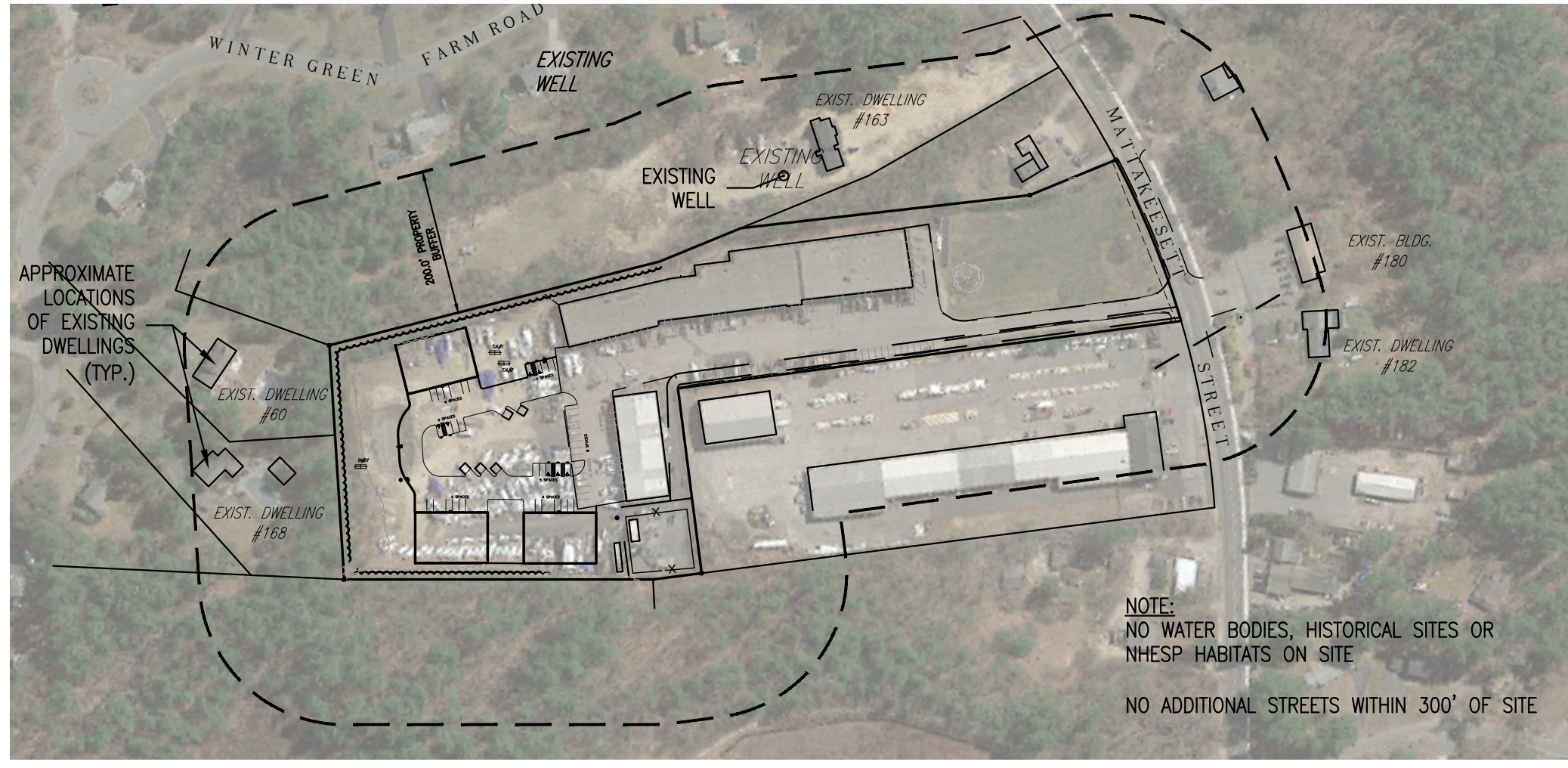
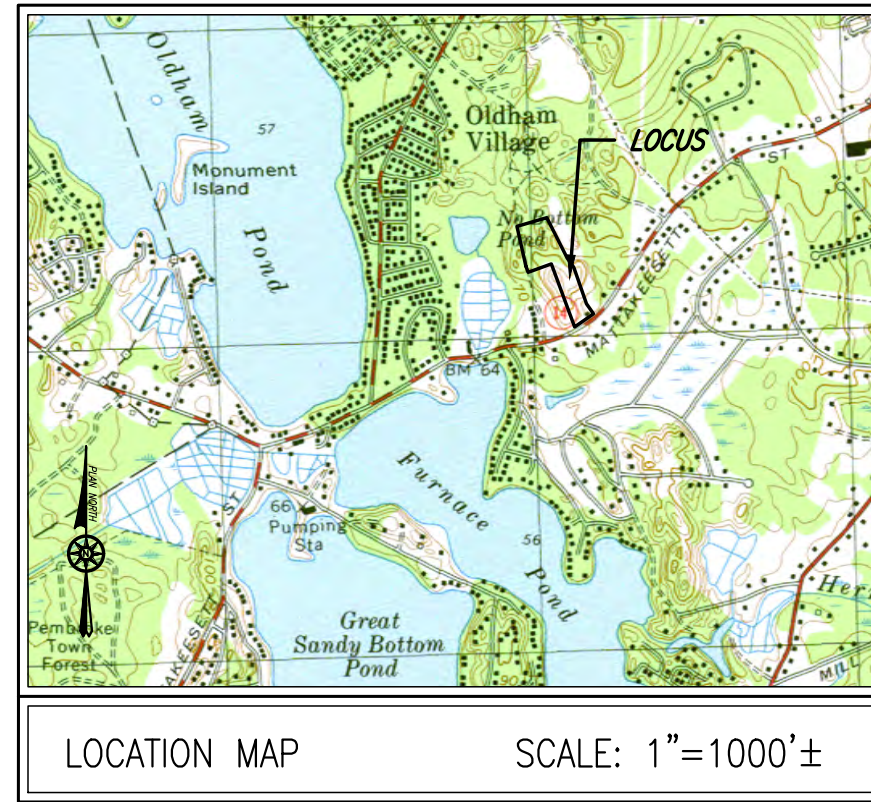




LOCUS - 200' PROPERTY BUFFER
1"=200'

ZONING DATA

DISTRICT: BUSINESS A + WATERSHED PROTECTION DISTRICT
EXISTING USE: WAREHOUSE/STORAGE/INDUSTRIAL
PROPOSED USE: WAREHOUSE/STORAGE/INDUSTRIAL
PARCEL SIZE: 321,315 S.F.

