

FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PREPARED BY (SIGNATURE) \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

PROFESSIONAL LAND SURVEYOR                      DATE  
DOUGLAS L. AABERG, PLS 35382

THIS SITE PLAN APPROVAL DOES NOT  
NECESSARILY INDICATE COMPLIANCE  
WITH THE PEMBROKE ZONING BY-LAW

DATE OF ENDORSEMENT: \_\_\_\_\_

PEMBROKE PLANNING BOARD

I, \_\_\_\_\_ TOWN CLERK OF THE  
TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT  
THE NOTICE OF APPROVAL OF THIS PLAN BY  
THE PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
APPEAL WAS RECEIVED DURING THE NEXT  
TWENTY DAYS AFTER RECEIPT AND RECORDING  
OF SAID NOTICE

OWNER

JPC/PEMBROKE REALTY TRUST  
137 WASHINGTON STREET  
NORWELL, MA 02061

APPLICANT

MIKE BULMAN  
P.O. BOX 20  
SCITUATE, MA 02066

## INDEX TO DRAWINGS

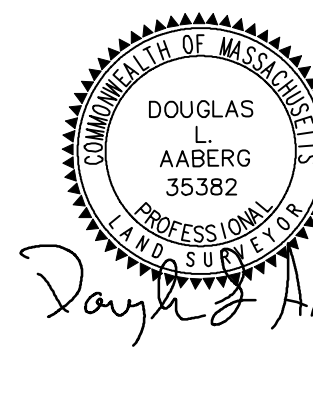
<u>PLAN</u>	<u>DESCRIPTION</u>
1 _____	COVER SHEET
2 _____	GENERAL NOTES, LEGEND, & ABBREVIATIONS
3 _____	EXISTING CONDITIONS & SITE LAYOUT PLAN
4 _____	GRADING & UTILITIES PLAN

WAIVER REQUESTS:

1. A WAIVER FROM SECTION 4.7 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "A LANDSCAPE PLAN SHALL BE PROVIDED, SAID PLAN MAY BE REQUIRED TO BE PREPARED STAMPED AND SIGNED BY A LANDSCAPE ARCHITECT REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS."
2. A WAIVER FROM SECTION 4.15 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "A DEVELOPMENT IMPACT STATEMENT WILL BE REQUIRED IN ACCORDANCE WITH SECTION 6."
3. A WAIVER FROM SECTION 4.21 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "A PHOTOMETRIC PLAN SHOWING THE PARCEL TO BE DEVELOPED AND WITHIN FIFTY (50) FEET THEREOF."
4. A WAIVER FROM SECTION 4.22 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "A TRAFFIC IMPACT STUDY PREPARED BY A REGISTERED PROFESSIONAL ENGINEER EXPERIENCED AND QUALIFIED IN TRAFFIC ENGINEERING."
5. A WAIVER FROM SECTION 5.1.2 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "A THREE (3) FOOT WIDE LANDSCAPING STRIP SHALL BE PROVIDED ALONG FOUNDATION WALLS TO SOFTEN THEIR APPEARANCE FOR NON-RESIDENTIAL BUILDING(S)."
6. A WAIVER FROM SECTION 5.1.6 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "ALL RESIDENTIAL PROPERTIES SHALL BE PROTECTED BY A LANDSCAPE BUFFER STRIP WITH A MINIMUM WIDTH OF 50 FEET, WITH SUCH BERMS, FENCES, SOUND WALLS, AND PLANTINGS DEEMED NECESSARY BY THE PLANNING BOARD TO PROTECT NEIGHBORING RESIDENCES."

## PLAN

PLAN  
SCALE: 1" = 80'

