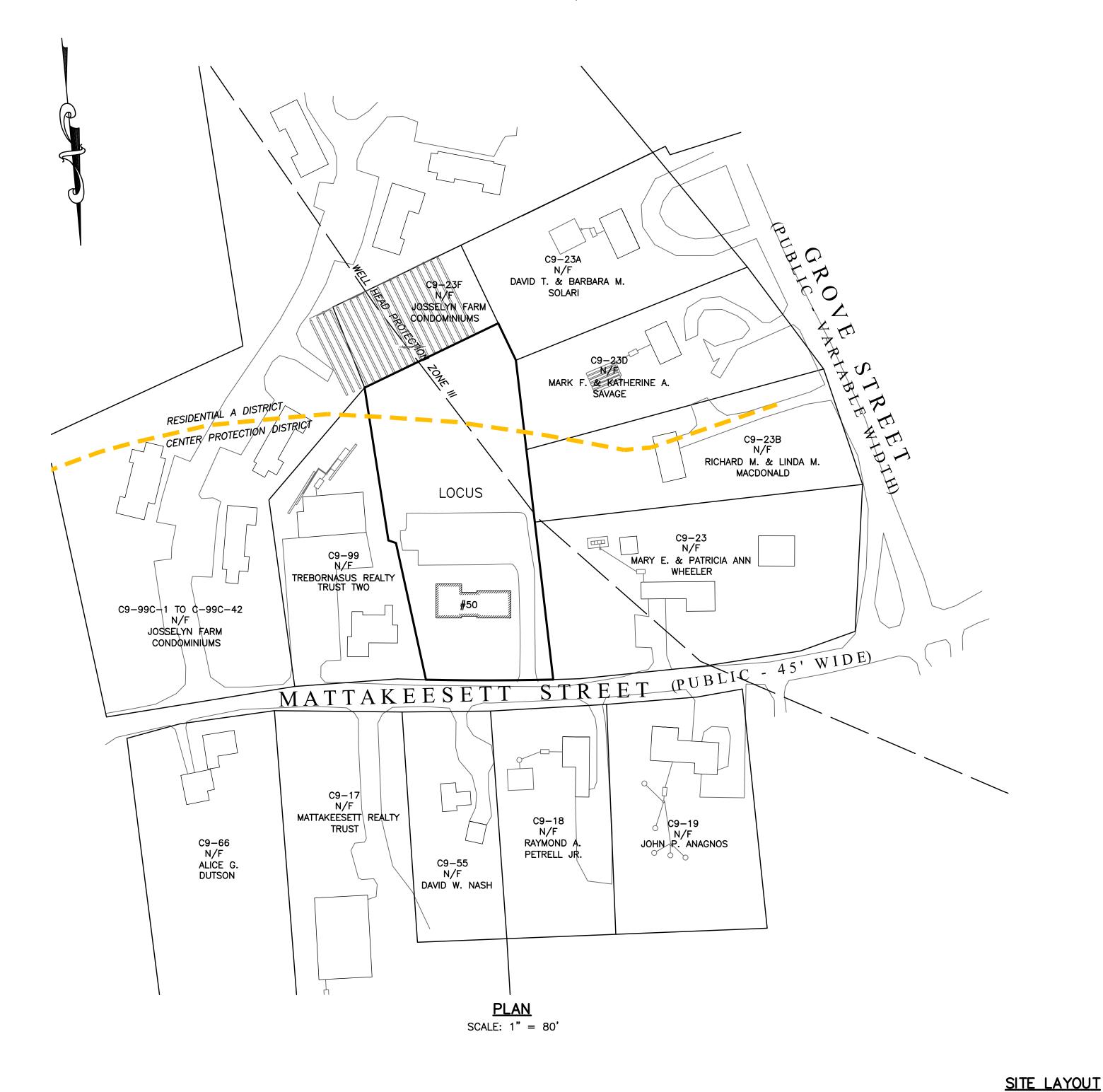


PROPOSED SITE PLAN - 50 MATTAKEESETT STREET CENTER PROTECTION & RESIDENTIAL A DISTRICT DEVELOPMENT (ASSESSOR'S PARCEL C9-23E)

PEMBROKE, MASSACHUSETTS

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4	GRADING & UTILITIES PLAN		
5	LANDSCAPING PLAN		
6	CONSTRUCTION DETAILS		



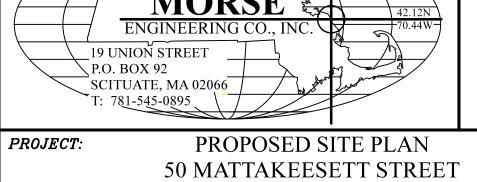
THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE

<u>OWNER</u>

JPC/PEMBROKE REALTY TRUST 137 WASHINGTON STREET NORWELL, MA 02061

APPLICANT

MIKE BULMAN P.O. BOX 20 SCITUATE, MA 02066



JOB NO: 18-288

JEFFREY M. HASSETT CIVIL No.49293

PREPARED FOR: MIKE BULMAN P.O. BOX 20

REV. DATE DESCRIPTION

ENGINEERED BY:

SCALE: 1" = 80'

PLAN TITLE: COVER SHEET

(ASSESSOR'S PARCEL: C9-23E) PEMBROKE, MASSACHUSETTS 02359 SCITUATE, MA 02066 SHEET:

ABBREVIATIONS APPROX APPROXIMATE

SB/DH

CONC. BOUND/DRILL HOLE CB/DH CAPE COD BERM CCB CAST IN PLACE CONCRETE CURB CONCRETE CONCRETE **ELECTRIC** FND. FOUND **ELEV ELEVATION EXIST EXISTING** FES FLARED END SECTION MAXIMUM MINIMUM NOT TO SCALE NTS OHW OVERHEAD WIRE PROP PROPOSED PVC POLYVINYLCHLORIDE PIPE RCP REINFORCED CONCRETE PIPE

