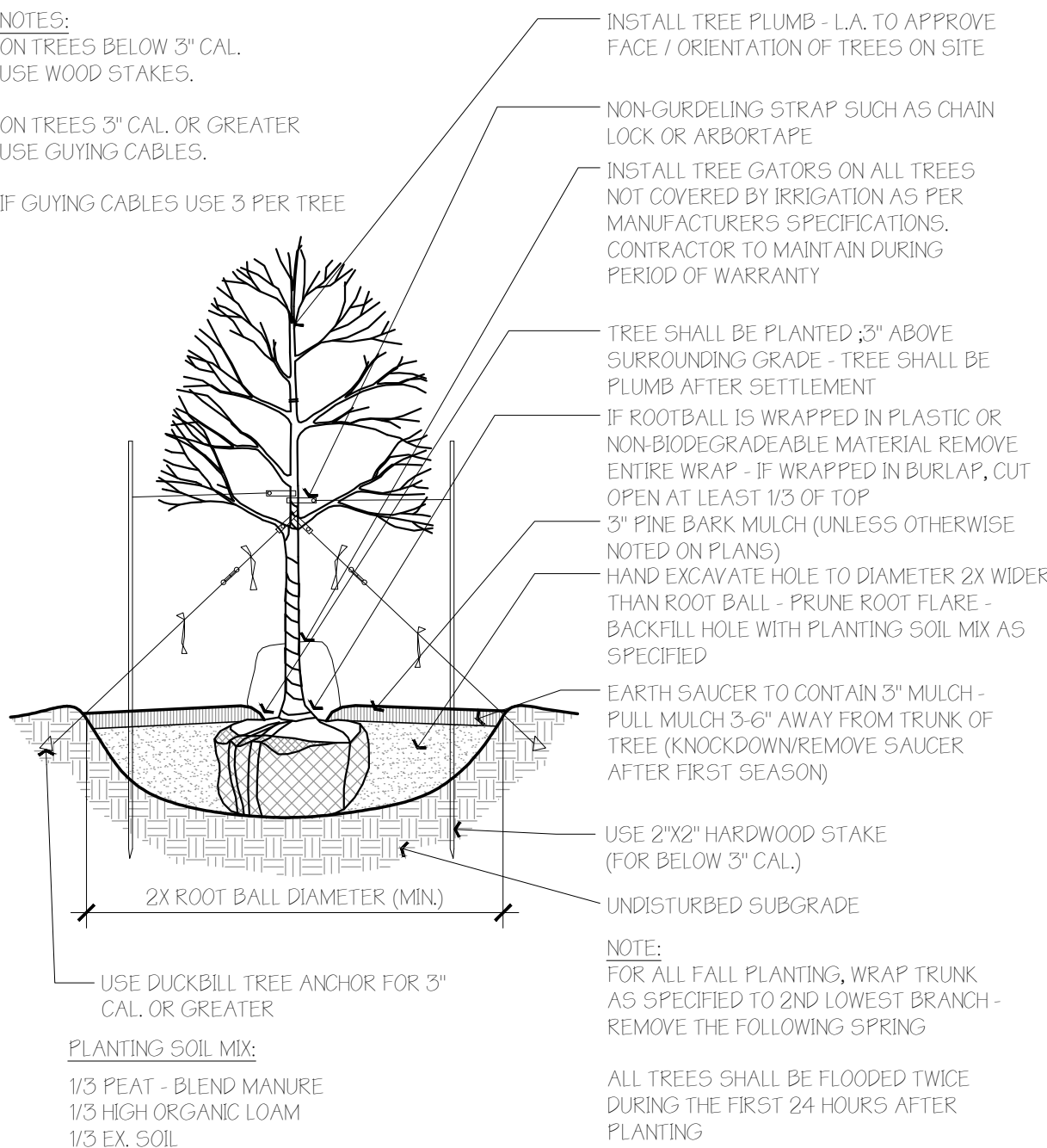


PLANT SCHEDULE

CLUMP TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
BET NIG	12	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	B & B		10-12' HGT.
DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
ACE RUB	7	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	B & B	3" CAL.	
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
PIN STR	21	PINUS STROBUS / WHITE PINE	B & B		6-7' HGT.



EVERGREEN TREE DETAIL



SHADE / FLOWERING TREE DETAIL

SITE PLAN

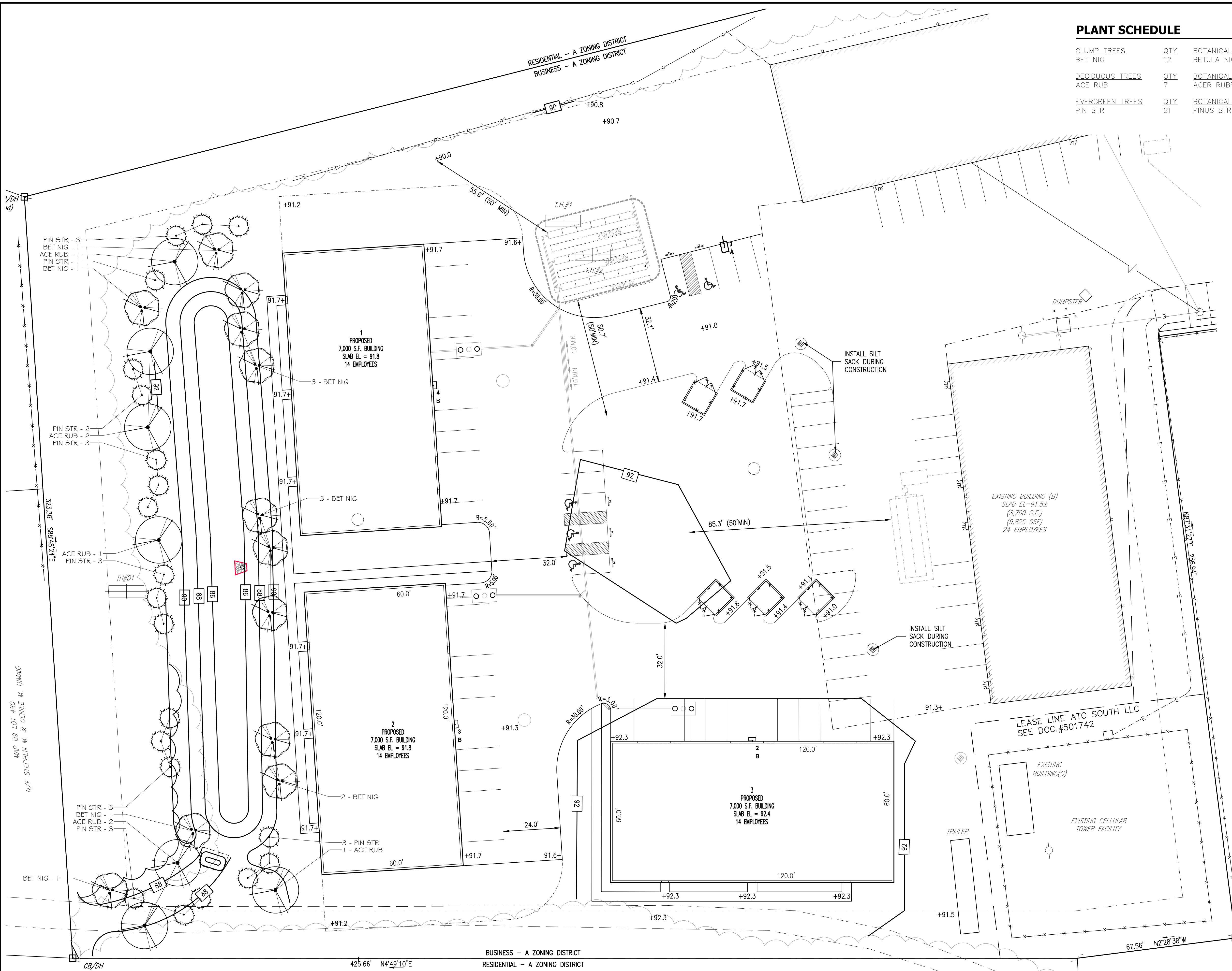
#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