DIMENSIONAL REQUIREMENTS

USE	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000S.F.	321,315 S.F.	321,315 S.F.
FRONTAGE	150 FT	240.0'	240.0'
FRONT YARD	40 FT	306.2± FT	306.2 FT
SIDE YARD	20 FT	22.17± FT	22 FT
REAR YARD	25 FT	320.8± FT	28.8 FT
MAX BUILDING COVERAGE	45% (MAX)	13.6%	20.1%
MAX. LOT COVERAGE	60% (MAX)	110,818 SF (34.5%)	176,586 SF (54.9%)
OPEN SPACE	35% (MIN)	65.5%	45.1%

PARKING CALCULATIONS

USE	REQUIREMENT	REQUIRED	PROVIDED
WAREHOUSE/STORAGE/INDUSTRIAL	1 PER 3 EMPLOYEES EMPLOYED AT ANY ONE PEAK PERIOD	83+42/3=98	EXISTING = 83 PROPOSED = 18 TOTAL = 101

PARKING SUMMARY
PROPOSED PARKING LOT DESIGN PROVIDES FOR:
(107) STANDARD PARKING SPACES: 9'-0" x 18'-0"
(7) HANDICAP SPACES: 9'-0" x 18'-0"

PROPOSED PARKING:	REQUIRED	EXISTING	PROPOSED
BUILDINGS #1-3 (7,000 SF PER BLDG)			
WAREHOUSE 21,000 SF (1 SP/3 EMPLOYEES)	= 15 SPACES	N/A	25 SPACES
EXISTING BUILDING A,B&C		83 SPACES (-7 SPACES)	
TOTALS			101 SPACES

WAIVER REQUESTS

- THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENT OF A THREE (3) FOOT WIDE LANDSCAPE STRIP ALONG FOUNDATION WALLS TO BE CONSISTENT WITH THE REST OF THE SITE.
- THE APPLICANT REQUESTS A WAIVER TO THE REQUIREMENT OF FIVE (5) PERCENT OF PARKING AREA AS MAINTAINED LANDSCAPING (WITHIN THE INTERIOR OF THE PARKING AREA). THERE ARE NO INTERIOR ISLANDS DUE TO EXISTING USE.
- THE APPLICANT REQUESTS A WAIVER FROM SECTION 5.1.5, LANDSCAPED BUFFER STRIP WITH A MINIMUM WIDTH OF 50 FEET. STOCKADE FENCING WAS ADDED ALONG THE NORTHERN PROPERTY TO PROTECT NEIGHBORING RESIDENCES.
- THE APPLICANT REQUESTS A WAIVER FROM SECTION 5.3.2.1, OF A TWENTY-FIVE (25) FOOT BUFFER SCREEN BETWEEN ALL DETENTION OR SILTATION STRUCTURES. STOCKADE FENCING WAS ADDED ALONG WITH APPROXIMATELY TWELVE (12) FEET OF EXISTING VEGETATION TO PROTECT THE NEIGHBORING RESIDENCES.
- THE APPLICANT REQUESTS A WAIVER TO THE REQUIREMENT OF GROUND INFILTRATION BY MEANS OF LEACHING PITS. AN OPEN BASIN AND STORAGE CHAMBERS WERE USED TO MAXIMIZE THE PROPOSED SITES USE OF STORAGE.
- THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENT OF CURBING TO BE PLACED AT THE EDGES OF ALL PAVED SURFACES. CURBING WAS USED IN AREAS TO DIRECT RUNOFF INTO PROPOSED DRAIN INLETS. CURBING AROUND THE REST OF THE PAVED EDGES WOULD BE PROHIBITIVE TO THE SITES CURRENT USE.

SHEET INDEX	
SHEET 1	COVER
SHEET 2	EXISTING CONDITIONS
SHEET 3	SITE PLAN
SHEET 4	LANDSCAPE PLAN
SHEET 5	LIGHTING AND TURN RADIUS
SHEET 6	DETAILS
SHEET 7	DETAILS (SEPTIC)
SHEET 8	DETAILS (STORMWATER & LANDSCAPE)
SHEET 9	STORMWATER PRE-DEVELOPMENT
SHEET 10	STORMWATER POST-DEVELOPMENT

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BYLAW

DATE APPROVED: _____

DATE SIGNED: _____

PEMBROKE TOWN CLERK

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE: _____

TOWN CLERK, TOWN OF PEMBROKE:

SITE PLAN APPROVAL REQUIRED PER PEMBROKE ZONING BYLAW SECTION V.7.B



Douglas Bailey
DOUGLAS BAILEY, P.L.S.

DATE

SITE PLAN

#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=40"
JOB No. 18-181



GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



APPROXIMATE TEMPORARY EASEMENT
(SEE DOC. 736380)
PLBK 59 PG 1052

MAP B8 LOT 304A
N/F WILLIAM C. MORROS

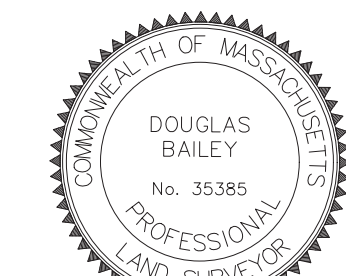
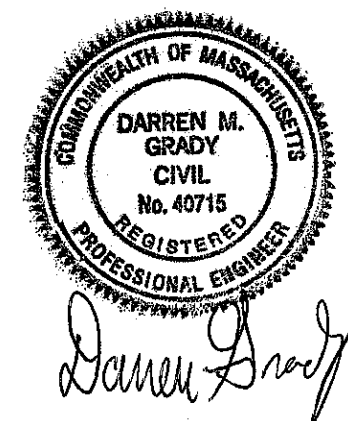
MAP B8, PARCEL 339
TOTAL AREA = 7.38± ACRES
(ALL UPLAND)

NOTES:

1. PROPERTY LINE DATA FROM LAND COURT PLAN #36887D
2. TOPOGRAPHIC SURVEY BY GRADY CONSULTING, JUNE 18, 2018.
3. NO KNOWN WELLS EXIST WITHIN 200' OF THE PROPOSED SYSTEM.
4. THE SITE IS NOT LOCATED IN AN AQUIFER PROTECTION ZONE II.
5. THE SITE IS NOT LOCATED IN A FLOOD PLAIN DISTRICT.
6. SUBJECT SITE IS IN THE "BUSINESS A" ZONE AS DESCRIBED IN THE TOWN OF PEMBROKE ZONING BYLAW.
7. EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY AND RECORD INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. GRADY CONSULTING, L.L.C. DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
8. LAND IS SUBJECT TO AN EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY DOC.# 619728

LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	CONTOUR
	EDGE OF PAVEMENT
	FENCE
	FENCE
	FENCE
	WATER LINE
	ELECTRIC LINE
	ELECTRIC LINE
	GAS LINE
	SEWER LINE
	DRAIN LINE
	WETLAND LINE
	TEST HOLE



Douglas Bailey
DOUGLAS BAILEY, P.L.S.