TYPICAL

WATER

UTILITY POLE

STONE BOUND/DRILL HOLE

<u>LEGEND</u>		
EXISTING	PROPOSED	
 55	100	CONTOUR ELEVATION
		EROSION CONTROL / LIMIT OF WORK
×100.2	+100.00	SPOT GRADE
D	D	DRAIN MANHOLE (DMH)
\Box	\bigoplus	CATCH BASIN (CB)
S	S	SEWER MANHOLE (SMH)
¢	ф	UTILITY POLE (UP)
ф	*	LIGHT POLE
	A	LIGHT
-0-	•	SIGN
گ	گ	VAN-ACCESSIBLE HANDICAP PARKING

FENCE

HANDICAP RAMP

TREE LINE

EVERGREEN

ENTRYWAY

RESIDENTIAL A DISTRICT ZONING REQUIREMENTS

MIN. LOT SIZE 40,000 S.F (80% UPLAND)
MIN. LOT FRONTAGE 150 L.F.
FRONT YARD SETBACK 40 FT.
REAR YARD SETBACK 25 FT.
SIDE YARD SETBACK 20 FT.
MAX BUILDING HEIGHT 2.5 STORIES

CENTER PROTECTION DISTRICT ZONING REQUIREMENTS

MIN. LOT SIZE 40,000 S.F

MIN. LOT FRONTAGE 150 L.F.

FRONT YARD SETBACK 40 FT.

REAR YARD SETBACK 20 FT.

SIDE YARD SETBACK 20 FT.

MAX BUILDING HEIGHT 2.5 STORIES OR 36'



GENERAL NOTES

- 1. LOCUS OWNER: ASSESSOR'S MAP C9, PARCEL 23E

 JPC/PEMBROKE REALTY TRUST
 137 WASHINGTON STREET

 NORWELL, MASSACHUSETTS 02061
- 2. DEED BOOK REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS DEED BOOK 37787, PAGE 341
- 3. LOCUS IS SHOWN AS ASSESSOR'S MAP C9, PARCEL 23E
 TOWN OF PEMBROKE ASSESSOR'S MAPS. TOTAL AREA = 1.50± ACRES
- 4. LOCUS IS LOCATED IN RESIDENTIAL A AND CENTER PROTECTION DISTRICTS PORTION OF LOCUS IS LOCATED WITHIN WELLHEAD PROTECTION ZONE III
- 5. LOCUS FALLS WITHIN ZONE "X" AS SHOWN ON THE FIRM COMMUNITY PANEL NO: 25023C 0204J DATED JULY 17, 2012. ZONE "X" IS NOT A SPECIAL FLOOD HAZARD AREA.
- 6. ALL EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION WAS OBTAINED FROM AN ON-SITE SURVEY CONDUCTED IN AUGUST 2018.
- 7. ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN UTILITY INFORMATION BY CONTACTING DIGSAFE (888–344–7233). THE CONTRACTOR SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.
- 8. ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH THE APPLICABLE STANDARDS AND REGULATION.
- 9. NO WETLAND RESOURCE AREAS WERE OBSERVED ON-SITE BY MORSE ENGINEERING COMPANY, INC. DURING AUGUST 2018.
- 10. EXISTING BUILDING AND SEPTIC SYSTEM LOCATIONS SHOWN ON ABUTTING PROPERTIES WERE COMPILED FROM AVAILABLE DATA ON RECORD AT THE PEMBROKE BOARD OF HEALTH.
- 11. THIS SITE PLAN REQUIRES A WAIVER FROM SECTION 5.1.6 OF THE TOWN OF PEMBROKE PLANNING BOARD RULES & REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, STATING "ALL RESIDENTIAL PROPERTIES SHALL BE PROTECTED BY A LANDSCAPED BUFFER STRIP WITH A MINIMUM WIDTH OF 50 FEET, WITH SUCH BERMS, FENCES, SOUND WALLS, AND PLANTINGS DEEMED NECESSARY BY THE PLANNING BOARD TO PROTECT NEIGHBORING RESIDENCES."
- 12. THIS SITE PLAN REQUIRES A WAIVER FROM THE DEVELOPMENT IMPACT STATEMENT.
- 13. THIS SITE PLAN REQUIRES A WAIVER FROM THE TRAFFIC IMPACT STUDY.

GENERAL UTILITY NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- 3. SEE PLANS 6 FOR CONSTRUCTION DETAILS, NOTES, AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE INLET PROTECTION, SUCH AS SILT SACKS, AT ALL
 4. CATCH BASINS TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION / DETENTION BASIN.

DEED REFERENCE:

PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 37787, PAGE 341 RECORD OWNER: JPC/PEMBROKE REALTY TRUST

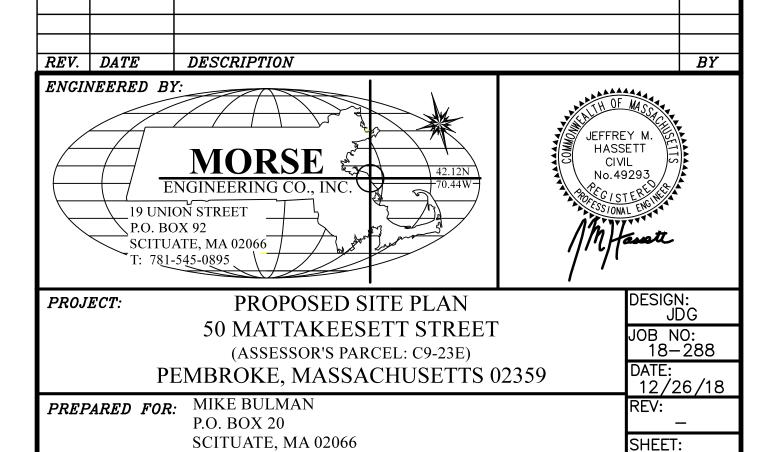
PLAN REFERENCES

PLAN BOOK 31, PAGE 824
 PLAN BOOK 25, PAGE 268
 PLAN BOOK 32, PAGE 663
 PLAN BOOK 28, PAGE 108

THIS SITE PLAN APPROVAL DOES NOT

PEMBROKE PLANNING BOARD

I, _______ TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE



GENERAL NOTES, LEGEND & ABBREVIATIONS

PLAN TITLE:

PARKING CALCULATIONS SEC. V.4.A.1. OF ZONING BYLAWS: PARKING SUMMARY PROPOSED PARKING LOT DESIGN PROVIDES FOR: (2) HANDICAP SPACES: 12'-0"x 18'-0" C9-23A C9-23A N/F N/F DAVID T. & BARBARA M. DAVID T. & BARBARA ZONING / DIMENSIONAL REQUIREMENTS SOLARI SOLARI W/LEAD PLUG EL=93.46 CENTER PROTECTION DISTRICT VOSSELYN FARM /ww//ww/dnob/ JOSSELYN/FARM CONDOMINION C9 - 23DC9-23D MARK F. & KATHERINE A. MARK F. & KATHERINE A. SAVAGE SAVAGE PROP. WALL-PACK LIGHT (TYP) (SEE ✓ NOTES BELOW) GENTER PROTECTION DISTRICT PROP. BIT. CONC. DRIVE C9-23B RICHARD M. & LINDA M. RICHARD M. & LINDA M. GRAVEL DRIVE MACDONALD MACDONALD C9-99 N/F TREBORNASUS REALTY TRUST TWO TREBORNASUS REALTY TRUST TWO CBN ~Paved Parking Lot~ ~Paved Parking Lot~ S 6572,9.49 S 65,12,9.49 C9 - 23MARY E. & PATRICIA ANN LIGHTING IS UNACCEPTABLE. ALL WHEELER Landscape C9 - 23onc. Walkway MARY E. & PATRICIA ANN FROM BELOW. WHEELER <u>Gravel</u>BH \TANK 2. REFLECTORS OF PROPER DISTRIBUTION MATTAKEËSETT STREET MATTAKEËSETT STREET DEVELOPED. THIS SITE PLAN APPROVAL DOES NOT 3. THE LUMINARIES/LIGHTING FIXTURES SHALL NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW DATE OF ENDORSEMENT: _ <u>C9-23E</u> 65,390± S.F. <u>C9-23E</u> 65,390± S.F. ENGINEERED BY: Sign Conc. Sidewalk R = 3092.66Sign Conc. Sidewalk R = 3092.66Edge of Pavement Edge of Pavement MATTAKEESETT STREET MATTAKEESETT STREET SITE LAYOUT (PUBLIC - 45' WIDE) (PUBLIC - 45' WIDE) SITE LAYOUT PLAN **EXISTING CONDITIONS PLAN** SCALE: 1" = 30'SCALE: 1" = 30'SCALE: 1" = 30'PROJECT: PEMBROKE PLANNING BOARD _ TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT

TWENTY DAYS AFTER RECEIPT AND RECORDING

OF SAID NOTICE

USE	REQUIREMENT	REQUIRED	PROVIDED
OFFICE BUILDING	1 PER 600 S.F. OF RENTABLE SPACE	4968 S.F. / 600 S.F. =9 SPACES (EXISTING BUILDING)	EXISTING= 26 PROPOSED= 21
	TOTAL		21 SPACES

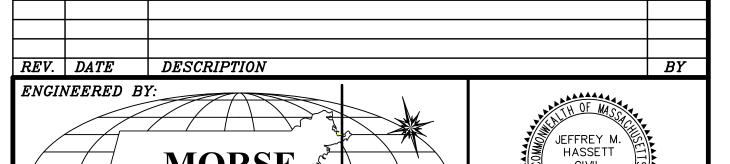
(19) STANDARD PARKING SPACES: 9'-0" x 18'-0"

DIMENSIONAL REGULATIONS

COMPONENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	65,390± S.F. (1.50 ACRES)	NO CHANGE
FRONTAGE	150'	150.0'	NO CHANGE
FRONT YARD SETBACK	40'	72.9'	NO CHANGE
SIDE YARD SETBACK	20'	27.2'	21.1'
REAR YARD SETBACK	20'	246.0'	98.5'
BUILDING FLOOR AREA	15% (MAX) OR 9,000 S.F. (MAX)	7.6 % 4,968 S.F.	13.7% 8,968 S.F.
IMPERVIOUS LOT COVERAGE	65% (MAX)	23.5%	35.2%
OPEN SPACE	35% (MIN)	76.5%	64.8%
BUILDING HEIGHT	2.5 STORIES (MAX) OR 36' (MAX)	<36'	NO CHANGE

CONSTRUCTION NOTES:

- 1. ALL DISTURBED AREAS TO BE LOAMED AND SEEDED TO PREVENT EROSION.
- ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH THE APPLICABLE CODES AND BYLAWS.
- 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 4. THE CONTRACTOR MUST MAINTAIN A CLEAN JOBSITE AND PREVENT THE MIGRATION OF ANY SEDIMENT/DEBRIS ONTO MATTAKEESETT STREET AND ADJACENT PROPERTIES.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- 1. THE LUMINARIES/LIGHTING FIXTURES SHALL BE THE SHOE BOX TYPE OR DECORATIVE IN NATURE (WITH INTERIOR DIRECTIONAL SHIELDS), CONSISTENT WITH THE ARCHITECTURAL THEME OF THE DEVELOPMENT. FLOOD AND AREA
- LUMINARIES/LIGHTING FIXTURES SHALL HAVE A TOTAL CUTÓFF OD ALL LIGHT AT LESS THAT NINETY (90) DEGREES FROM VERTICAL. THE LIGHTING FIXTURE SHALL ONLY BE VISIBLE
- SHALL BE SELECTED FOR MAXIMUM EFFICIENCY. REFLECTORS AND SHIELDING SHALL PROVIDE TOTAL CUTOFF OF ALL LIGHT AT THE PROPERTY LINES OF THE PARCEL TO BE
- NOT EXCEED TWENTY (20) FEET IN HEIGHT OR THE BUILDING'S ROOFLINE WHICHEVER IS LOWER.
- 4. WHERE WALL-PACK TYPE LUMINARIES/LIGHTING FIXTURES ARE UTILIZED FOR OUTDOOR LIGHTING FIXTURES, THE FIXTURE SHALL BE EQUIPPED WITH A PRISMATIC LENS TO REDUCE GLARE. WALL-PACK LIGHTING SHALL BE DESIGNED TO A MAXIMUM CUTOFF C SEVENTY (70) DEGREES FROM VERTICAL. THE LOCATION OF THE WALL-PACK ON THE STRUCTURE SHALL NOT EXCEED 20 FEET IN
- 5. ALL LUMINARIES/LIGHTING FIXTURES SHALL BE RESTRICTED TO A MAXIMUM FOOT-CANDLE LEVEL OF 8.0 (INITIAL), AS MEASURED DIRECTLY BELOW THE FIXTURE AT GRADE.







PROPOSED SITE PLAN

DESIGN: JDG JOB NO: 18-288 12/26/18

PREPARED FOR: MIKE BULMAN P.O. BOX 20

PLAN TITLE: EXISTING CONDITIONS & SITE LAYOUT PLAN

50 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-23E) PEMBROKE, MASSACHUSETTS 02359

> SCITUATE, MA 02066 SHEET:

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: GREGORY J. MORSE, P.E. DEP SOIL EVALUATOR #2906

DATE: SEPTEMBER 25, 2018

A HORIZON

LOAMY SAND 10YR 3/2

EL. 92.2

EL. 86.6

B HORIZON LOAMY SAND 10YR 5/8

C HORIZON LOAMY SAND

2.5Y 5/6

ESHGW: 48" (EL. 90.9)

WEEPING OBSERVED: NONE MOTTLING OBSERVED: 48" (EL. 90.9)