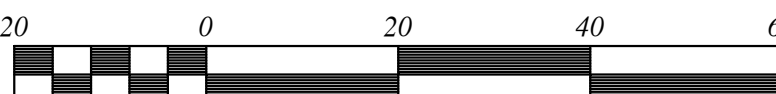
DECEMBER 17, 2018
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REVISIONS	PLANNING BOARD COMMENTS
MARCH 13, 2019	
APRIL 8, 2019	50 FOOT BUFFER



Scale 1" = 20'

TECHLIGHT
LSMT SERIES
High Lumen Output Scintilar LED Area Light

FEATURES & SPECIFICATIONS

ORDERING INFORMATION

ACCESSORIES

NOTES

WJM SQUARE STRAIGHT ALUMINUM (SA)

POLE SHAFT

BASE PLATE

HANDHOLE

ANCHOR BOLT

FINISH

SA-4000730-F-DM16-BC

DESCRIPTION	QUANTITY	UNIT
SA-4000730-F-DM16-BC	1	EA

TECHLIGHT
LSMT High Lumen Output Scintilar LED Area Light

AVAILABLE FIXTURE DIMENSIONS

FIXTURE & MOUNTING ACCESSORIES

SPR RATINGS (N/C)

TECHLIGHT
LHMWP Medium Heat Sink LED Wall Pack

FEATURES & SPECIFICATIONS

ORDERING INFORMATION

ACCESSORIES

NOTES

TECHLIGHT
LSMT High Lumen Output Scintilar LED Area Light

PHOTOMETRICS

LUMINAIRE CHARACTERISTICS

TECHLIGHT
LHMWP Medium Heat Sink LED Wall Pack

AVAILABLE FIXTURE DIMENSIONS

ADDITIONAL FIXTURE ACCESSORIES

PHOTOMETRICS

LUMINAIRE CHARACTERISTICS

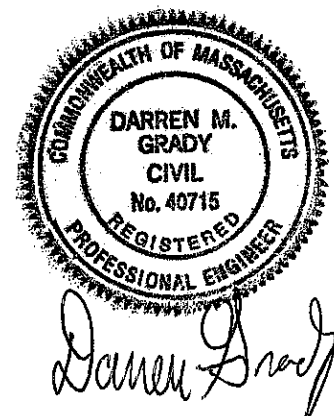
- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

Luminaire Location Summary				
LumNo	Label	Z	Tilt	
1	A	20	0	
2	B	18	0	
3	B	18	0	
4	B	18	0	

Luminaire Schedule					
Symbol	Qty	Label	Lumens/Lamp	Arrangement	LLF Description
	1	A	N.A.	SINGLE	0.900 LSBT-4-N-8-T3-F-FOUR BRICK TYPE 3 1400MA LED
	3	B	N.A.	SINGLE	0.900 LHMWP-1-N-M-T3-D-ONE BRICK TYPE 3 1050MA LED WALL PACK

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
SITE	Illuminance	Fc	0.25	11.2	0.0	N.A. N.A.
PARKING AND DRIVE	Illuminance	Fc	1.50	11.2	0.0	N.A. N.A.

Notes:
1. Calculation at grade.
2. Based on 20' AFG pole mntg and 18' AFG bldg mnt.



SITE PLAN

#171 MATTAKEESETT STREET

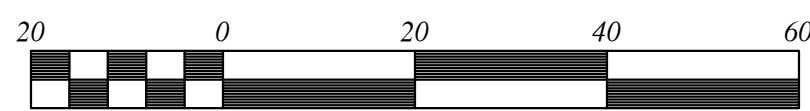
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=20'
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REVISIONS	
MARCH 13, 2019	PLANNING BOARD COMMENTS
APRIL 8, 2019	50 FOOT BUFFER



Scale 1" = 20'

LIGHTING AND TURNING RADIUS

23.00: PARKING AND PASSENGER LOADING ZONES

23.4.6 Access aisles: All accessible spaces shall have access aisles that comply with the following:

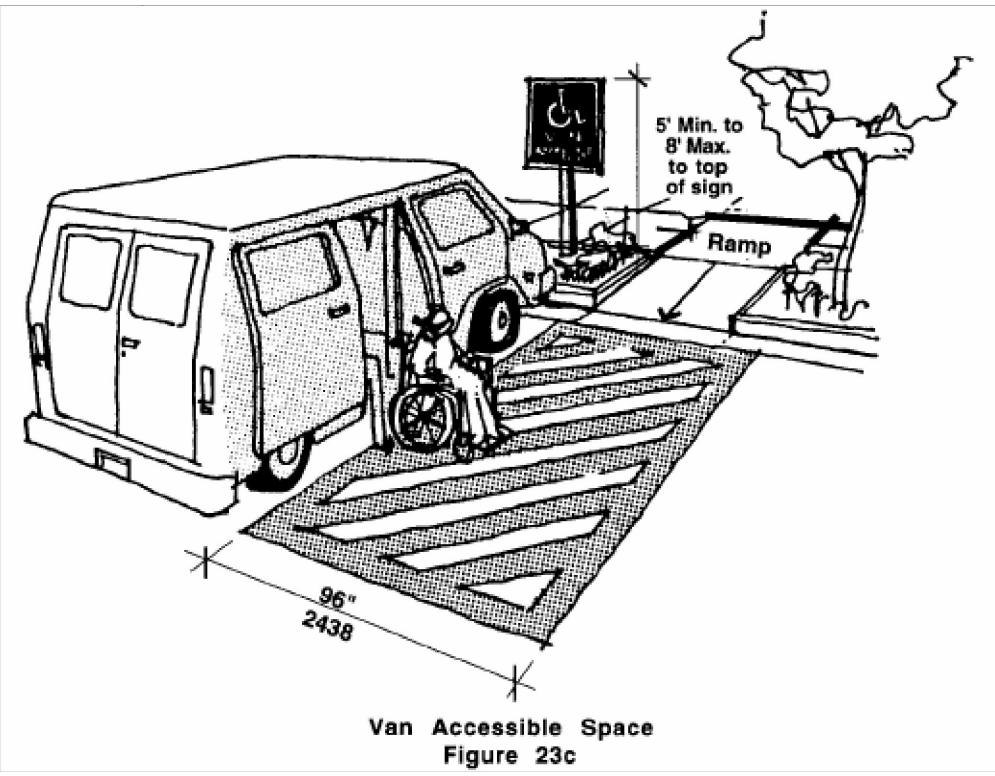
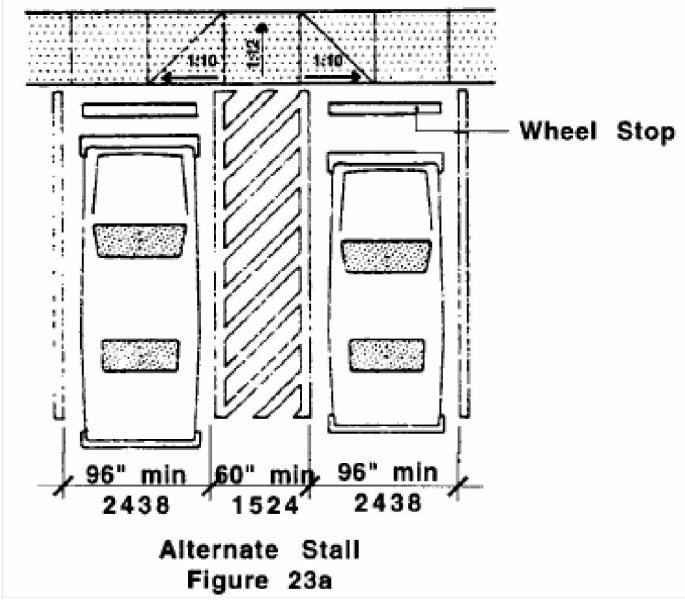
- a. Parking access aisles shall be part of an accessible route to the building or facility entrance and shall comply with 521 CMR 20.00: ACCESSIBLE ROUTE.

Exception: For temporary accessible parking, directional signage along the entire accessible route, using the international symbol of accessibility and an arrow, shall be used to direct people to the closest accessible entrance.