DATE

SITE PLAN

#171 MATTAKEESETT STREET PEMBROKE, MASSACHUSETTS

RECORD OWNER:
ASSESSOR MAP B8-339

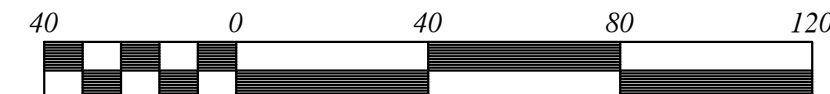
PELINO A. GIOIOSO
#5 MCANDREW ROAD
BRAintree, MA 02184
CERT. 118463
PLAN #36687C

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

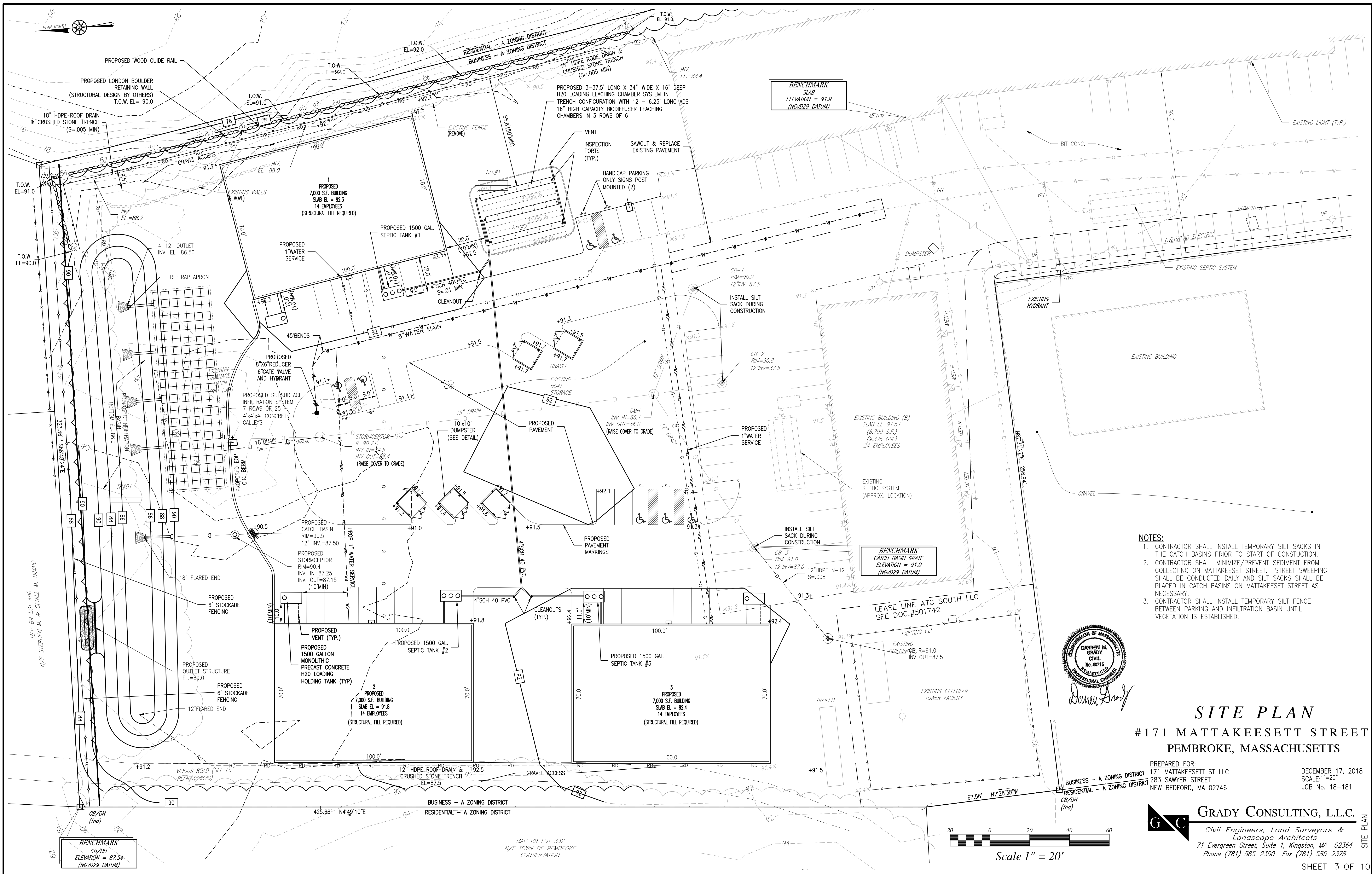
DECEMBER 17, 2018
SCALE: 1"=40'
JOB No. 18-181

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors &
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71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

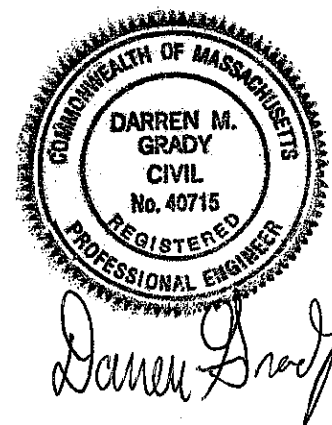
SHEET 2 OF 10



Scale 1" = 40'



- NOTES:
1. CONTRACTOR SHALL INSTALL TEMPORARY SILT SACKS IN THE CATCH BASIN PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MINIMIZE/PREVENT SEDIMENT FROM COLLECTING ON MATTAKEESSET STREET. STREET SWEEPING SHALL BE CONDUCTED DAILY AND SILT SACKS SHALL BE PLACED IN CATCH BASINS ON MATTAKEESSET STREET AS NECESSARY.
 3. CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCE BETWEEN PARKING AND INFILTRATION BASIN UNTIL VEGETATION IS ESTABLISHED.