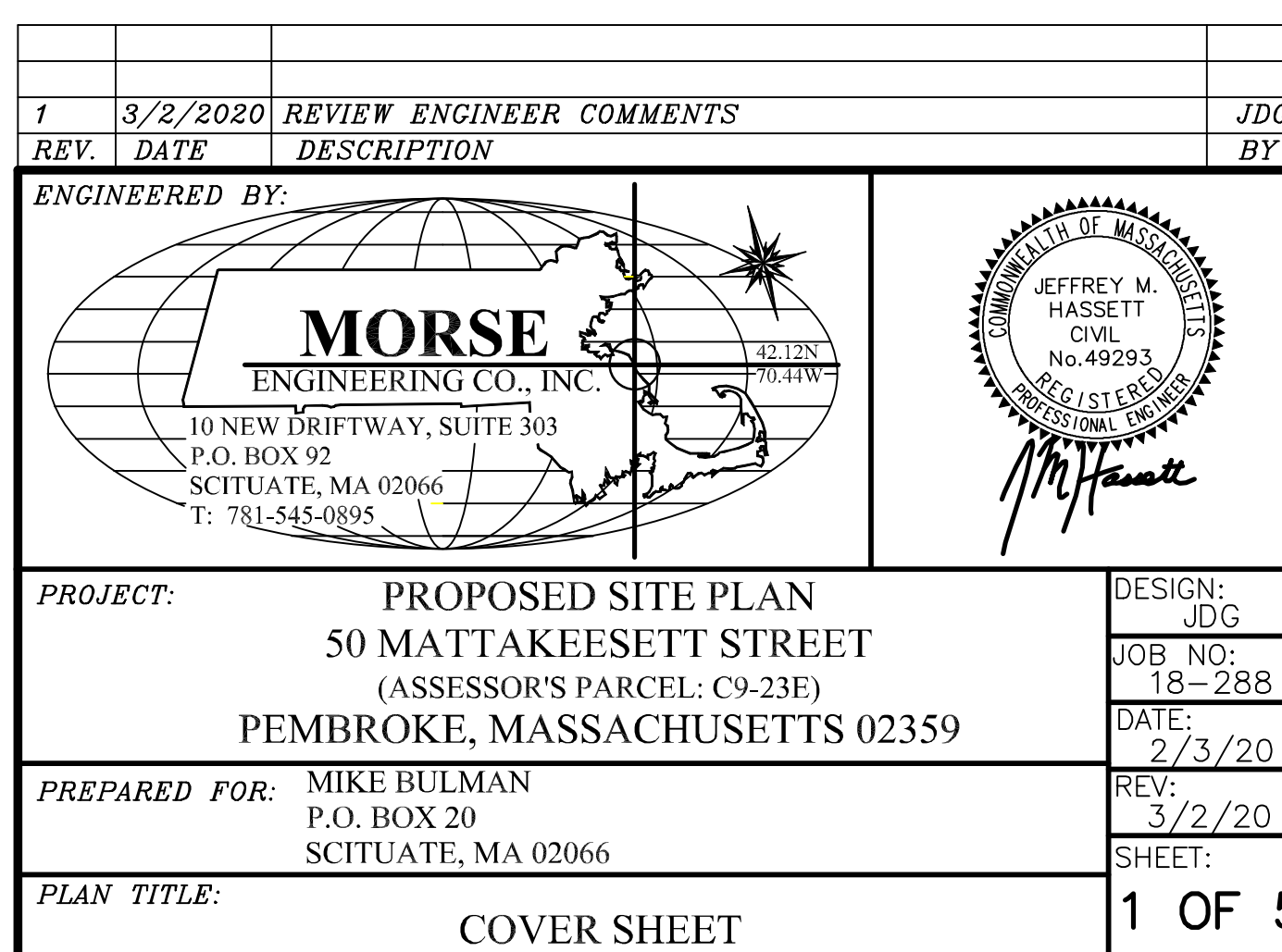


**SITE LAYOUT**

80' 0 40'

SCALE: 1" = 80'

## SITE LAYOUT





ABBREVIATIONS

APPROX	APPROXIMATE
CB/DH	CONC. BOUND/DRILL HOLE
CCB	CAPE COD BERM
CIP	CAST IN PLACE CONCRETE CURB
CONCRETE	CONCRETE
D	DRAIN
E	ELECTRIC
FND.	FOUND
ELEV	ELEVATION
EXIST	EXISTING
FES	FLARED END SECTION
G	GAS
I	INVERT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PROP	PROPOSED
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
S	SEWER
SB/DH	STONE BOUND/DRILL HOLE
TYP	TYPICAL
UP	UTILITY POLE
W	WATER