- b. Access aisles adjacent to accessible spaces shall be five feet (5' = 1524mm) wide minimum, except adjacent to van accessible spaces the access aisle shall be a minimum of eight feet (8' = 2438mm) wide.

Exception: When temporary accessible parking is located within a field or otherwise unpaved site, when such area has not been improved in accordance with 521 CMR, the spaces shall be located on the least sloping area of the parking lot in conjunction with the temporary accessible parking spaces.

- c. Two accessible parking spaces may share a common access aisle. See Fig. 23a and 23b.



- b. Each space shall have a sign designating it "Van Accessible" as required by 521 CMR 23.6, Signage.
- c. All such spaces may be grouped on one level of a parking structure.
- d. Eight foot minimum (8' = 2438mm) wide space.
- e. Provide an access aisle of eight feet (8' = 2438mm).

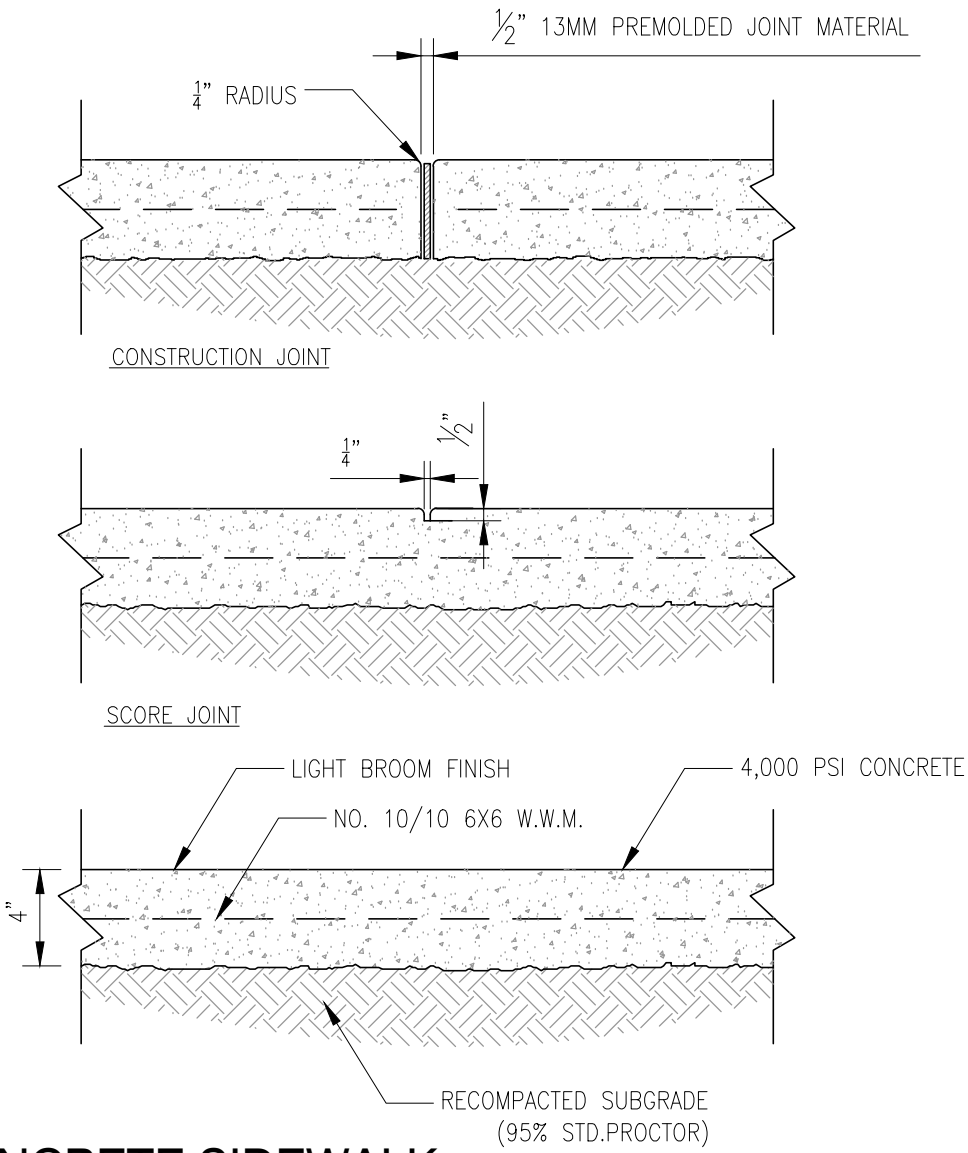
ACCESSIBILITY LOADING ZONE

(NOT TO SCALE)

- d. Access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions.
- e. Access aisles shall be clearly marked by means of diagonal stripes.

23.4.7 Van Accessible spaces shall comply with the following:

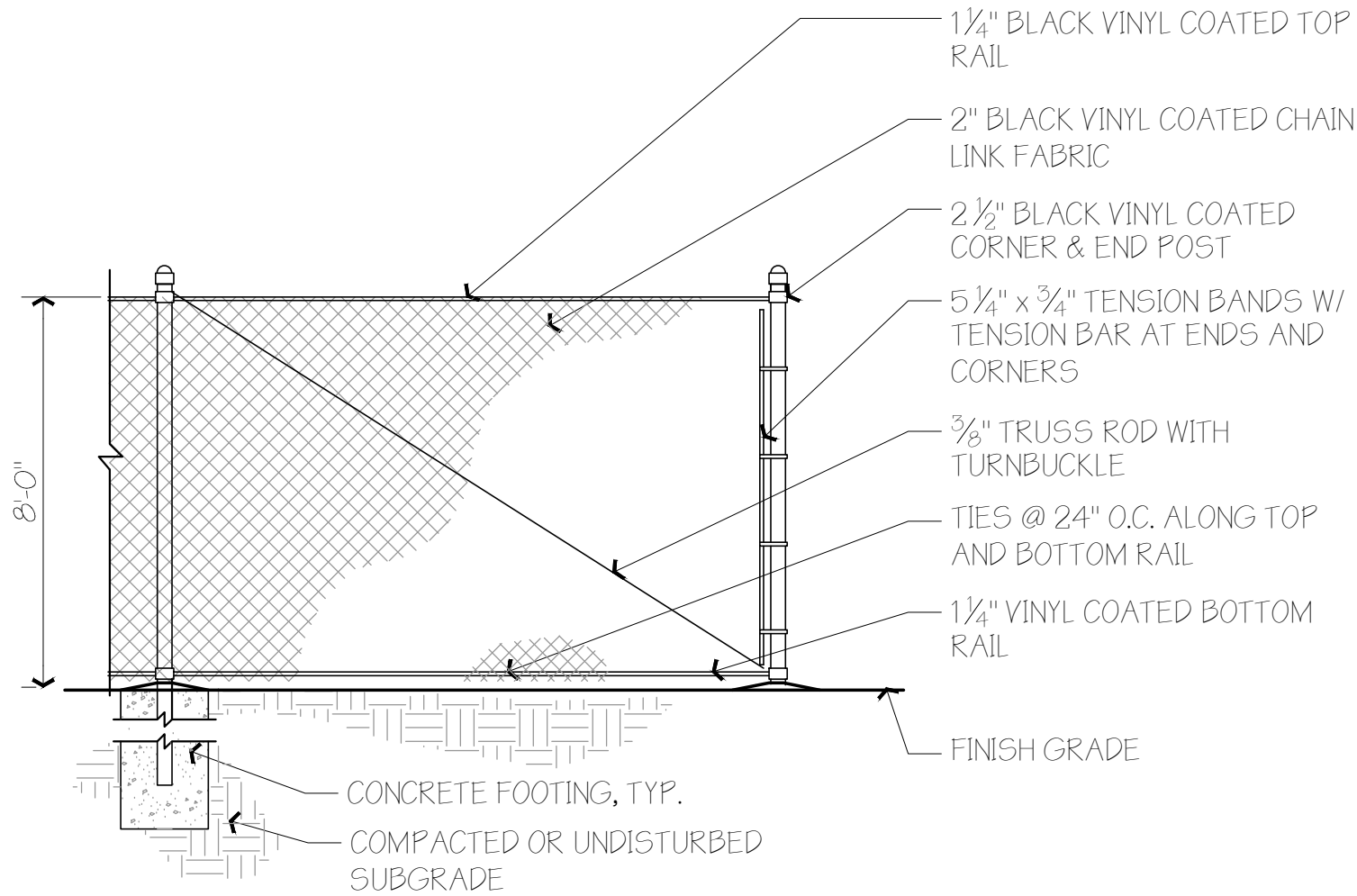
- a. Provide minimum vertical clearance of eight feet, two inches (8'2" = 2489mm) at the parking space and along at least one vehicle access route to such spaces from site entrance(s) and exit(s). See Fig. 23c.