SITE PLAN
#171 MATTAKEESSET STREET
PEMBROKE, MASSACHUSETTS

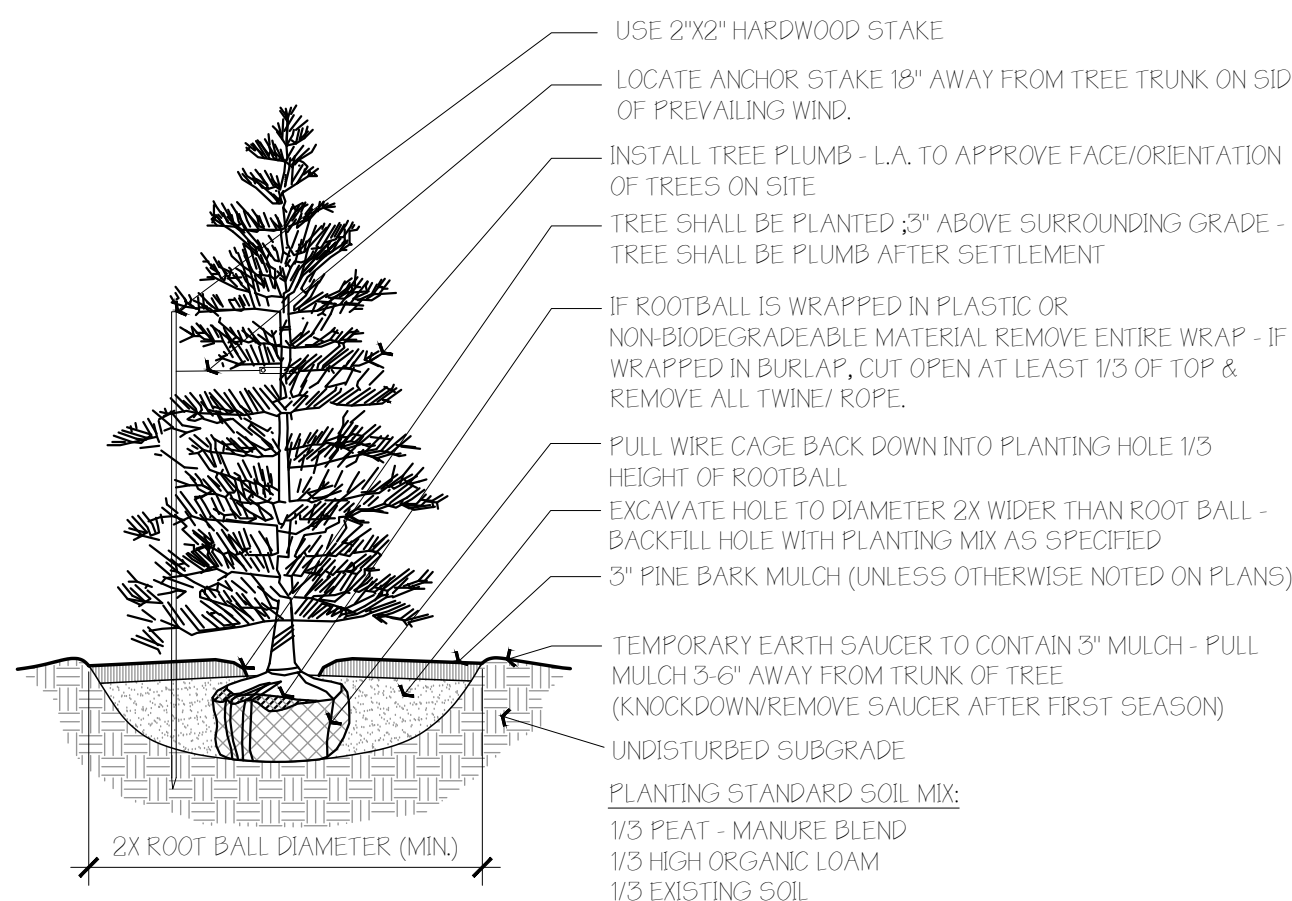
PREPARED FOR:
171 MATTAKEESSET ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=20'
JOB No. 18-181

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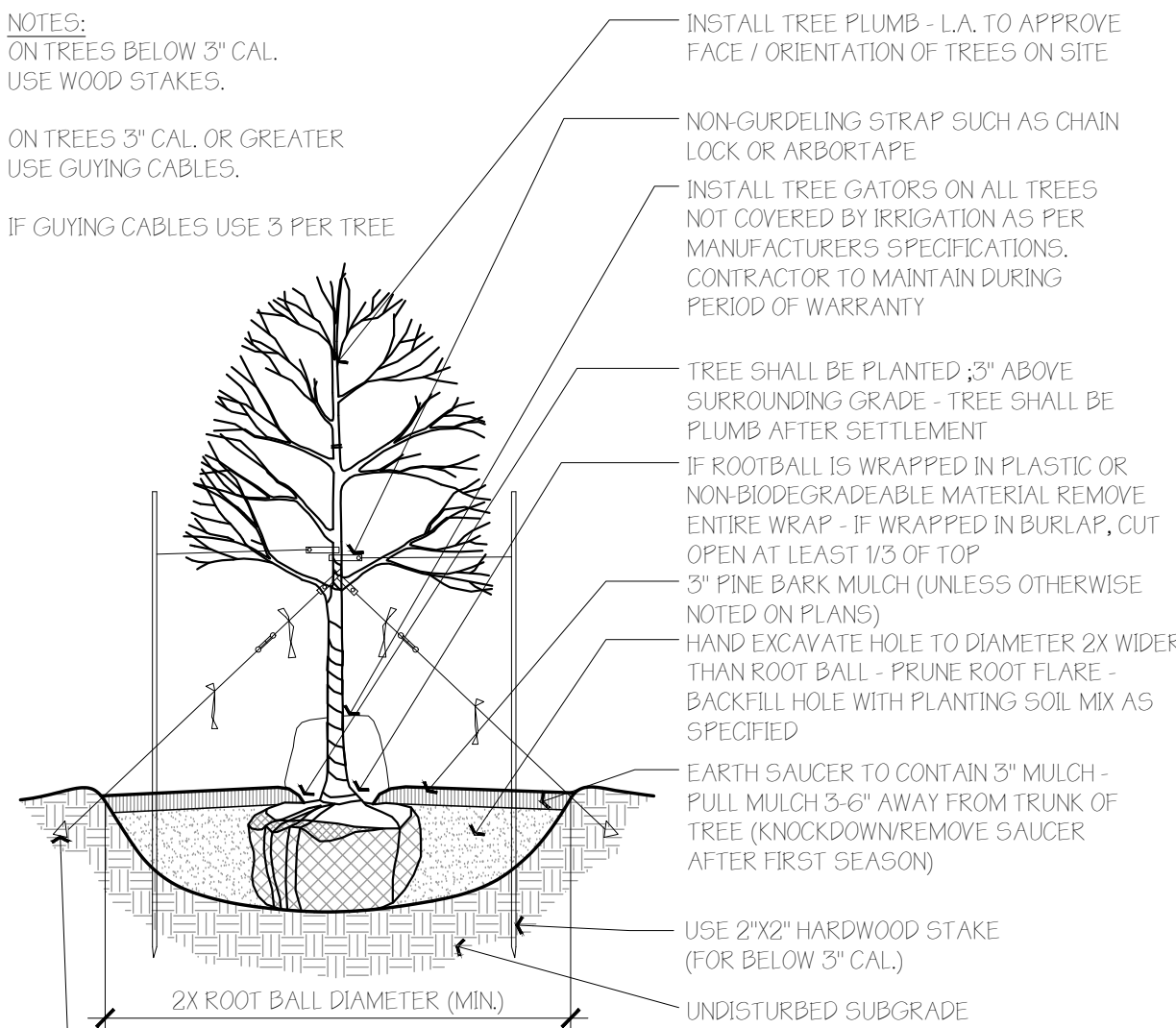
PLANT SCHEDULE

CLUMP TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	2018-12-17 11:39
BET NIG	4	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	B & B	10-12' HGT.	SIZE
DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
ACE RUB	4	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	B & B	4" CAL	
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
PIN STR	37	PINUS STROBUS / WHITE PINE	B & B	6-7' HGT.	