TP-1 APPROX. GRADE EL. 94.9± TP-2 APPROX. GRADE EL. 93.1±

EL. 92.4

EL. 90.3

100" EL. 84.1

A HORIZON

LOAMY SAND 10YR 3/2

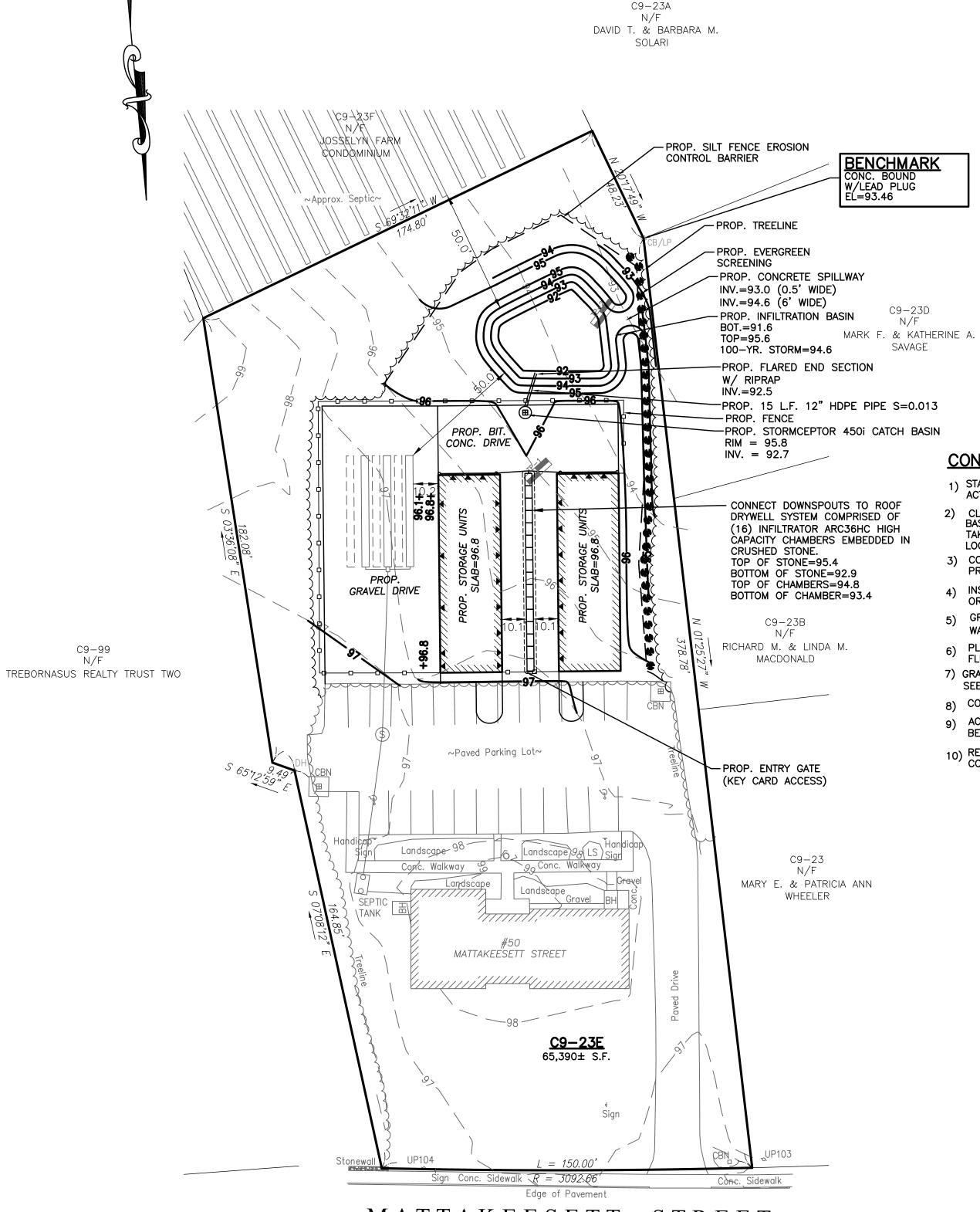
B HORIZON

LOAMY SAND 10YR 5/8

C HORIZON LOAMY SAND

2.5Y 5/6

WEEPING OBSERVED: NONE MOTTLING OBSERVED: 42" (EL. 89.6) ESHGW: 42" (EL. 89.6)



THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW

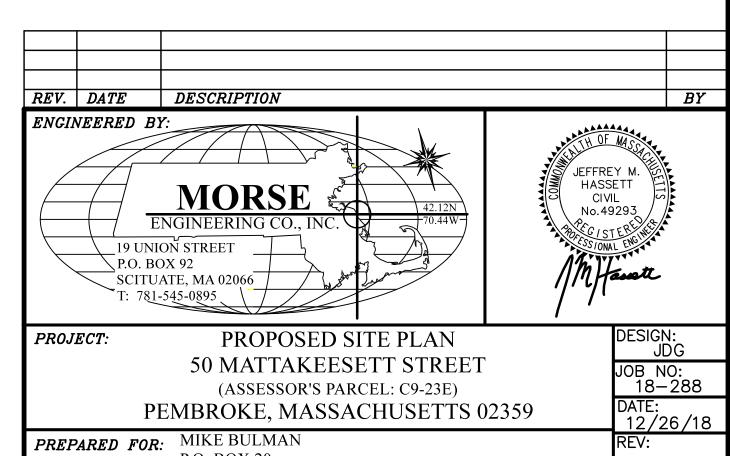
DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD

__ TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE

CONSTRUCTION SEQUENCE

- 1) STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. PLACE BARRIERS AT LOCATIONS INDICATED ON THE SITE PLANS.
- 2) CLEAR AND GRUB LIMITS OF PROPOSED SITE AS REQUIRED FOR THE CONSTRUCTION OF THE STORAGE UNITS, DRIVEWAY, DETENTION BASIN, ROOF DRYWELL SYSTEM AND RELATED INFRASTRUCTURE. ALL BRUSH, TREE LIMBS, TREE TRUNK & STUMP DISPOSAL SHALL TAKE PLACE OFF SITE AND WITHIN 30 DAYS OF CUTTING. ALL DISPOSAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 3) CONSTRUCT CUT AND FILL AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION AS NECESSARY.
- 4) INSTALL ALL DRAINAGE SYSTEM COMPONENTS AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE PROTECTED WITH EROSION CONTROLS OR EQUIVALENT INLET PROTECTION.
- 5) GRADE PARKING LOT TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE
- 6) PLACE GRAVEL SUBBASE AND PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON PARKING LOT. SET CATCH BASIN GRATES FLUSH WITH THE BINDER COURSE.
- 7) GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS.
- 8) COMPLETE FINE GRADING OF SHOULDERS.
- 9) ACTIVATE DRAINAGE SYSTEMS WHEN ALL TRIBUTARY AREAS ARE STABILIZED. ALL CLOSED DRAINAGE PIPES MUST BE FLUSHED PRIOR TO ACTIVATION.
- 10) REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.



SHEET:

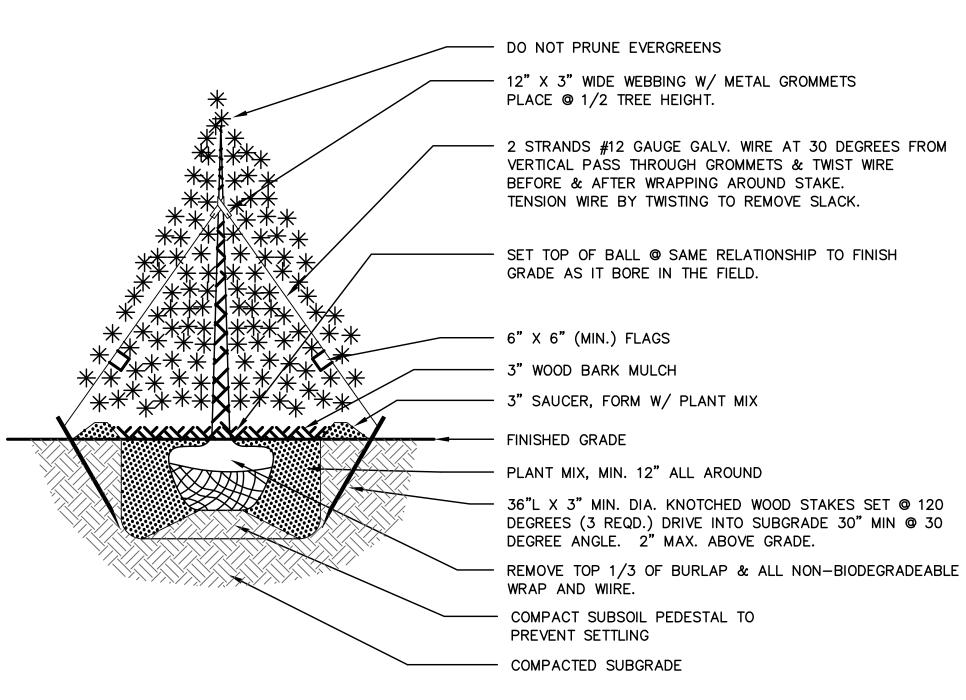
P.O. BOX 20 SCITUATE, MA 02066 PLAN TITLE:

GRADING & UTILITIES PLAN

SITE LAYOUT SCALE: 1" = 30'

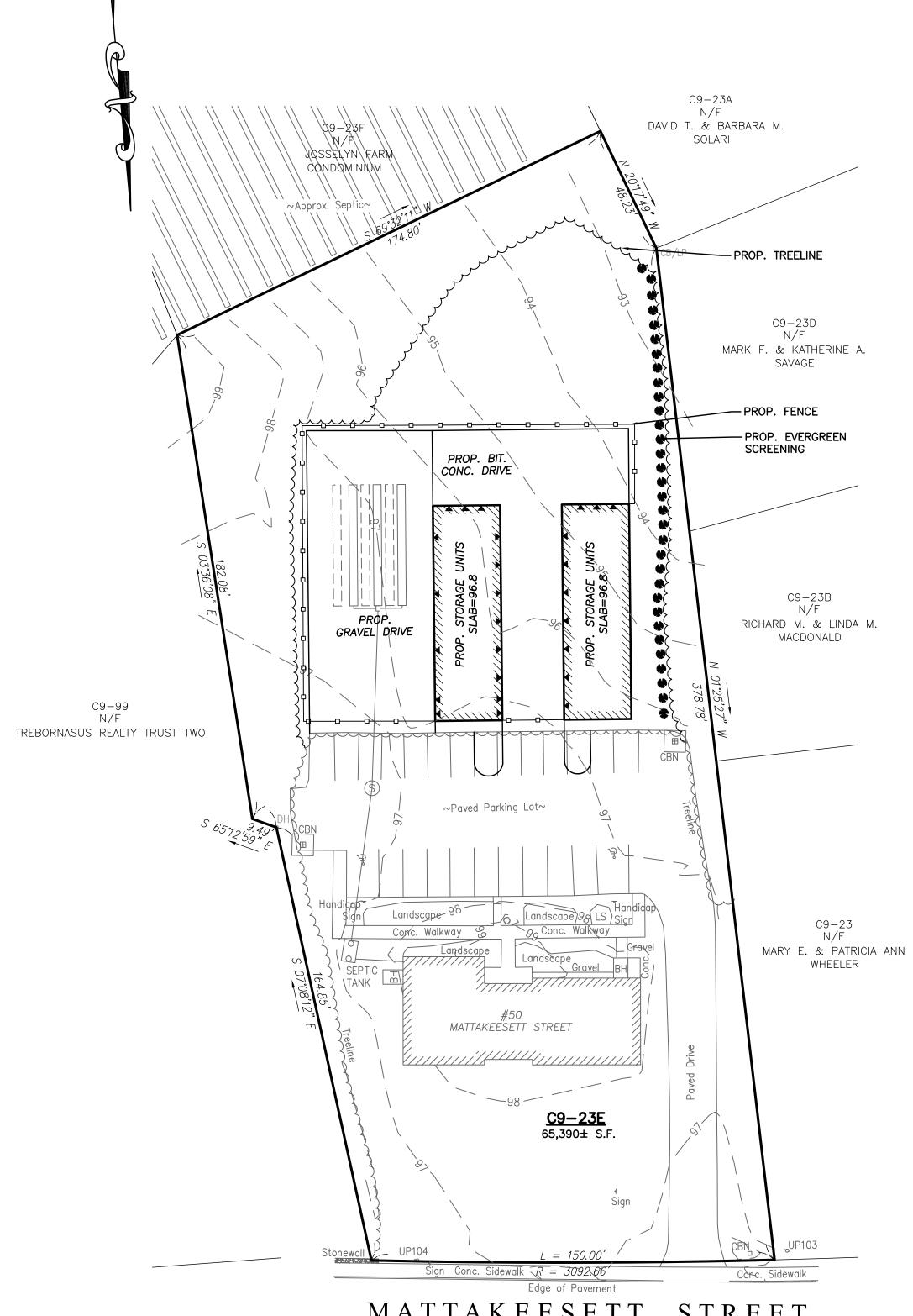
MATTAKEESETT STREET (PUBLIC - 45' WIDE)

GRADING & UTILITIES PLAN SCALE: 1" = 30'



EVERGREEN PLANTING DETAIL

NOT TO SCALE



MATTAKEESETT STREET (PUBLIC - 45' WIDE)

LANDSCAPING PLAN

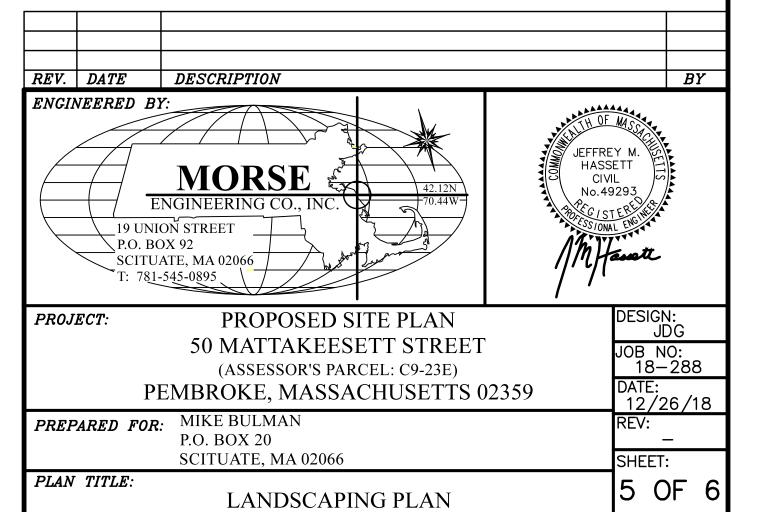
SCALE: 1" = 30'