LEGEND

EXISTING	PROPOSED	
—55—	—100—	CONTOUR ELEVATION
		EROSION CONTROL / LIMIT OF WORK
x100.2	+100.00	SPOT GRADE
(D)	(D)	DRAIN MANHOLE (DMH)
(CB)	(CB)	CATCH BASIN (CB)
(S)	(S)	SEWER MANHOLE (SMH)
φ	φ	UTILITY POLE (UP)
⊙	⊙	LIGHT POLE
▲	▲	LIGHT
—	—	SIGN
♿	♿	VAN-ACCESSIBLE HANDICAP PARKING
—	—	FENCE
▤	▤	HANDICAP RAMP
~~~~~	~~~~~	TREE LINE
⊙	⊙	EVERGREEN
▼	▼	ENTRYWAY

GENERAL NOTES

- LOCUS OWNER: ASSESSOR'S MAP C9, PARCEL 23E  
JPC/PEMBROKE REALTY TRUST  
137 WASHINGTON STREET  
NORWELL, MASSACHUSETTS 02061
- DEED BOOK REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS  
DEED BOOK 37787, PAGE 341
- LOCUS IS SHOWN AS ASSESSOR'S MAP C9, PARCEL 23E  
TOWN OF PEMBROKE ASSESSOR'S MAPS. TOTAL AREA = 1.50± ACRES
- LOCUS IS LOCATED IN RESIDENTIAL A AND CENTER PROTECTION DISTRICTS  
PORTION OF LOCUS IS LOCATED WITHIN WELLHEAD PROTECTION ZONE III
- LOCUS FALLS WITHIN ZONE "X" AS SHOWN ON THE FIRM COMMUNITY  
PANEL NO: 25023C 0204J DATED JULY 17, 2012. ZONE "X" IS NOT A  
SPECIAL FLOOD HAZARD AREA.
- ALL EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION WAS OBTAINED FROM AN ON-SITE  
SURVEY CONDUCTED IN AUGUST 2018.
- ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM  
AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES  
SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE  
UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN  
UTILITY INFORMATION BY CONTACTING DIGSAFE (888-344-7233). THE CONTRACTOR  
SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.
- ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO  
INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND  
ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH THE APPLICABLE  
STANDARDS AND REGULATION.
- NO WETLAND RESOURCE AREAS WERE OBSERVED ON-SITE BY MORSE ENGINEERING COMPANY, INC.  