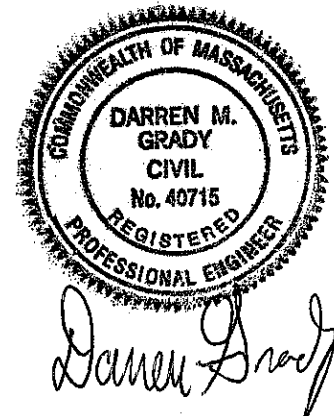


EVERGREEN TREE DETAIL

NOTES:
ON TREES BELOW 3" CAL.
USE WOOD STAKES.
ON TREES 3" CAL OR GREATER
USE GUYING CABLES.
IF GUYING CABLES USE 3 PER TREE



SHADE / FLOWERING TREE DETAIL



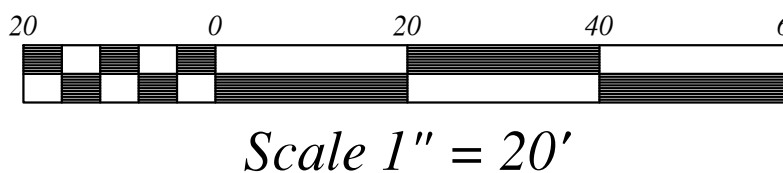
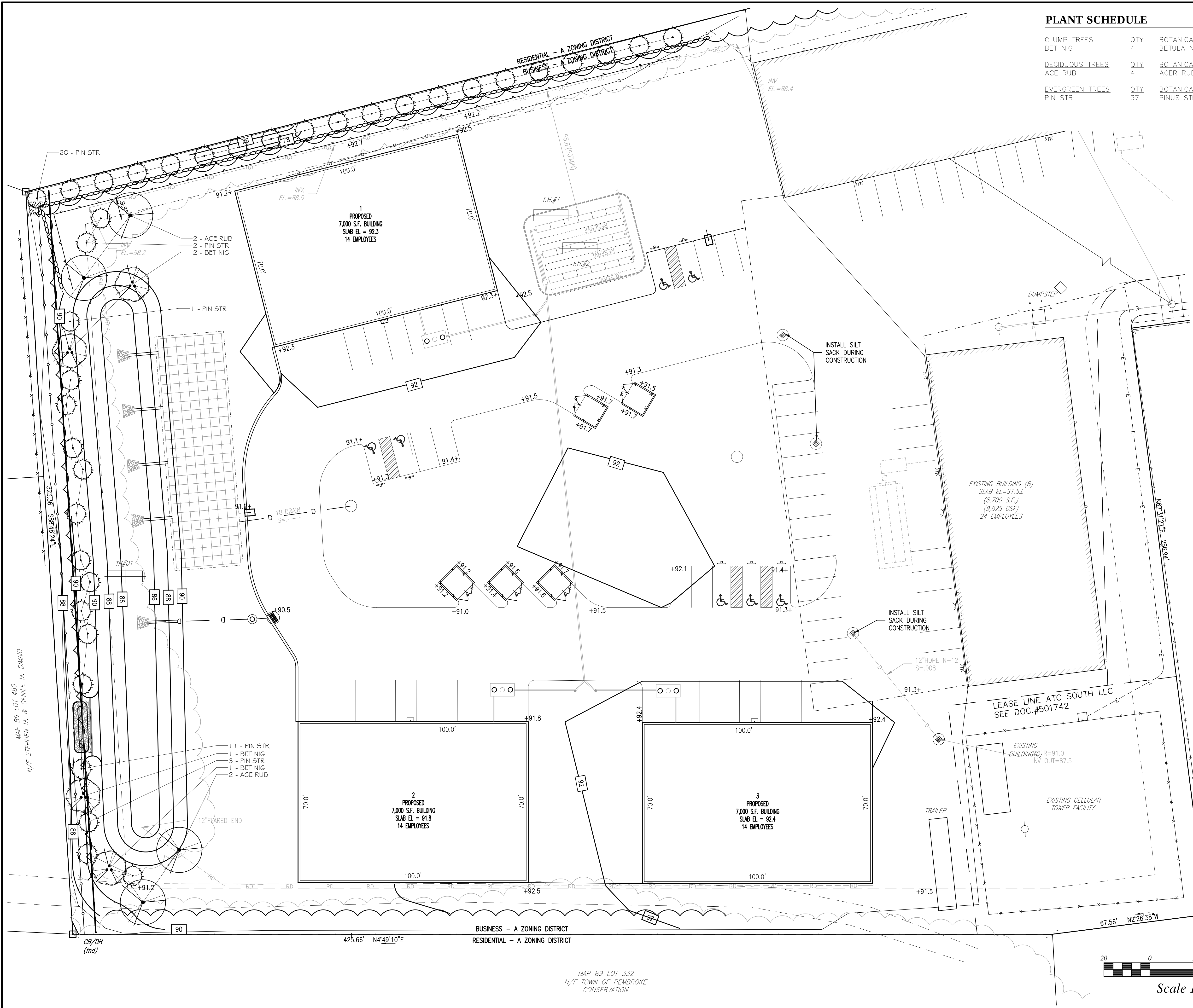
SITE PLAN
#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
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283 SAWYER STREET
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DECEMBER 17, 2018
SCALE: 1"=20'
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SHEET 4 OF 10



Scale 1" = 20'

LANDSCAPE PLAN

SQUARE STRAIGHT ALUMINUM (SA)																
PULL SHIM			BASE PLATE													
The pole shaft of a standard 6061 T6 aluminum alloy aluminum bracket is certified and finished to 100. The pole end of the shaft is used for mounting brackets. The aluminum alloy shaft is finished to 100. The aluminum alloy shaft is finished to 100. The aluminum alloy shaft is finished to 100.																
HANDHOLE			ANCHOR BOLT													
The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy. The handhole is made of 6061 T6 aluminum alloy.																
FINISH			ANCHOR BOLT													
The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy. The finish is made of 6061 T6 aluminum alloy.																
SA40070-T6-EM10-BC																
CATALOG LOGIC					DESCRIPTION											
Series		SA			Square Baseplate											
Base Diameter		400			4.0" Base Diameter											
Thickness		.060			.060" Thickness											
Nominal Length		24			24" Length											
Finish		T6			Color is to be determined											
Mounting Description					EM10											
Options					Base Case											
EM10		EM10			EM10											
EM10		EM10			EM10											
EM10		EM10			EM10											
EM10		EM10			EM10											
EM10		EM10			EM10											
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EM10		EM10			EM10											
EM10		EM10			EM10											
EM10		EM10			EM10											

[illegible]

Medium Heat Sink Led Wall Pack

AVAILABLE FIXTURE DIMENSIONS

Dimensions shown are for Standard size. Mounting options may be subject to availability.