CONCRETE SIDEWALK

1 1/2" = 1'-0"

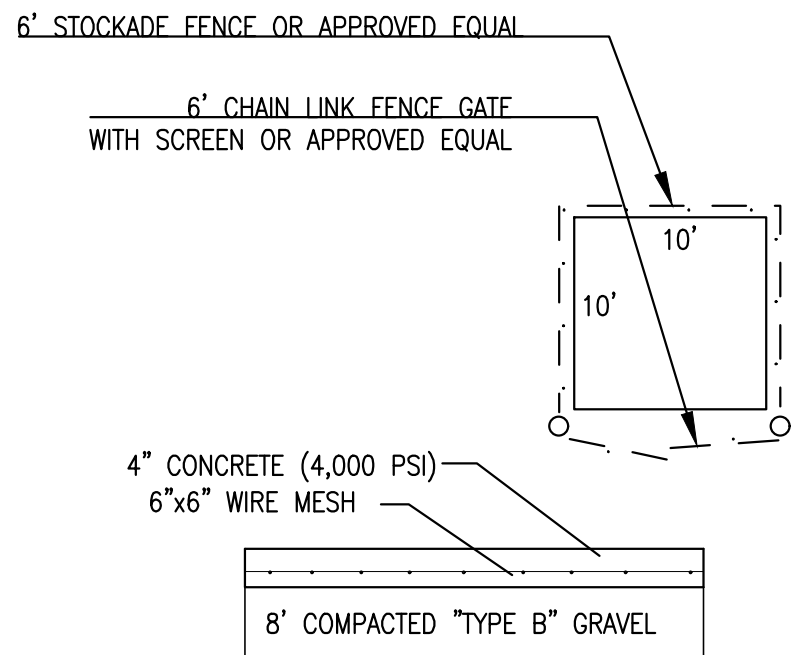
32 1313.02-01



CHAIN LINK FENCE DETAIL

NT.5.

32 3113.02-01



DUMPSTER & ENCLOSURE DETAIL

(NOT TO SCALE)

CONSTRUCTION NOTES

GENERAL:

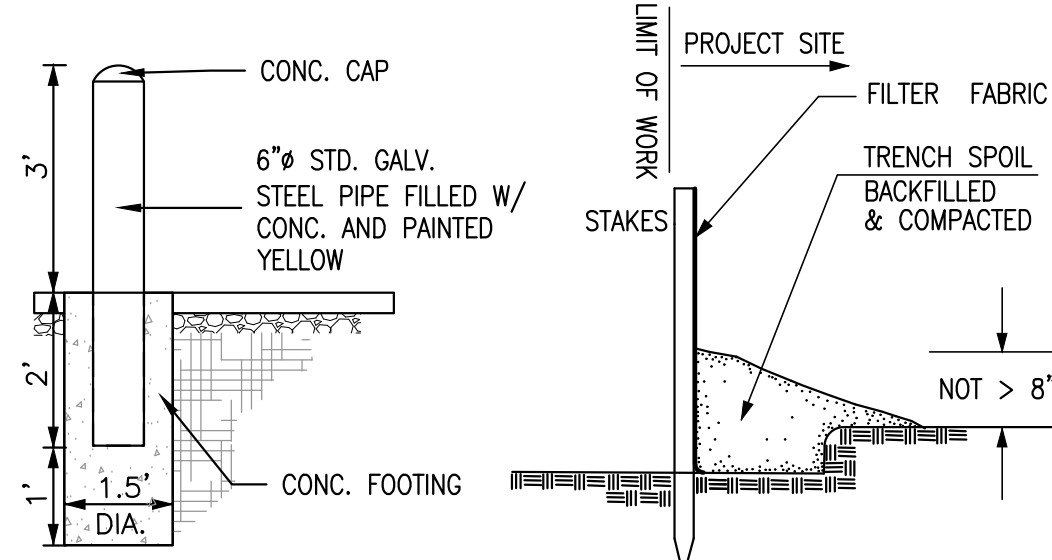
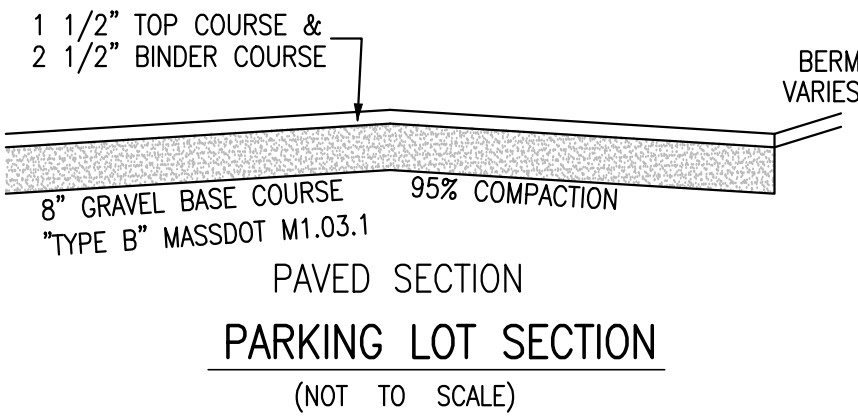
1. TOPOGRAPHIC SURVEY BY GRADY CONSULTING. L.L.C. JUNE 2018.
2. REFERENCE: ASSESSORS MAP 8 LOT 18, 44.
3. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES.
5. CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7233) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION.
6. UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE DEPARTMENT OR COMPANY. THE CONTRACTOR SHALL NOTIFY THE PEMBROKE D.P.W. AT LEAST 4 DAYS PRIOR TO CONSTRUCTION OF DRAINAGE & WATER SYSTEMS.
7. ALL STUMPS SHALL BE DISPOSED OFF SITE.
8. CONTRACTOR SHALL CONTROL DUST FROM CONSTRUCTION OPERATIONS WITH A WATERING TRUCK OR OTHER APPROVED METHODS

DRAINAGE SYSTEM NOTES:

1. CONTACT THE DESIGN ENGINEER FOR APPROVAL OF ANY CONSTRUCTION PHASE CHANGES.
2. CONTRACTOR TO AVOID SOILS COMPACTION WITHIN DRAINAGE SYSTEM AREA. CONTRACTOR SHOULD AVOID MACHINERY OR VEHICLE USE OVER STORM WATER SYSTEMS.

CONSTRUCTION SEQUENCE:

STAKE LIMIT OF WORK AND SILT SACK
INSTALL SILT SACK EROSION CONTROL
CLEAR AND GRUB SITE AREAS
BRING CUT AREAS TO SUBGRADE
STAKE BUILDINGS, PARKING LOT & DRAINAGE BASIN LOCATION
PLACE FILL MATERIAL TO BASE COURSE
INSTALL DRAINAGE STRUCTURES
COMPLETE FINISH GRADING
INSTALL/RAISE MANHOLE STRUCTURES (DRAIN, SEWER) TO FINISH GRADE
LOAM & SEED DISTURBED AREAS, MULCH AND PLANT LANDSCAPE AREAS
INSTALL FINISH PAVEMENT COAT
SCHEDULE FINAL SITE INSPECTION FOR CERTIFICATION
REMOVE SEDIMENT CONTROLS