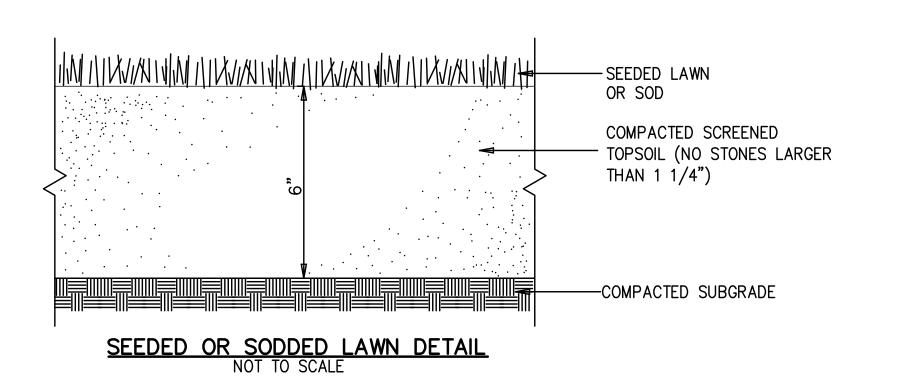
THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW

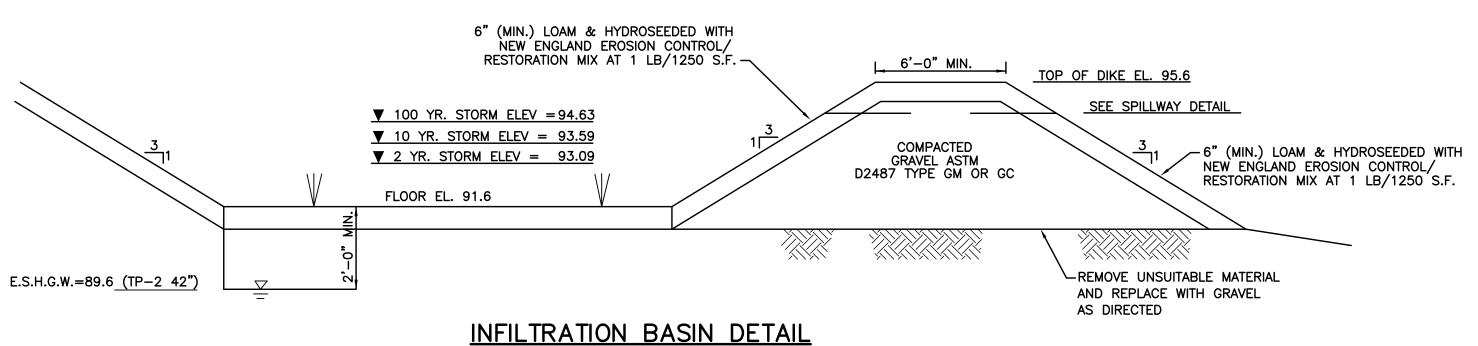
DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD

I, _______TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE







S.F.