PHOTOMETRICS

Beam Spread: 120°

Typical & Estimated mounting heights:

150W: 10-12' (3-4m)

300W: 15-20' (4.5-6m)

600W: 20-25' (6-7.5m)

1200W: 25-30' (7.5-9m)

2400W: 30-35' (9-10.5m)

4800W: 35-40' (10.5-12m)

9600W: 40-45' (12-13.5m)

19200W: 45-50' (13.5-15m)

38400W: 50-55' (15-16.5m)

76800W: 55-60' (16.5-18m)

153600W: 60-65' (18-19.5m)

307200W: 65-70' (19.5-21m)

614400W: 70-75' (21-22.5m)

1228800W: 75-80' (22.5-24m)

2457600W: 80-85' (24-25.5m)

4915200W: 85-90' (25.5-27m)

9830400W: 90-95' (27-28.5m)

19660800W: 95-100' (28.5-30m)

39321600W: 100-105' (30-31.5m)

78643200W: 105-110' (31.5-33m)

157286400W: 110-115' (33-34.5m)

314572800W: 115-120' (34.5-36m)

629145600W: 120-125' (36-37.5m)

1258291200W: 125-130' (37.5-39m)

2516582400W: 130-135' (39-40.5m)

5033164800W: 135-140' (40.5-42m)

10066329600W: 140-145' (42-43.5m)

20132659200W: 145-150' (43.5-45m)

40265318400W: 150-155' (45-46.5m)

80530636800W: 155-160' (46.5-48m)

161061273600W: 160-165' (48-49.5m)

322122547200W: 165-170' (49.5-51m)

644245094400W: 170-175' (51-52.5m)

1288490188800W: 175-180' (52.5-54m)

2576980377600W: 180-185' (54-55.5m)

5153960755200W: 185-190' (55.5-57m)

10307921510400W: 190-195' (57-58.5m)

20615843020800W: 195-200' (58.5-60m)

41231686041600W: 200-205' (60-61.5m)

82463372083200W: 205-210' (61.5-63m)

164926744166400W: 210-215' (63-64.5m)

329853488332800W: 215-220' (64.5-66m)

659706976665600W: 220-225' (66-67.5m)

1319413953331200W: 225-230' (67.5-69m)

2638827906662400W: 230-235' (69-70.5m)

5277655813324800W: 235-240' (70.5-72m)

10555311626649600W: 240-245' (72-73.5m)

21110623253299200W: 245-250' (73.5-75m)

42221246506598400W: 250-255' (75-76.5m)

84442493013196800W: 255-260' (76.5-78m)

168884986026393600W: 260-265' (78-79.5m)

337769972052787200W: 265-270' (79.5-81m)

675539944105574400W: 270-275' (81-82.5m)

1351079888211148800W: 275-280' (82.5-84m)

ADDITIONAL FIXTURE ACCESSORIES

Adjustable Mounting

Adjustable Mounting for

Luminaire Location Summary			
LumNo	Label	Z	Tilt
1	A	20	0
2	A	20	0
3	B	18	0
4	B	18	0
5	B	18	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.38	11.0	0.0	N.A.	N.A.
PARKING AND DRIVE	Illuminance	Fc	1.90	11.0	0.0	N.A.	N.A.

COMMONWEALTH OF MASSACHUSETTS
DARREN M. GRADY
CIVIL
No. 40715
REGISTERED
PROFESSIONAL ENGINEER

Darren Grady

DECEMBER 17, 2018
SCALE 1"=20"
JOB No. 18-181

SHEET 5 OF 10



23.00: PARKING AND PASSENGER LOADING ZONES

23.4.6 Access aisles: All accessible spaces shall have access aisles that comply with the following:

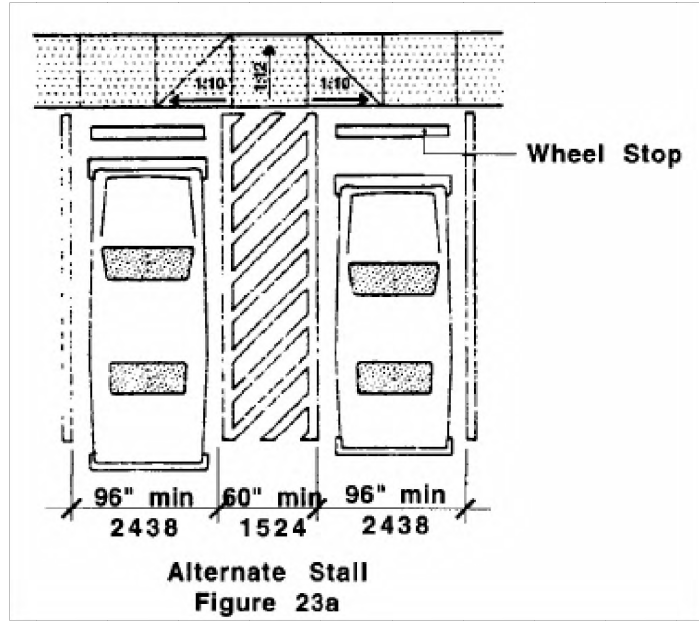
- a. Parking access aisles shall be part of an accessible route to the building or facility entrance and shall comply with 521 CMR 20.00: ACCESSIBLE ROUTE.

Exception: For temporary accessible parking, directional signage along the entire accessible route, using the international symbol of accessibility and an arrow, shall be used to direct people to the closest accessible entrance.

- b. Access aisles adjacent to accessible spaces shall be five feet (5' = 1524mm) wide minimum, except adjacent to van accessible spaces the access aisle shall be a minimum of eight feet (8' = 2438mm) wide.

Exception: When temporary accessible parking is located within a field or otherwise unpaved site, when such area has not been improved in accordance with 521 CMR, the spaces shall be located on the least sloping area of the parking lot in conjunction with the temporary accessible parking spaces.

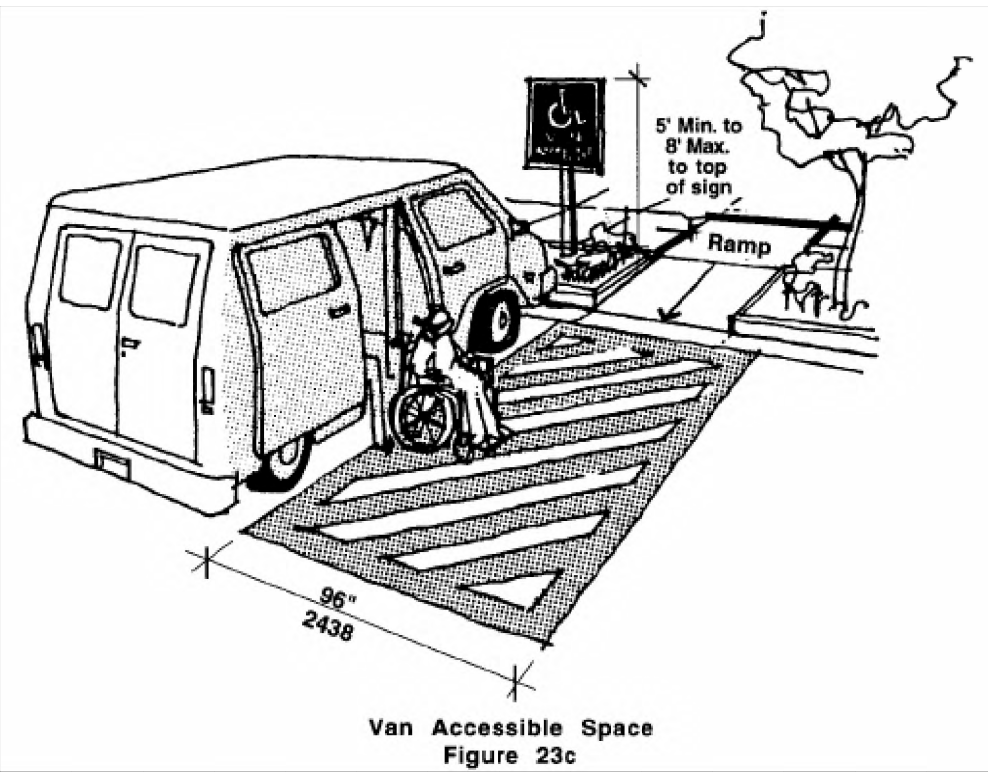
- c. Two accessible parking spaces may share a common access aisle. See Fig. 23a and 23b.