DURING AUGUST 2018.
- EXISTING BUILDING AND SEPTIC SYSTEM LOCATIONS SHOWN ON ABUTTING PROPERTIES  
WERE COMPILED FROM AVAILABLE DATA ON RECORD AT THE PEMBROKE BOARD OF HEALTH.
- THIS SITE PLAN REQUIRES A WAIVER FROM SECTION 5.1.6 OF THE TOWN OF PEMBROKE  
PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL.  
STATING "ALL RESIDENTIAL PROPERTIES SHALL BE PROTECTED BY A LANDSCAPED BUFFER STRIP  
WITH A MINIMUM WIDTH OF 50 FEET, WITH SUCH BERMS, FENCES, SOUND WALLS, AND PLANTINGS  
DEEMED NECESSARY BY THE PLANNING BOARD TO PROTECT NEIGHBORING RESIDENCES."
- THIS SITE PLAN REQUIRES A WAIVER FROM THE DEVELOPMENT IMPACT STATEMENT.
- THIS SITE PLAN REQUIRES A WAIVER FROM THE TRAFFIC IMPACT STUDY.

GENERAL UTILITY NOTES

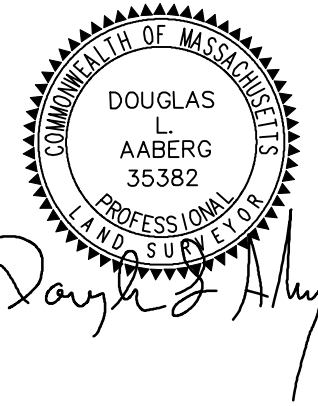
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION  
OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON  
RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN  
IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR  
COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL  
BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.  
THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING  
PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION  
WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE  
NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION  
AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK.  
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING  
UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL  
CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- SEE PLANS 6 FOR CONSTRUCTION DETAILS, NOTES, AND SPECIFICATIONS.  
  
THE CONTRACTOR SHALL PROVIDE INLET PROTECTION, SUCH AS SILT SACKS, AT ALL  
CATCH BASINS TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION / DETENTION BASIN.