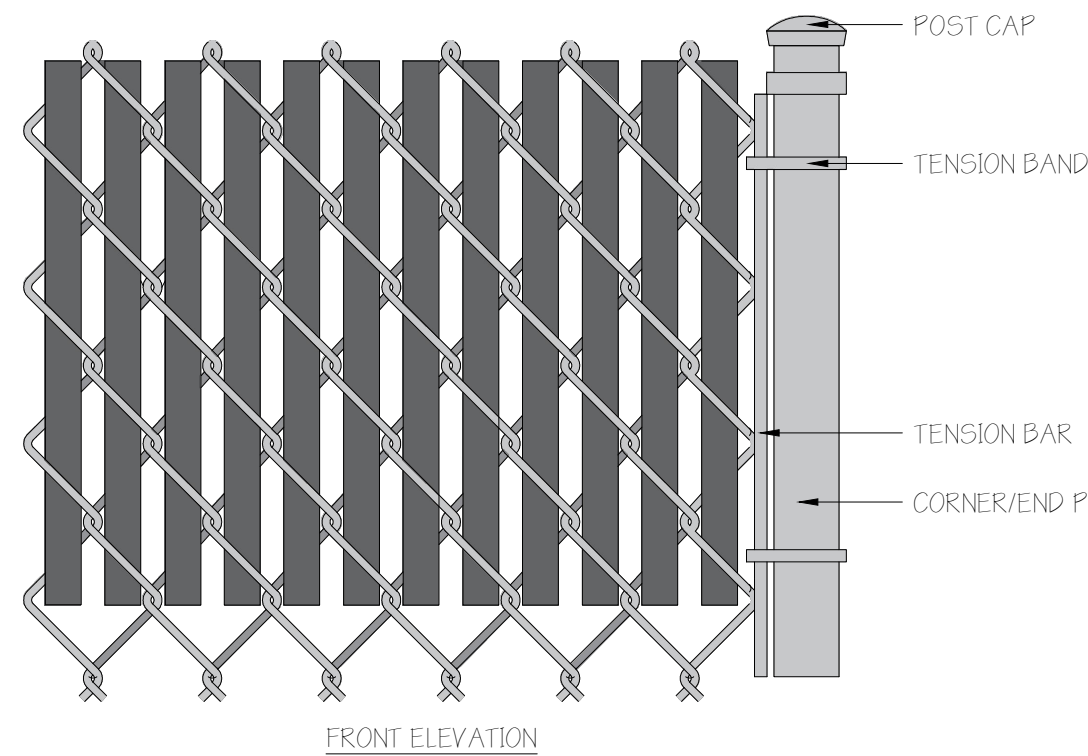


BOLLARD DETAIL

NOT TO SCALE

SILT FENCE

(NOT TO SCALE)



- ☒ SELECT DESIRED SLAT COLOR:
- ☐ BEIGE ☐ FOREST GREEN ☐ REDWOOD ☒ DARK BROWN ☐ BLACK ☐ ROYAL BLUE ☐ WHITE ☐ SKY BLUE ☐ GRAY
- ☒ SELECT DESIRED CHAIN LINK WIRE COLOR:
- ☐ BEIGE ☐ FOREST GREEN ☐ REDWOOD ☒ DARK BROWN ☐ BLACK ☐ GRAY ☐ WHITE ☐ GALVANIZED

CHAINLINK FENCE VINYL SLAT DETAIL

NT.5.

32 3113.06-01

PLANTING NOTES

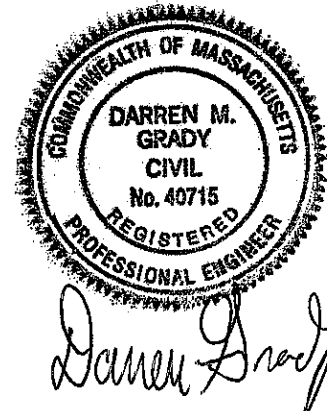
- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION
- 2) ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER SETTLEMENT AS TO THEIR ORIGINAL GRADE BEFORE DIGGING. LOCATE PLANT COLLAR TWO OR THREE INCHES HIGHER THAN PLANTING SOIL MIX TO INSURE CORRECT FINAL RELATIONSHIP.
- 3) APPLY AN APPROVED ANTI-DESSICANT TO ALL PLANTS IN LEAF AT PLANTING TIME, AND TO ALL EVERGREENS BEFORE THEIR FIRST WINTER.
- 4) FLOOD ALL PLANTS WITH CLEAN WATER TWICE IN THE FIRST 24 HOURS AFTER PLANTING. CONTRACTOR TO ARRANGE FOR ALL PLANTS TO BE PLANTED WITHIN THREE DAYS AFTER DELIVERY TO THE SITE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 5) NEVER CUT A LEADER.
- 6) TRIM ONLY BROKEN OR DEAD BRANCHES FROM EVERGREEN PLANTS.
- 7) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- 8) ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- 9) ALL TREES SHALL HAVE "BEST FACE" SIDE TAGGED AT NURSERY PRIOR TO DIGGING.
- 10) ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 11) CONTRACTOR TO STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- 12) LANDSCAPE ARCHITECT TO APPROVE IN PLACE ALL SHRUBS, PERENNIALS AND VINES PRIOR TO PLANTING.
- 13) ALL TREES TO RECEIVE A MINIMUM OF THREE INCHES OF MULCH. ALL SHRUBS, VINES AND GROUND COVERS TO RECEIVE A MINIMUM OF TWO INCHES OF MULCH.
- 14) WHERE SPECIFIED, CALIPER SIZE TO BE OVERRIDING FACTOR IN TREE SELECTION.
- 15) STAKE OR GUY ALL TREES AND LARGE EVERGREEN MATERIAL.
- 16) CONTRACTOR TO PROVIDE TWO YEAR GUARANTEE ON ALL MATERIAL. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO BEGIN AT FINAL ACCEPTANCE.
- 17) ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO FINAL TOP-DRESSING AND SODDING/SEEDING.
- 18) COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM & LANDSCAPE LIGHTING (IF APPLICABLE).
- 19) NO PLANTING BEFORE THE ACCEPTANCE OF ROUGH GRADING.
- 20) CONTRACTOR TO PROVIDE SOIL TESTS IN AREAS DESIGNATED BY LANDSCAPE ARCHITECT IN FIELD FOR EXISTING SOILS TO DETERMINE APPROPRIATE SOIL AMENDMENTS PRIOR TO THE DISTURBANCE OF SITE.
- 21) ALL PLANTING BEDS TO BE TREATED WITH PREEN AND GREEN OR APPROVED EQUAL TO PROHIBIT WEED GERMINATION AND GROWTH PRIOR TO THE SPREADING OF MULCH.
- 22) ALL PERENNIALS ARE TO BE PLANTED INTO DAMP SOIL.
- 23) PLANT LIST: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANTS IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. WHEN MULTIPLE PLANT SPECIES ARE LISTED IN ONE PLANT CATEGORY, THE GOAL IS TO PROVIDE THE BEST PLANTS AVAILABLE AT THE TIME OF INSTALLATION. THE LANDSCAPE ARCHITECT SHALL SELECT OR COORDINATE THE SELECTION OF THE APPROPRIATE PLANTS AT LOCAL NURSERIES. GRADY CONSULTING HAS THE RIGHT TO REJECT ANY PLANT THAT DOES NOT MEET THE SPECIFICATIONS LISTED IN THE PLANT TABLE.
- 24) PLANT SUBSTITUTION ARE NOT ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- 25) ALL DISTURBED AREAS TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS (REFER TO ENGINEER'S SOIL STABILIZATION AND EROSION CONTROL PLAN FOR FURTHER INFORMATION).
- 26) CONTRACTOR SHALL (IF APPLICABLE) REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM).