- d. Access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions.
- e. Access aisles shall be clearly marked by means of diagonal stripes.

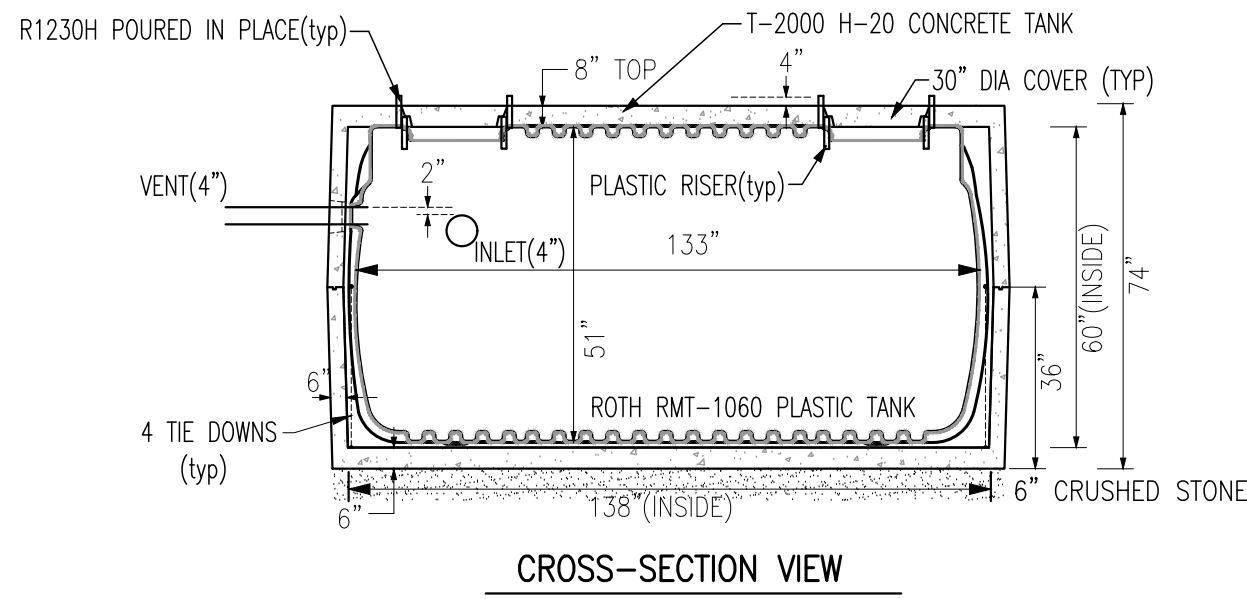
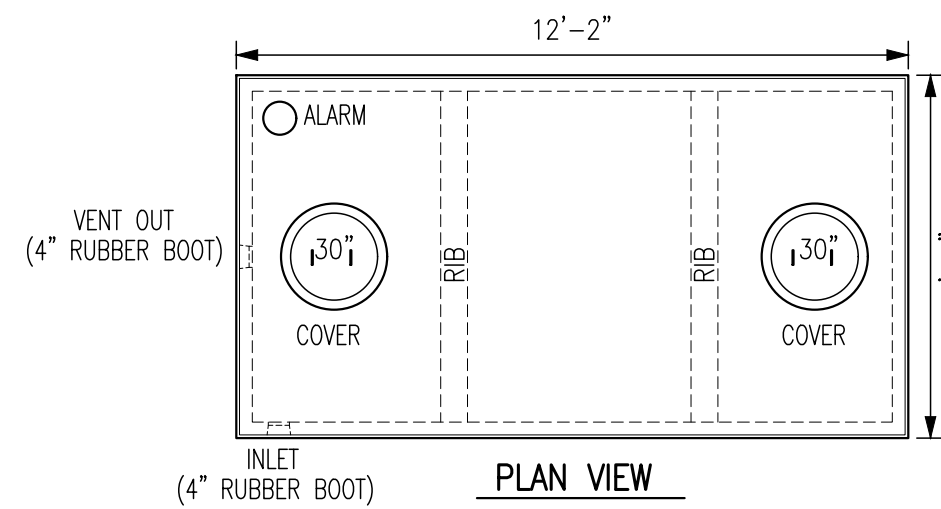
23.4.7 Van Accessible spaces shall comply with the following:

- a. Provide minimum vertical clearance of eight feet, two inches (8'2" = 2489mm) at the parking space and along at least one vehicle access route to such spaces from site entrance(s) and exit(s). See Fig. 23c.



- b. Each space shall have a sign designating it "Van Accessible" as required by 521 CMR 23.6, Signage.
- c. All such spaces may be grouped on one level of a parking structure.
- d. Eight foot minimum (8' = 2438mm) wide space.
- e. Provide an access aisle of eight feet (8' = 2438mm).

ACCESSIBILITY LOADING ZONE (NOT TO SCALE)



HOLDING TANK DETAIL (NOT TO SCALE)

NOTES:

CONCRETE TANK: T-2000 H-20
CONCRETE: 5,000 PSI AFTER 28 DAYS
REINFORCEMENT PER ASTM C1227-93
DISTRIBUTED THROUGH WIGGIN PRECAST CORPORATION(508-564-6776)

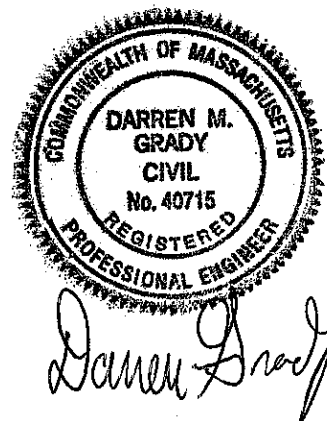
PLASTIC TANK: ROTH MODEL NO. RMT-1060
DISTRIBUTED THROUGH CAPE COD WINWATER WORKS(508-862-0166)

INSTALLER TO COORDINATE WITH WIGGIN PRECAST & CAPE COD WINWATER WORKS FOR CONSTRUCTION OF THE HOLDING TANK.

SPECIAL INSTRUCTIONS & NOTES FOR HOLDING TANK INSTALLATION:

1. THE TANK SHALL BE INSTALLED ONTO A LEVEL (AND COMPACTED) BED OF SAND.
2. HOLDING TANK TO BE INSPECTED EVERY 3 MONTHS TO ENSURE PROPER OPERATION AND MAINTENANCE 310 CMR 15.260 (I).
3. THE HOLDING TANK WILL BE WATERPROOF AND WATERTIGHT 310 CMR 15.260 (J).
4. VENTING SHALL BE PROVIDED THROUGH THE ROOF OF THE BUILDING IN ACCORDANCE WITH THE MASSACHUSETTS PLUMBING CODE.
5. INSTALL RHOMBUS TANK ALERT 2 HIGHWATER ALARM WITH SLIDE RAIL FLOAT.