DEED REFERENCE:

PLYMOUTH COUNTY REGISTRY OF DEEDS  
BOOK 37787, PAGE 341  
RECORD OWNER: JPC/PEMBROKE REALTY TRUST

PLAN REFERENCES

- PLAN BOOK 31, PAGE 824
- PLAN BOOK 25, PAGE 268
- PLAN BOOK 32, PAGE 663
- PLAN BOOK 28, PAGE 108



1	3/2/2020	REVIEW ENGINEER COMMENTS	JDC
REV.	DATE	DESCRIPTION	BY
ENGINEERED BY:			
PROJECT:		DESIGN:	
PROPOSED SITE PLAN		JDC	
50 MATTAKEESETT STREET		JOB NO:	
(ASSESSOR'S PARCEL: C9-23E)		18-288	
PEMBROKE, MASSACHUSETTS 02359		DATE:	
PREPARED FOR:		2/3/20	
MIKE BULMAN		REV:	
P.O. BOX 20		3/2/20	
SCITUATE, MA 02066		SHEET:	
PLAN TITLE:		2 OF 5	
GENERAL NOTES, LEGEND & ABBREVIATIONS			

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I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH  
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PROFESSIONAL LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
DOUGLAS L. AABERG, PLS 35382

THIS SITE PLAN APPROVAL DOES NOT  
NECESSARILY INDICATE COMPLIANCE  
WITH THE PEMBROKE ZONING BY-LAW

DATE OF ENDORSEMENT: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PEMBROKE PLANNING BOARD

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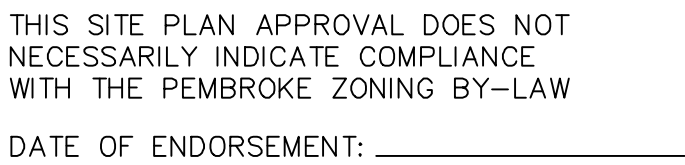
SEC. V.4.A.1. OF ZONING BYLAWS:

## PARKING SUMMARY

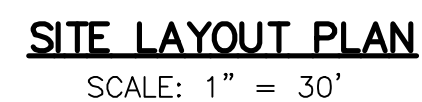
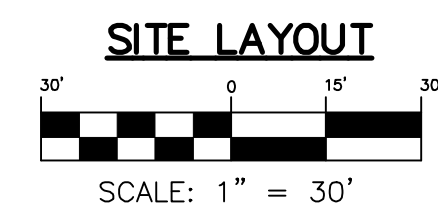
PROPOSED PARKING LOT DESIGN PROVIDES FOR:  
(19) STANDARD PARKING SPACES: 9'-0" x 18'-0"  
(2) HANDICAP SPACES: 12'-0" x 18'-0"

PREPARED BY (SIGNATURE) \_\_\_\_\_ DATE \_\_\_\_\_

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**EXISTING CONDITIONS PLAN**  
SCALE: 1" = 30'



CENTER PROTECTION DISTRICT

**CONSTRUCTION NOTES:**

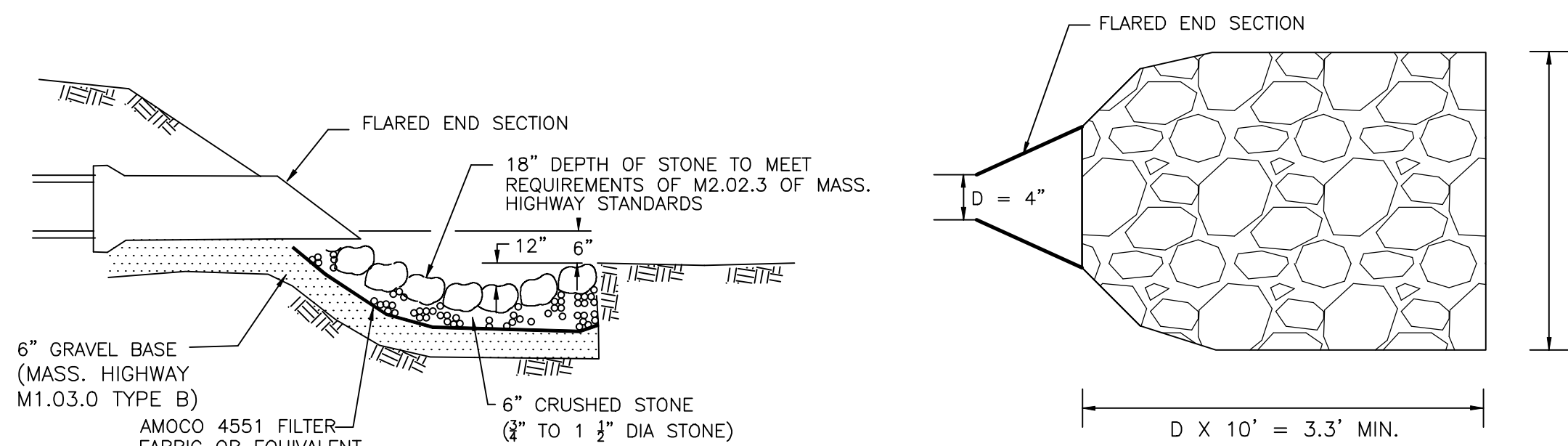
- LIGHTING NOTES:

- 

PEMBROKE PLANNING BOARD

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EROSION CONTROL PAD DETAIL