SITE PLAN

#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE AS NOTED
JOB No. 18-181



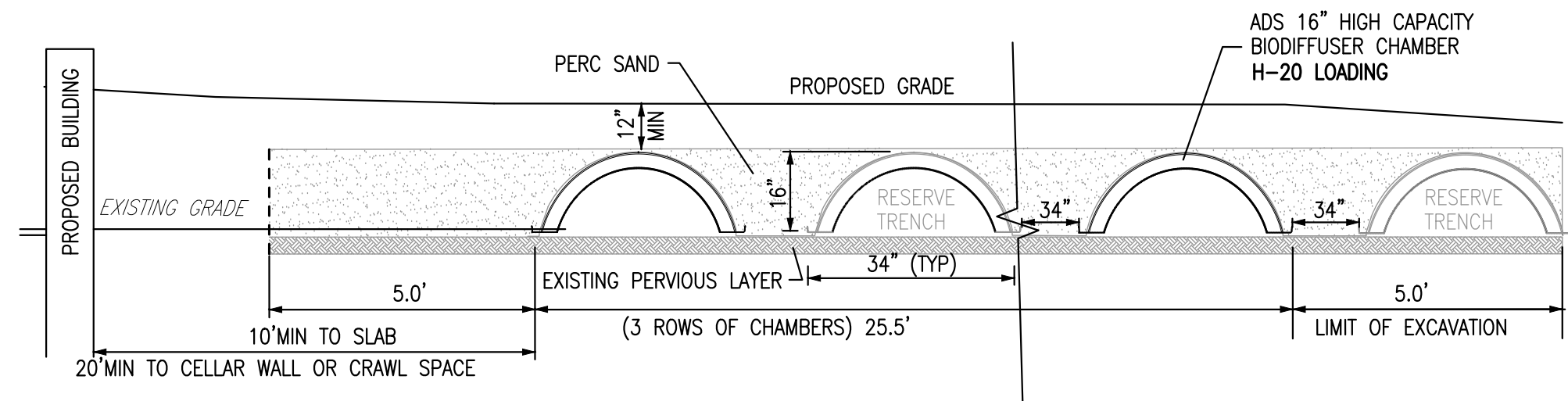
REVISIONS	
MARCH 13, 2019	PLANNING BOARD COMMENTS
APRIL 8, 2019	50 FOOT BUFFER



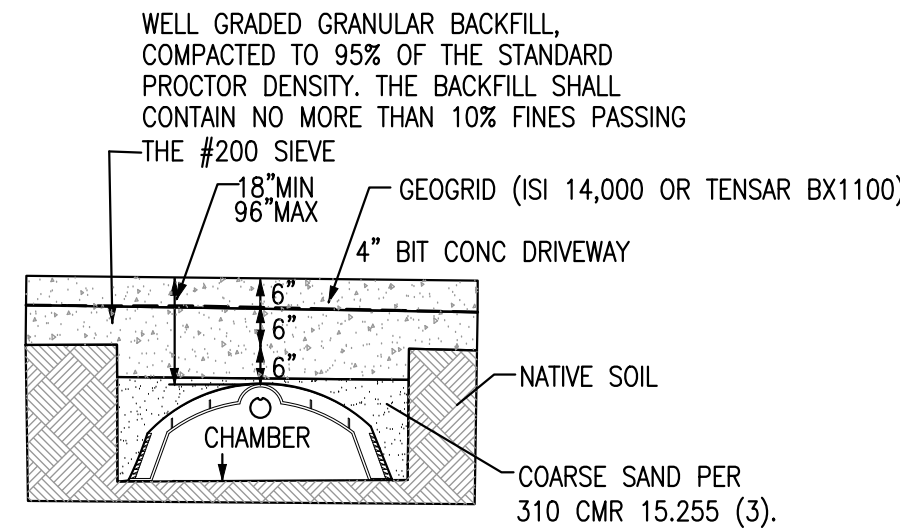
GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