THIS SITE PLAN APPROVAL DOES NOT

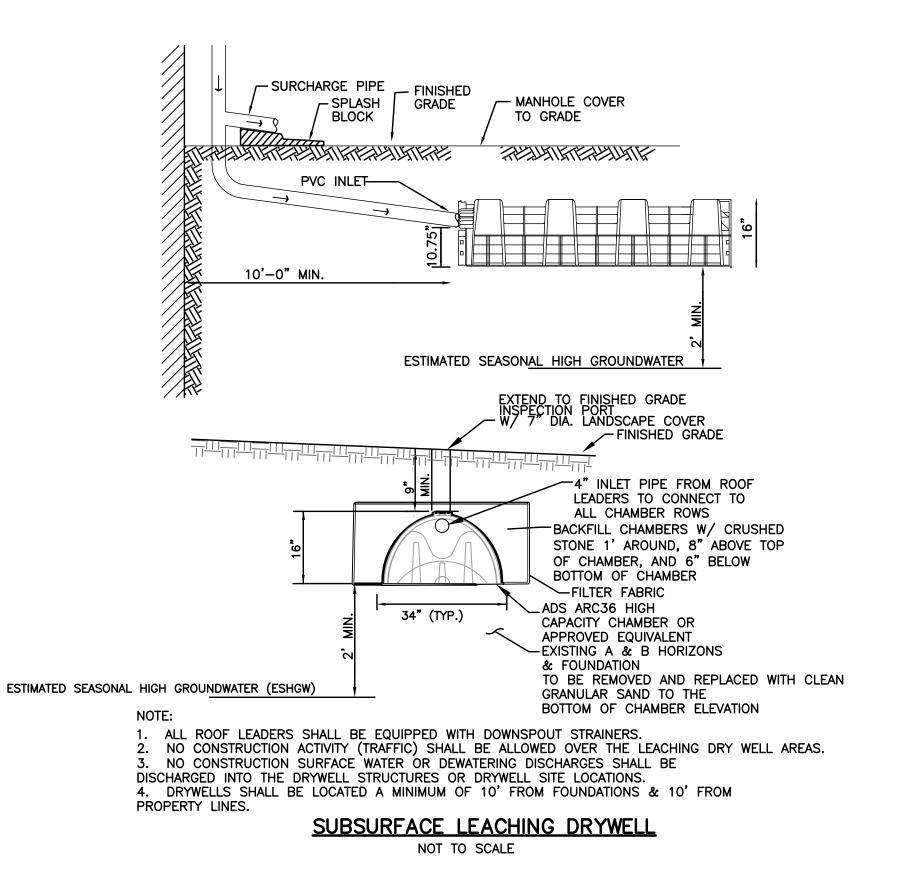
WITH THE PEMBROKE ZONING BY-LAW

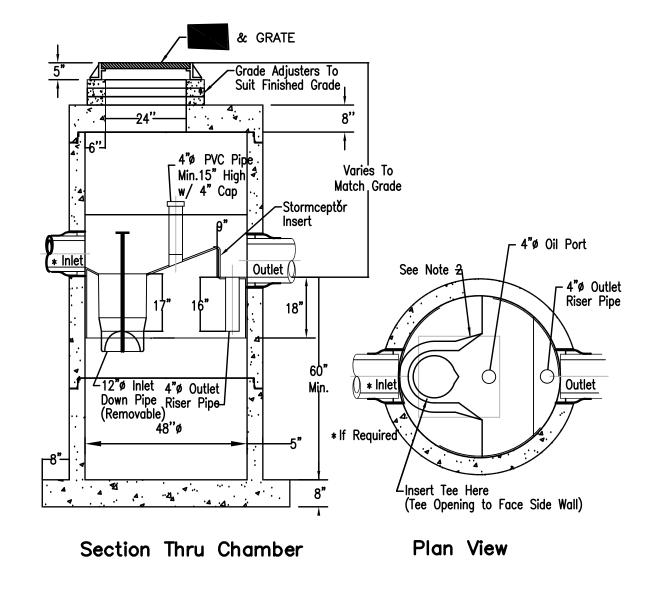
NECESSARILY INDICATE COMPLIANCE

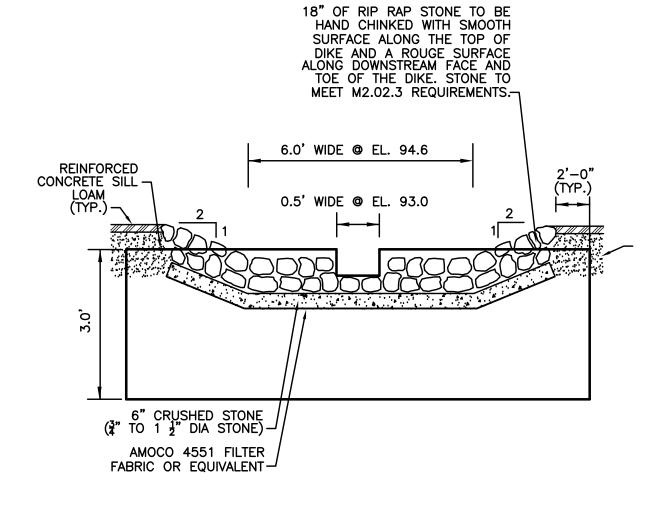
DATE OF ENDORSEMENT: _

PEMBROKE PLANNING BOARD

I, _______ TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE





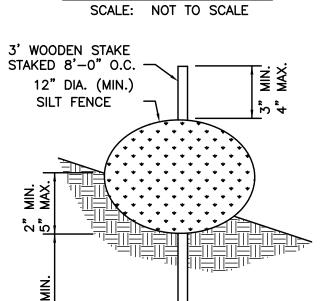


STORMCEPTOR STC-450 DETAIL

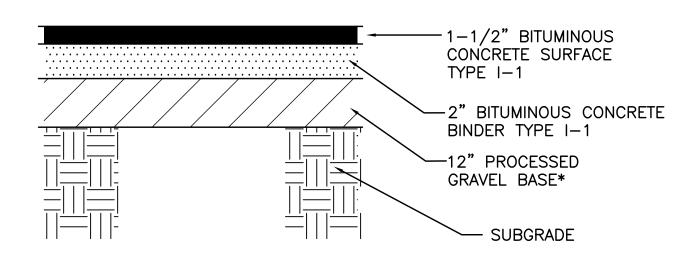
SCALE: N.T.S.

INFILTRATION BASIN CONC. SPILLWAY DETAIL

NOT TO SCALE

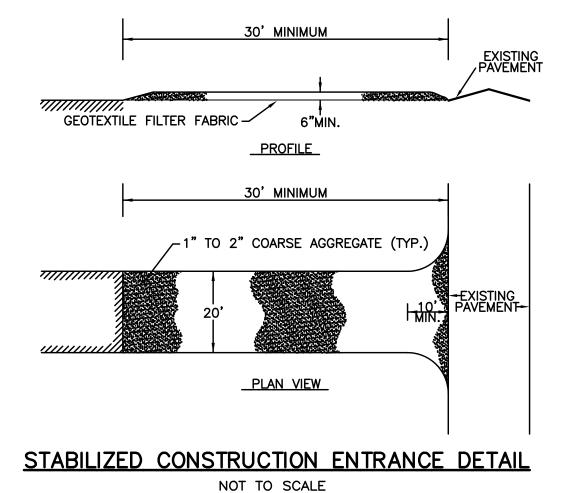


SILT FENCE DETAIL



BITUMINOUS CONCRETE PAVEMENT DETAIL FOR PARKING AREAS

SCALE: N.T.S.



REV.	DATE	DESCRIPTION		BY	7
ENGII	19 UN P.O. I SCIT	MORSE STREET BOX 92 UATE, MA 02066 11-545-0895	JEFFRE HASS CIV No.4:	SETT /IL 9293	
PROJ	ECT:	PROPOSED SITE PLAN	7	DESIGN: JDG	
		50 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-23E)		JOB NO: 18-288	<u> </u>
	I	PEMBROKE, MASSACHUSETTS ()2359	DATE: 12/26/1	8
PREF	PARED FO	R: MIKE BULMAN P.O. BOX 20		REV:	
		SCITUATE, MA 02066		SHEET:	
PLAN	TITLE:	CONSTRUCTION DETAILS		6 OF	6