NOT TO SCALE

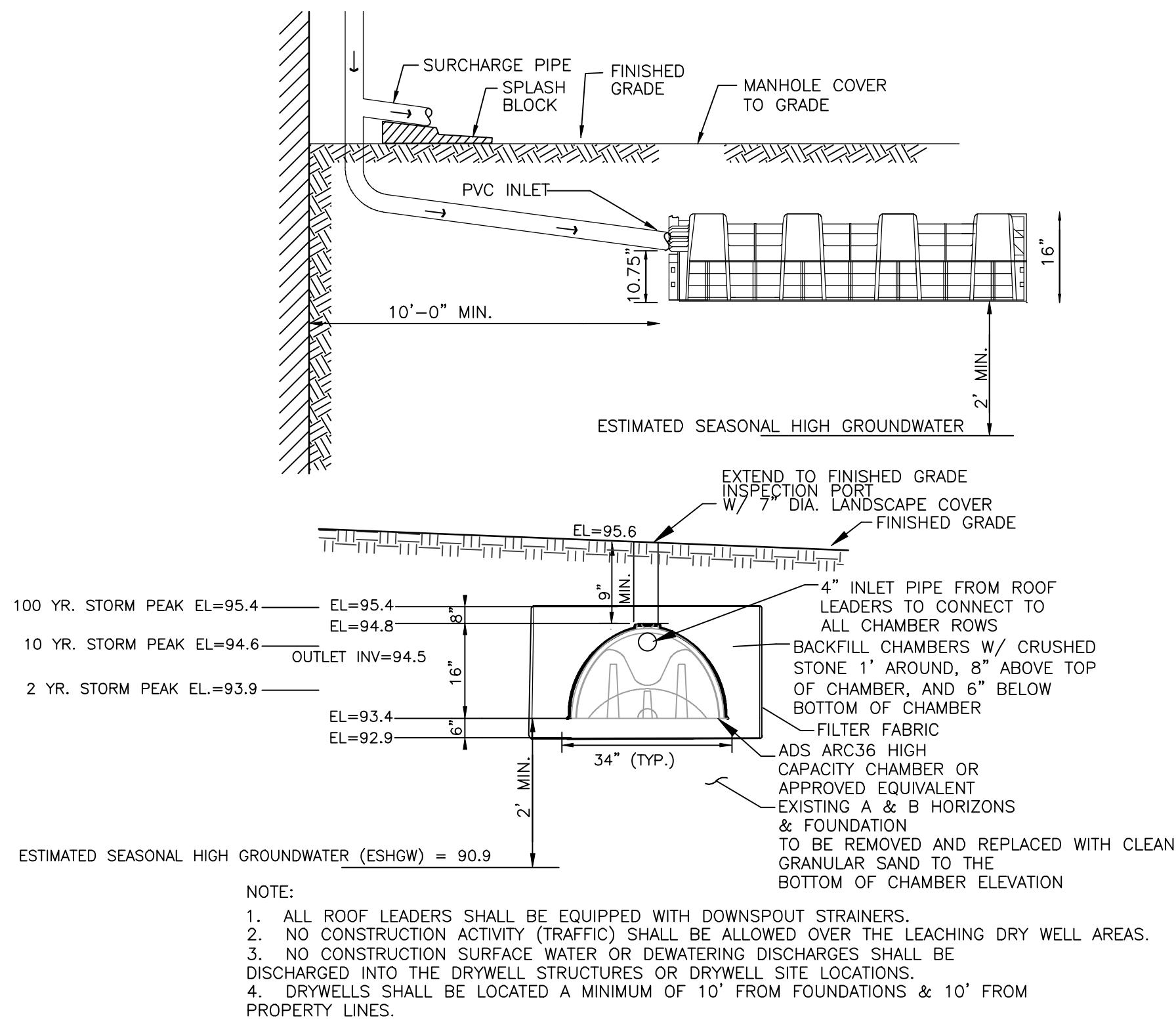
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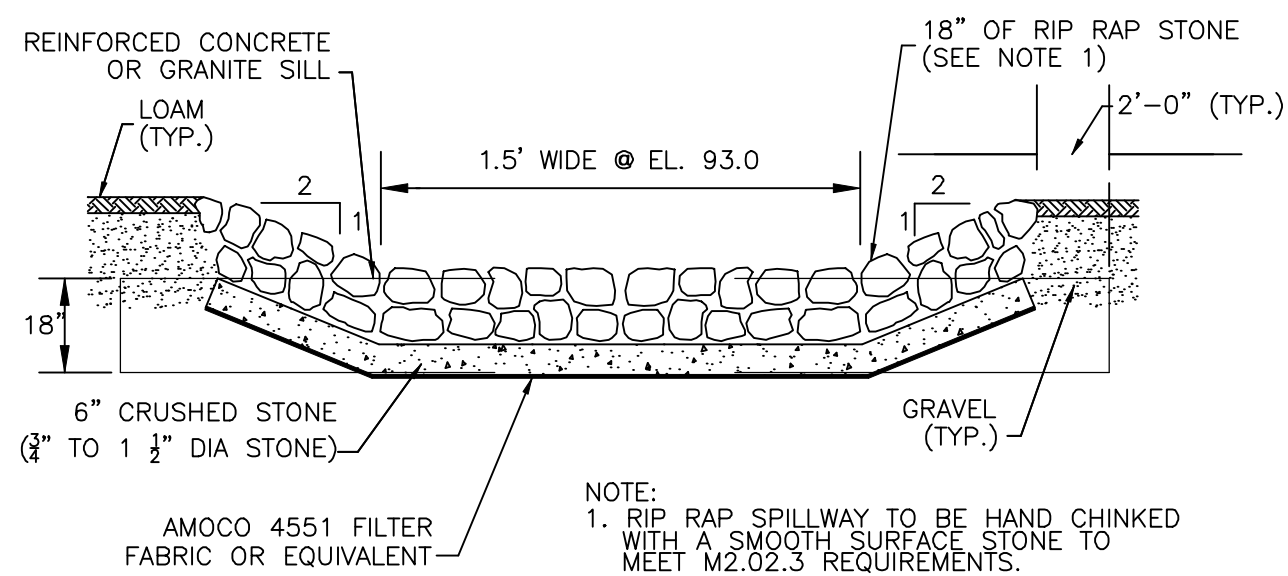
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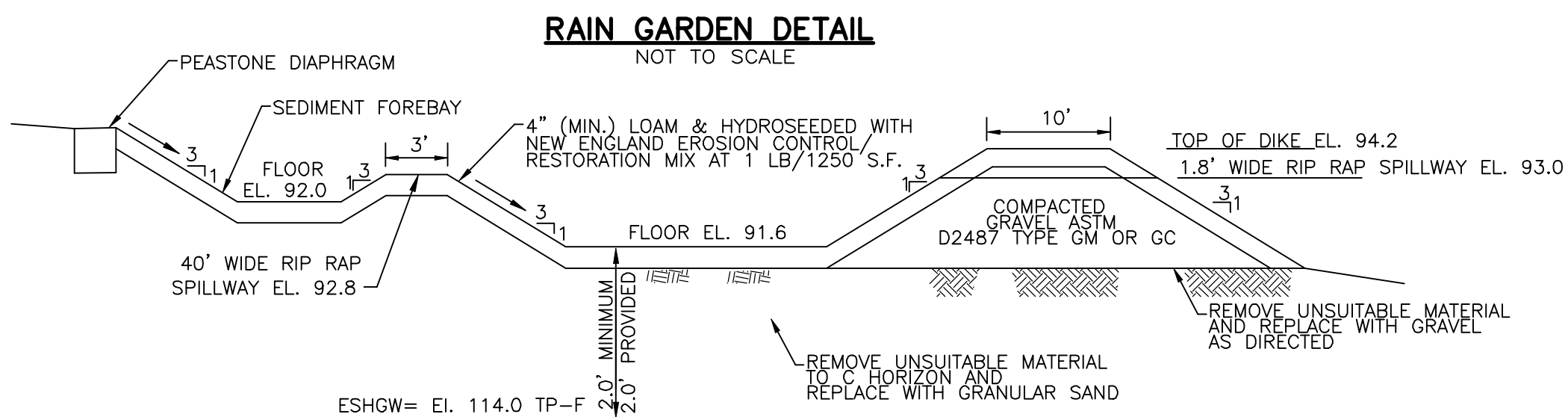
SUBSURFACE LEACHING DRYWELL

NOT TO SCALE



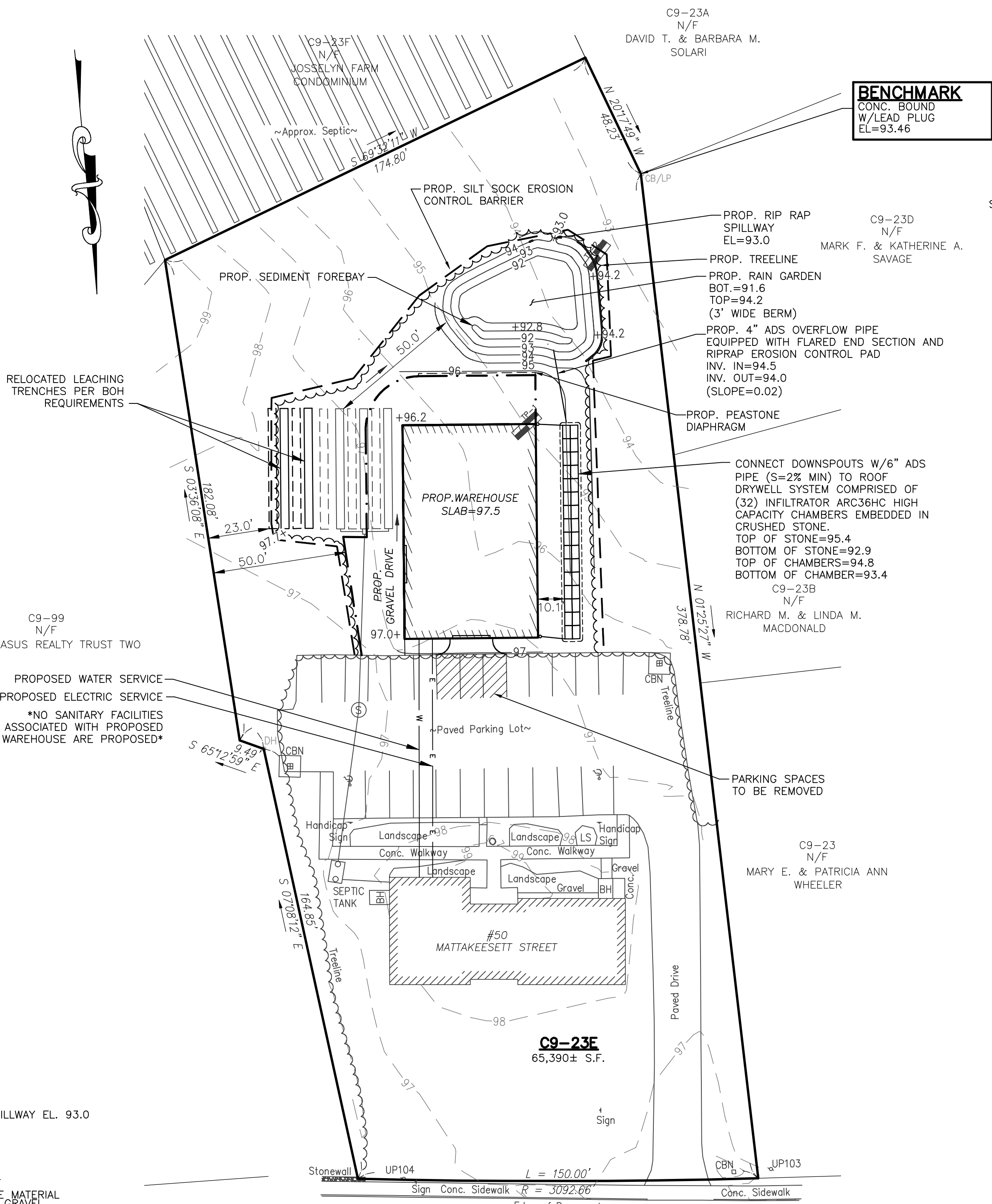
RAIN GARDEN SPILLWAY DETAIL

NOT TO SCALE



RAIN GARDEN DETAIL

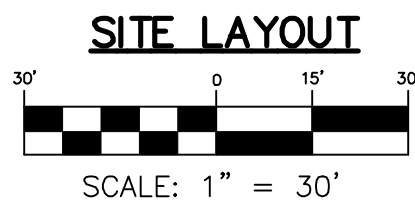
NOT TO SCALE



MATTAKEESETT STREET  
(PUBLIC - 45' WIDE)

GRADING & UTILITIES PLAN

SCALE: 1" = 30'



SOIL TEST DATA  
SOIL TESTING AND EVALUATION BY: GREGORY J. MORSE, P.E. DEP SOIL EVALUATOR #2906  
DATE: SEPTEMBER 25, 2018

TP-1	APPROX. GRADE EL. 94.9±	TP-2	APPROX. GRADE EL. 93.1±
EL. 94.1	A HORIZON LOAMY SAND 10YR 3/2	EL. 92.4	A HORIZON LOAMY SAND 10YR 3/2
EL. 92.2	B HORIZON LOAMY SAND 10YR 5/8	EL. 90.3	B HORIZON LOAMY SAND 10YR 5/8
EL. 86.6	C HORIZON LOAMY SAND 2.5Y 5/6	EL. 84.1	C HORIZON LOAMY SAND 2.5Y 5/6
WEEPING OBSERVED: NONE MOTTILING OBSERVED: 48" (EL. 90.9) ESHW: 48" (EL. 90.9)		WEEPING OBSERVED: NONE MOTTILING OBSERVED: 42" (EL. 89.6) ESHW: 42" (EL. 89.6)	

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW

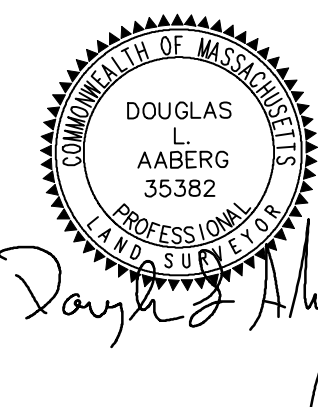
DATE OF ENDORSEMENT: \_\_\_\_\_

PEMBROKE PLANNING BOARD

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CONSTRUCTION SEQUENCE

- 1) STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. PLACE BARRIERS AT LOCATIONS INDICATED ON THE SITE PLANS.
- 2) CLEAR AND GRUB LIMITS OF PROPOSED SITE AS REQUIRED FOR THE CONSTRUCTION OF THE STORAGE UNITS, DRIVEWAY, DETENTION BASIN, ROOF DRYWELL SYSTEM AND RELATED INFRASTRUCTURE. ALL BRUSH, TREE LIMBS, TREE TRUNK & STUMP DISPOSAL SHALL TAKE PLACE OFF SITE AND WITHIN 30 DAYS OF CUTTING. ALL DISPOSAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 3) CONSTRUCT CUT AND FILL AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION AS NECESSARY.