SHEET 6 OF 10

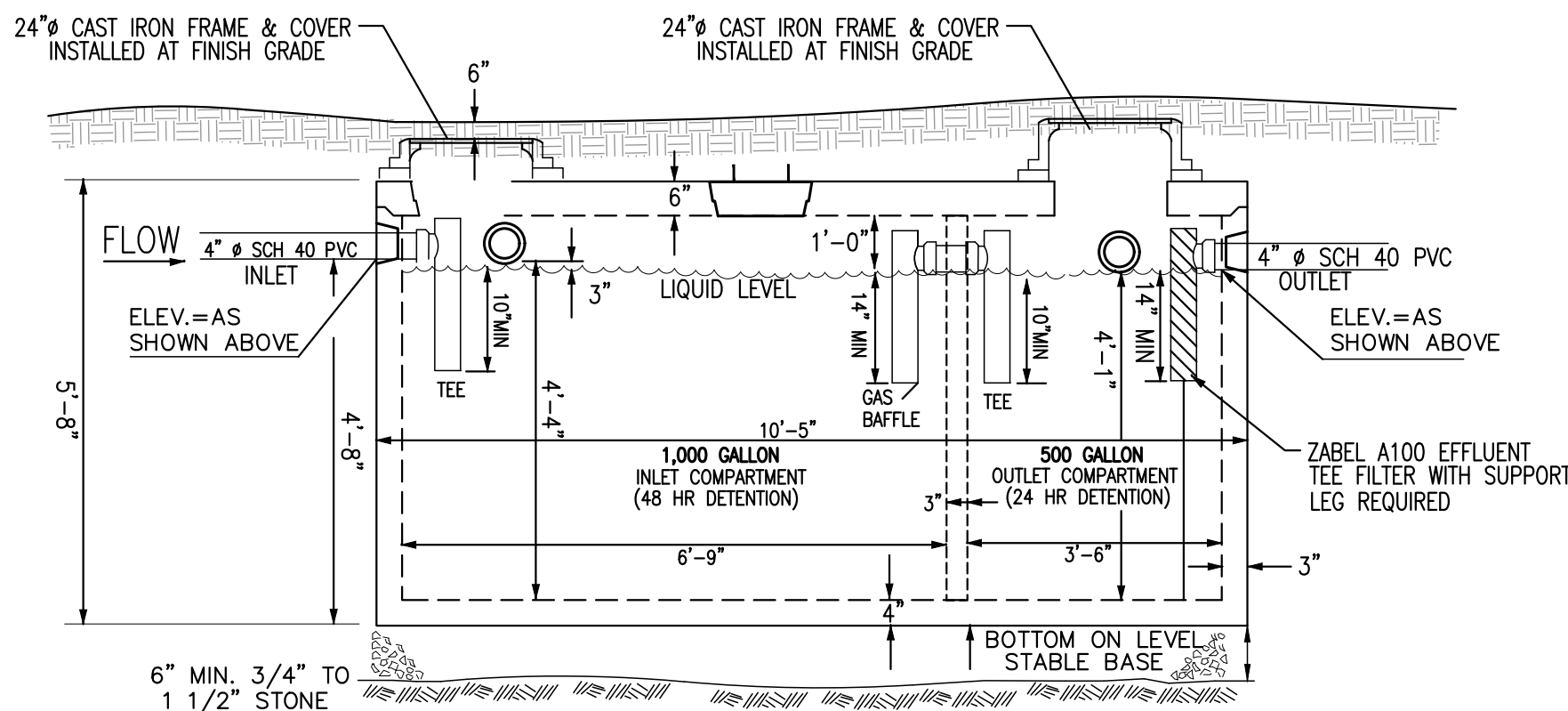


16" HIGH CAPACITY BIODIFFUSER TRENCH X-SECTION
* H-20 LOADING REQUIRED
NOT TO SCALE

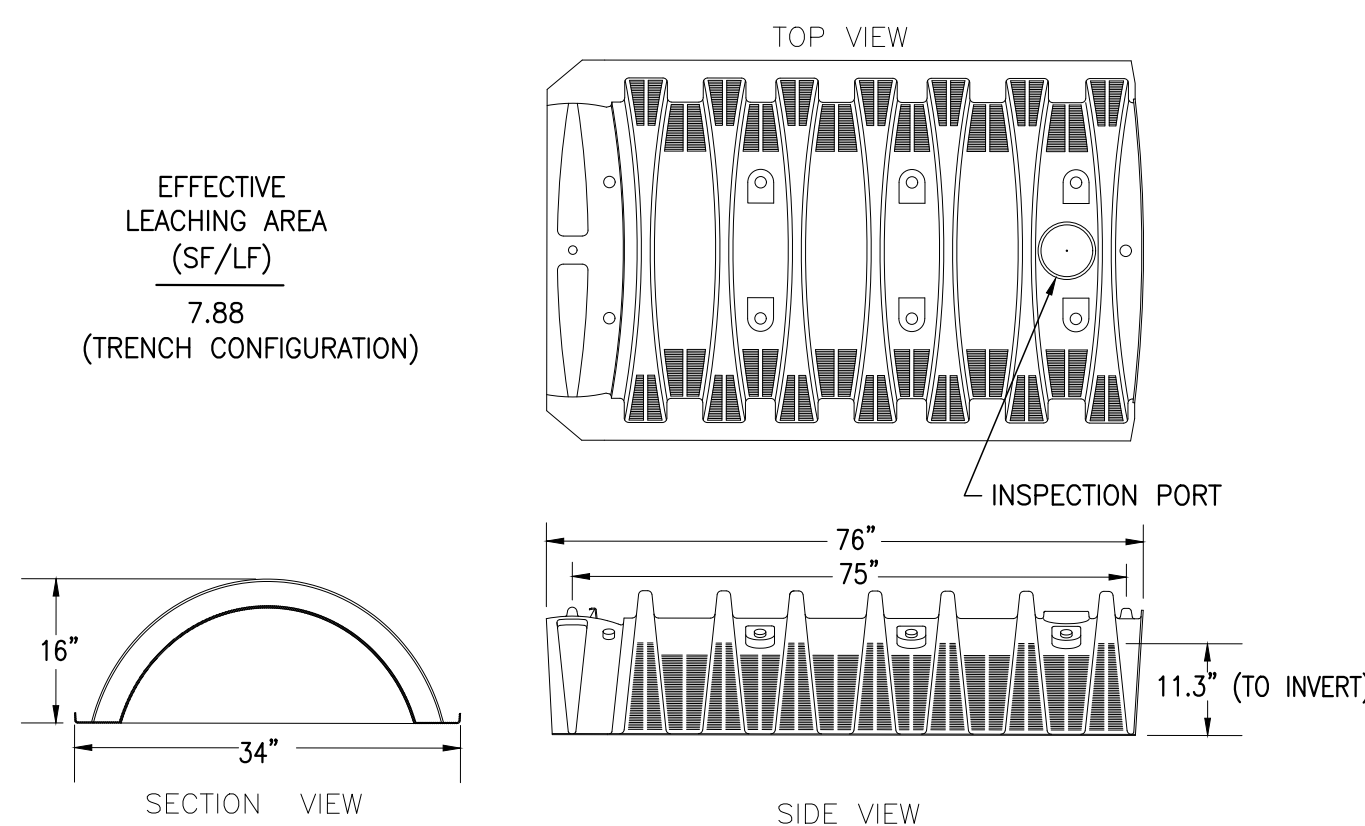


1. GEOGRID IS AVAILABLE THROUGH JENNAN ENTERPRISES, MELROSE, MA (781) 665-7915 CAPE COD WINWATER WORKS (508) 862-0166
2. CONTRACTOR SHALL SUBMIT DOCUMENTATION FOR THE GEOGRID BEING INSTALLED TO GRADY CONSULTING LLC.

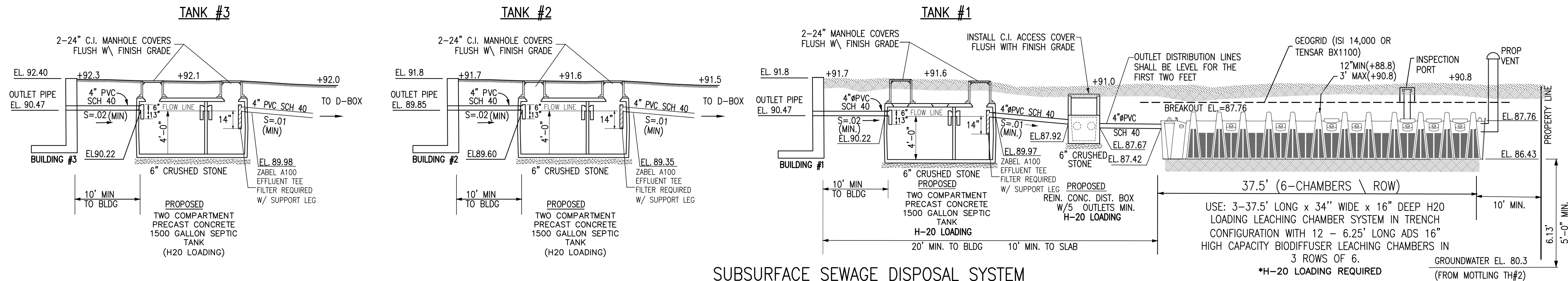
H-20 LOADING DETAIL
NOT TO SCALE



CROSS-SECTION VIEW
1500 GALLON 2-COMPARTMENT SEPTIC TANK
(NOT TO SCALE)



16" HIGH CAPACITY BIODIFFUSER (1600BD)
* H-20 LOADING REQUIRED
NOT TO SCALE



SUBSURFACE SEWAGE DISPOSAL SYSTEM
(NOT TO SCALE)

SEPTIC NOTES

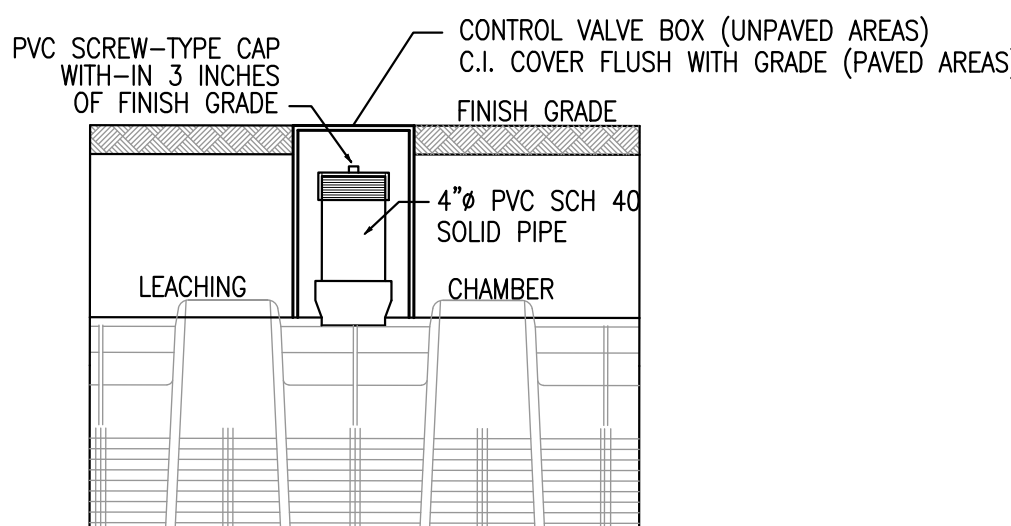
1. SOILS TESTING TO BE PERFORMED PRIOR TO APPROVAL
2. CALL DIG SAFE 1-888-344-7233 AT LEAST 4 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. NOTIFY TOWN AND GRADY CONSULTING PRIOR TO BACKFILLING OF SYSTEM.
4. NO KNOWN WELLS EXIST WITHIN 200' OF THE PROPOSED SYSTEM
5. THE SITE IS NOT LOCATED IN AN AQUIFER PROTECTION ZONE II.
6. ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE OR A COMPARABLE MEANS IN ORDER TO LOCATE THEM ONCE BURIED (310 CMR 15.221(12))
7. NO STREAMS, SURFACE & SUBSURFACE DRAINS AND WETLANDS EXIST WITHIN 100 FT OF THE PROPOSED SYSTEM, EXCEPT AS SHOWN.
8. THE SITE IS NOT LOCATED IN A FLOOD PLAIN DISTRICT.
9. NO KNOWN EASEMENTS ARE IN THE AREA OF THE PROPOSED SYSTEM.
10. WHEREVER SEWER LINES MUST CROSS WATER SUPPLY LINES BOTH PIPES SHALL BE CONSTRUCTED OF CLASS 150 PRESSURE PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS. A PIPE SLEEVE OVER THE SEWER OR THE WATER LINE, 10' TO EACH SIDE OF THE PIPE IS AN ACCEPTABLE ALTERNATIVE.