- 4) INSTALL ALL DRAINAGE SYSTEM COMPONENTS AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE PROTECTED WITH EROSION CONTROLS OR EQUIVALENT INLET PROTECTION.
- 5) GRADE GRAVEL DRIVEWAY TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED.
- 6) PLACE GRAVEL FOR DRIVEWAY.
- 7) GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS.
- 8) COMPLETE FINE GRADING OF SHOULDERS.
- 9) REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.



1	3/2/2020	REVIEW ENGINEER COMMENTS	JDC
REV.	DATE	DESCRIPTION	BY
ENGINEERED BY:			
PROJECT: PROPOSED SITE PLAN 50 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-23E) PEMBROKE, MASSACHUSETTS 02359			
DESIGN: JDC			
JOB NO: 18-288			
DATE: 2/3/20			
REV: 3/2/20			
SHEET: 4 OF 5			
PREPARED FOR: MIKE BULMAN P.O. BOX 20 SCITUATE, MA 02066		PLAN TITLE: GRADING & UTILITIES PLAN	



RAIN GARDEN PLANTING PLAN LEGEND

SYMBOL	QTY.	KEY	SPECIES	COMMON NAME	SIZE
●	5	OC	OSMUNDA CIMMAMOMEA	CINNAMON FERN	15"-18" CONTAINER
☼	5	AN	ASTER NOVAE ANGLIAE	NEW ENGLAND ASTER	15"-18" CONTAINER
●	5	RP	RHODODENDRON PERICLYMENOIDES	ROSEBUD AZALEA	1-2 GAL.
⊗	5	AH	ILEX OPACA	AMERICAN HOLLY	1-2 GAL.
*	5	PV	PANICUM VIRGATUM	SWITCHGRASS	1-2 GAL.

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- DO NOT PRUNE EVERGREENS
- 12" X 3" WIDE WEBBING W/ METAL GROMMETS PLACE @ 1/2 TREE HEIGHT.
- 2 STRANDS #12 GAUGE GALV. WIRE AT 30 DEGREES FROM VERTICAL PASS THROUGH GROMMETS & TWIST WIRE BEFORE & AFTER WRAPPING AROUND STAKE. TENSION WIRE BY TWISTING TO REMOVE SLACK.
- SET TOP OF BALL @ SAME RELATIONSHIP TO FINISH GRADE AS IT BORE IN THE FIELD.
- 3" WOOD BARK MULCH
- 3" SAUCER, FORM W/ PLANT MIX
- FINISHED GRADE
- PLANT MIX, MIN. 12" ALL AROUND