SEPTIC DESIGN:

WAREHOUSES DO NOT HAVE CAFETERIA FACILITIES (DESIGN FOR 15 GPD PER WORKER REQUIRED)

DESIGN FLOW SYSTEM:

BUILDING 1
14 WORKERS x 15 GPD/EMPLOYEE = 210 GPD
BUILDING 2
14 WORKERS x 15 GPD/EMPLOYEE = 210 GPD
BUILDING 3
14 WORKERS x 15 GPD/EMPLOYEE = 210 GPD
TOTAL DESIGN DAILY FLOW = 630 GPD



INSPECTION PORT DETAIL
NOT TO SCALE

REQUIRED INSPECTIONS

1. AFTER EXCAVATION OF LEACHING AREA PRIOR TO INSTALLING SAND.
 2. AFTER SYSTEM CONSTRUCTION PRIOR TO BACKFILLING.
 3. AFTER FINAL GRADING IS COMPLETED.
- (ADDITIONAL INSPECTIONS MAY BE REQUIRED BY THE BOARD OF HEALTH)

ADS CHAMBER SYSTEM NOTES

THIS SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION MODIFIED CERTIFICATION FOR GENERAL USE, PURSUANT TO TITLE V, 310 CMR 15.000, ISSUED JANUARY 11, 2011.

NO STONE AROUND OR BELOW CHAMBERS IS REQUIRED.

BACKFILL BIODIFFUSER CHAMBERS WITH ON SITE SAND SOIL OR CLEAN COARSE SAND IN ACCORDANCE WITH 310 CMR 15.255(3).

CONTRACTOR MUST BE TRAINED IN INSTALLATION BY ADVANCED DRAINAGE SYSTEMS, INC.

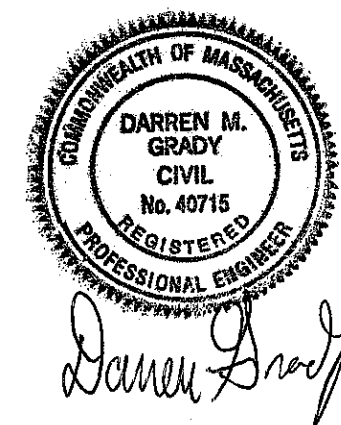
CONTACT STEVE MINOR (207)240-5967 OR steve.minor@ads-pipe.com

SOIL LOGS

T.H.#1 EL. 90.3	T.H.#2 EL. 90.4
0'-60" FILL	0'-48" FILL
60'-120" C MED.-FINE SAND	48'-132" C MED.-FINE SAND
PERC 85.3	PERC 86.4
60'-78" P.R.#2 MIN/IN 80.3	72'-90" P.R.#2 MIN/IN 79.4
D=10'-0" NO WATER (E.S.H.W.G.) (EL.=80.3)	D=11'-0" NO WATER (E.S.H.W.G.) (EL.=79.4)

TESTHOLES 1-2 BY DARREN GRADY PE WITNESSED BY LISA CULLITY DECEMBER 14, 2018

REVISIONS	PLANNING BOARD COMMENTS
MARCH 13, 2019	50 FOOT BUFFER
APRIL 8, 2019	

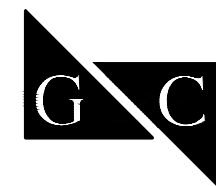


SITE PLAN

#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: AS NOTED
JOB No. 18-181

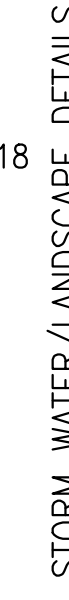


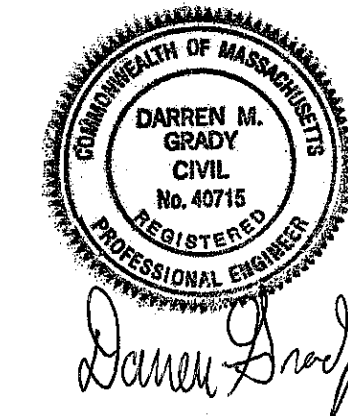
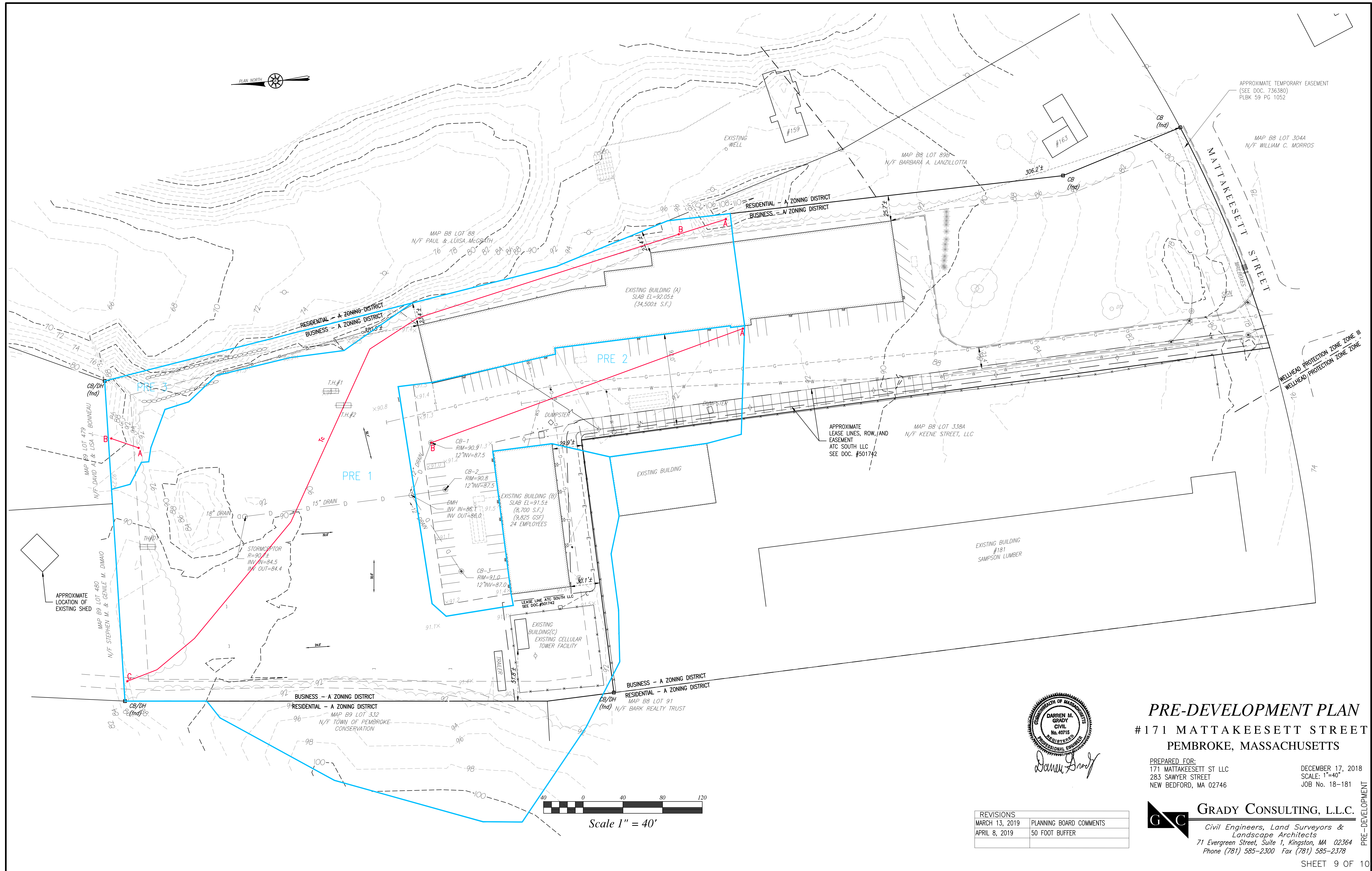
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SHEET 7 OF 10

SEPTIC DETAILS





PRE-DEVELOPMENT PLAN

#171 MATTAKEESETT STREET

PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=40'
JOB No. 18-181

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REVISIONS	
MARCH 13, 2019	PLANNING BOARD COMMENTS
APRIL 8, 2019	50 FOOT BUFFER

PRE-DEVELOPMENT