- 36"L X 3" MIN. DIA. KNOTCHED WOOD STAKES SET @ 120 DEGREES (3 REQ.) DRIVE INTO SUBGRADE 30" MIN @ 30 DEGREE ANGLE. 2" MAX. ABOVE GRADE.
- REMOVE TOP 1/3 OF BURLAP & ALL NON-BIODEGRADABLE WRAP AND WIRE.
- COMPACT SUBSOIL PEDESTAL TO PREVENT SETTLING
- COMPACTED SUBGRADE

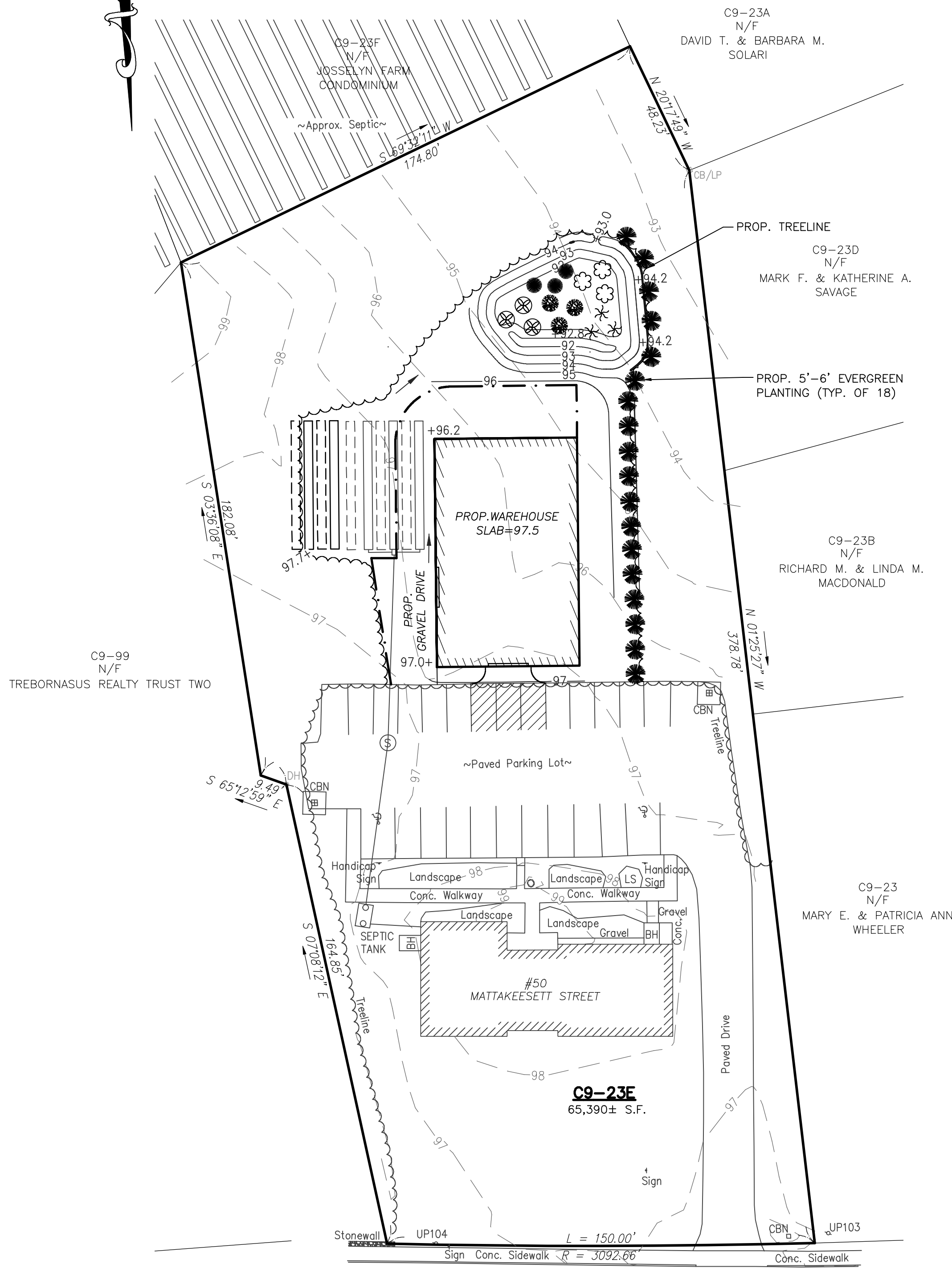
EVERGREEN PLANTING DETAIL

NOT TO SCALE

- SEEDED LAWN OR SOD
- COMPACTED SCREENED TOPSOIL (NO STONES LARGER THAN 1 1/4")
- COMPACTED SUBGRADE

SEEDED OR SODDED LAWN DETAIL

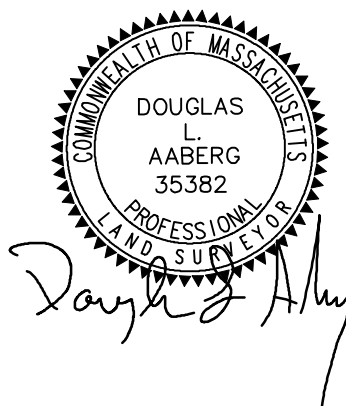
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MATTAKEESETT STREET  
(PUBLIC - 45' WIDE)

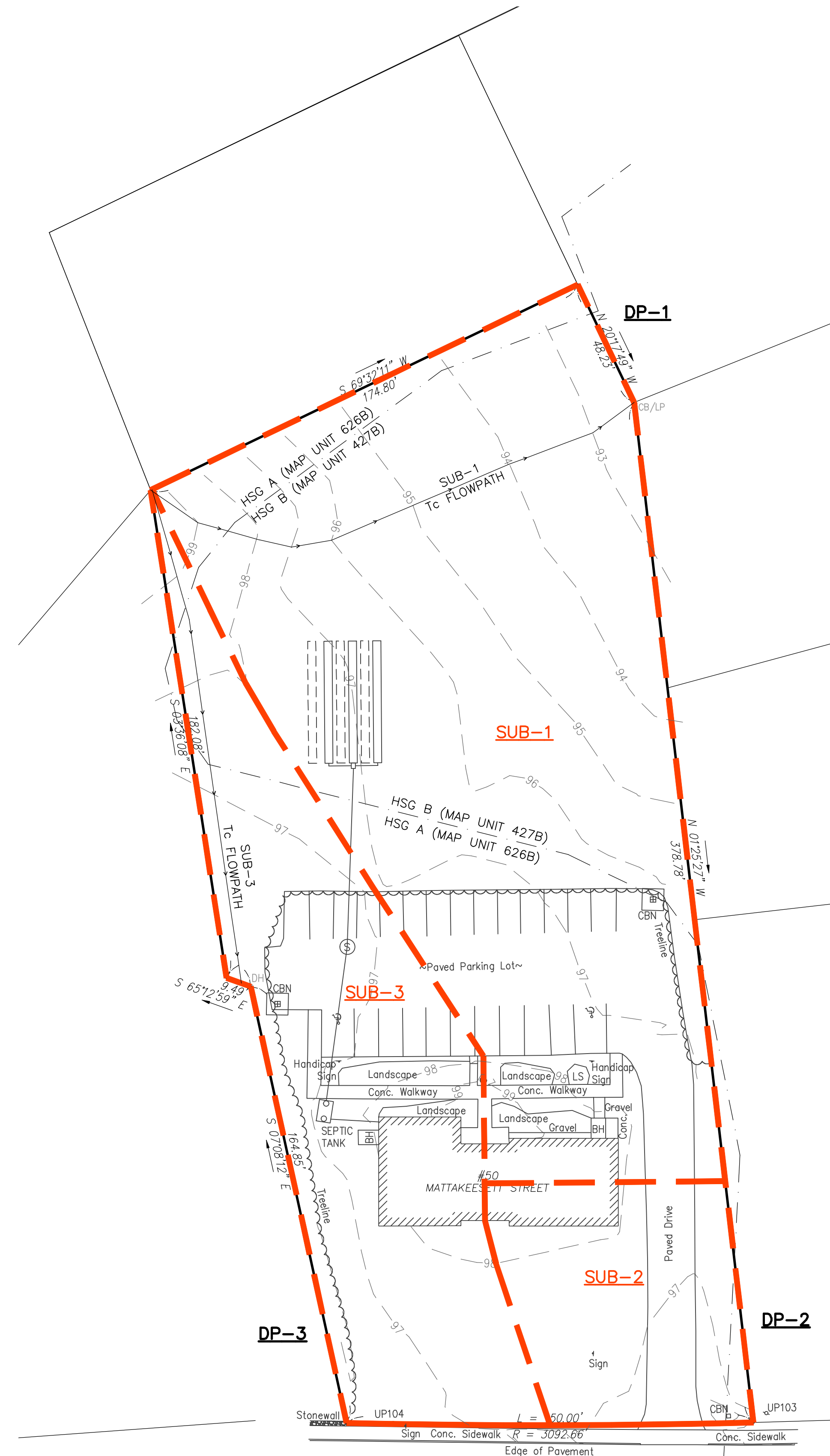
LANDSCAPING PLAN

SCALE: 1" = 30'



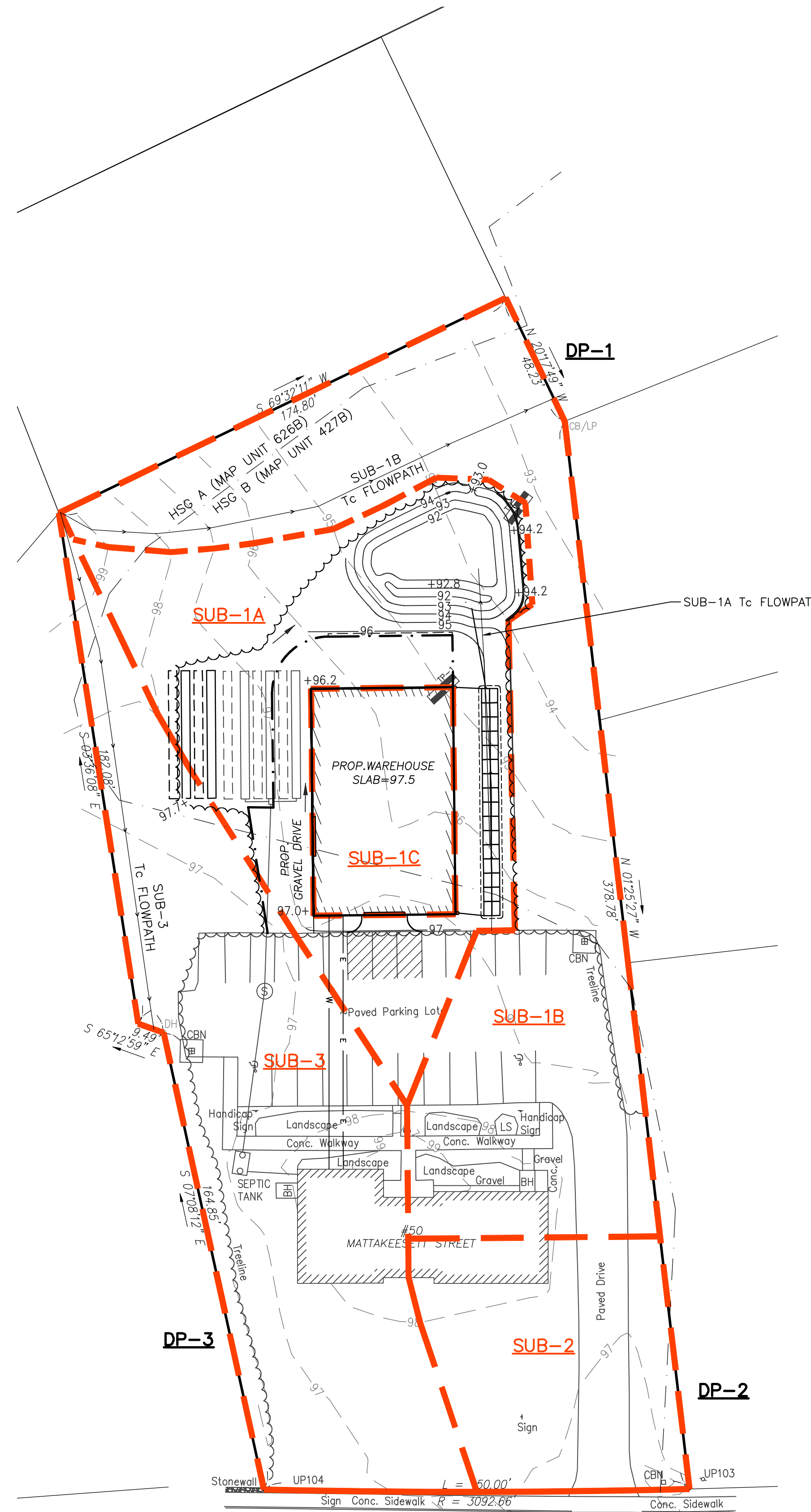
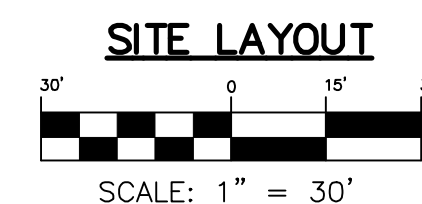
1 3/2/2020 REVIEW ENGINEER COMMENTS JDC	
REV. DATE	DESCRIPTION BY
ENGINEERED BY: MORSE ENGINEERING CO., INC. 10 NEW DRIFTWAY, SUITE 303 P.O. BOX 92 SCITUATE, MA 02066 T: 781-545-0895	
PROJECT: PROPOSED SITE PLAN 50 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-23E) PEMBROKE, MASSACHUSETTS 02359	DESIGN: JDC JOB NO: 18-288 DATE: 2/3/20
PREPARED FOR: MIKE BULMAN P.O. BOX 20 SCITUATE, MA 02066	REV: 3/2/20 SHEET: 5 OF 5
PLAN TITLE: LANDSCAPING PLAN	





MATTAKEESETT STREET  
(PUBLIC - 45' WIDE)

PRE-DEVELOPMENT WATERSHED  
SCALE: 1" = 30'



MATTAKEESETT STREET  
(PUBLIC - 45' WIDE)

POST-DEVELOPMENT WATERSHED  
SCALE: 1" = 30'

1	3/2/2020	REVIEW ENGINEER COMMENTS		JDG
REV.	DATE	DESCRIPTION		BY
ENGINEERED BY:				
PROJECT:		PROPOSED SITE PLAN 50 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-23E) PEMBROKE, MASSACHUSETTS 02359		DESIGN: JDG
PREPARED FOR:		MIKE BULMAN P.O. BOX 20 SCITUATE, MA 02066		JOB NO: 18-288
PLAN TITLE:		WATERSHED PLANS		DATE: 12/26/18
				REV: —
				SHEET: 1 OF 1