FAILURE BY THE APPLICANT TO PROPERLY MAINTAIN THE HOLDING TANK MAY CONSTITUTE GROUNDS FOR THE REVOCATION OF THE HOLDING TANK PERMIT.



CONSTRUCTION NOTES

GENERAL:

1. TOPOGRAPHIC SURVEY BY GRADY CONSULTING, L.L.C. JUNE 2018.
2. REFERENCE: ASSESSORS MAP 8 LOT 18, 44.
3. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES.
5. CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7233) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION.
6. UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE DEPARTMENT OR COMPANY. THE CONTRACTOR SHALL NOTIFY THE PEMBROKE D.P.W. AT LEAST 4 DAYS PRIOR TO CONSTRUCTION OF DRAINAGE & WATER SYSTEMS.
7. ALL STUMPS SHALL BE DISPOSED OFF SITE.
8. CONTRACTOR SHALL CONTROL DUST FROM CONSTRUCTION OPERATIONS WITH A WATERING TRUCK OR OTHER APPROVED METHODS

DRAINAGE SYSTEM NOTES:

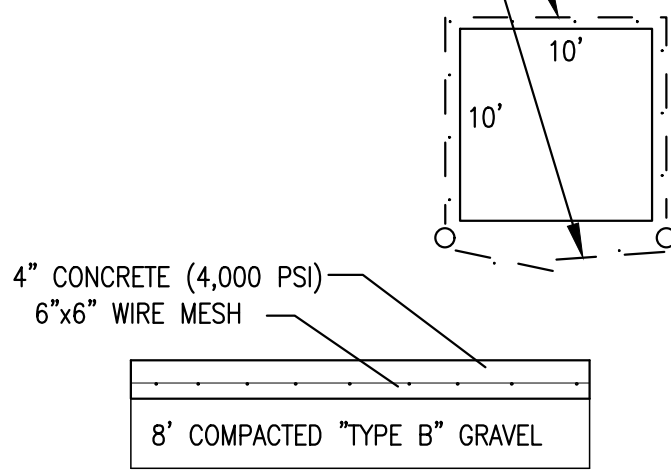
1. CONTACT THE DESIGN ENGINEER FOR APPROVAL OF ANY CONSTRUCTION PHASE CHANGES.
2. CONTRACTOR TO AVOID SOILS COMPACTION WITHIN DRAINAGE SYSTEM AREA. CONTRACTOR SHOULD AVOID MACHINERY OR VEHICLE USE OVER STORM WATER SYSTEMS.

CONSTRUCTION SEQUENCE:

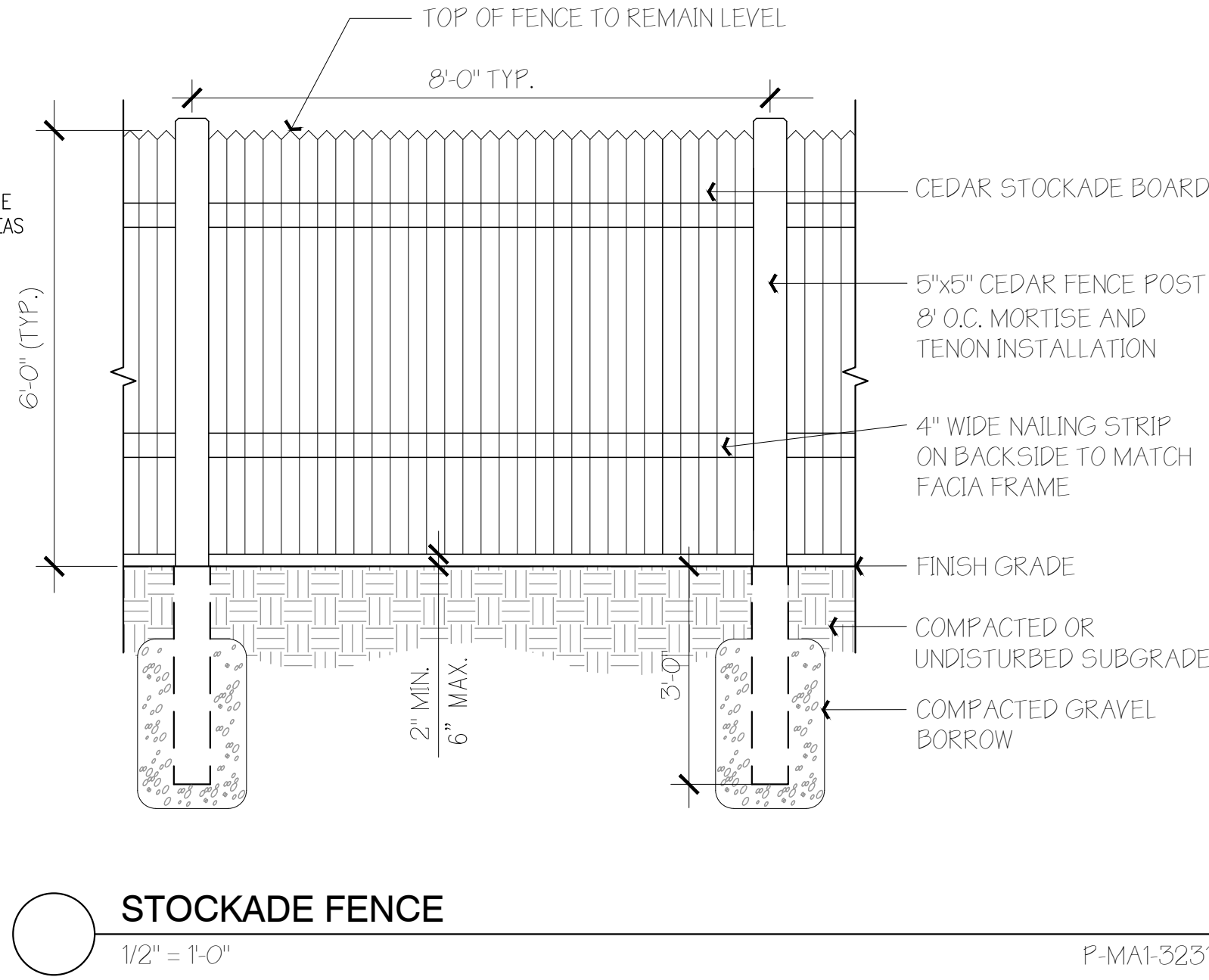
STAKE LIMIT OF WORK CLEARING
CLEAR AND GRUB SITE AREAS
BRING CUT AREAS TO SUBGRADE
STAKE BUILDINGS, PARKING LOT & DRAINAGE BASIN LOCATION
PLACE FILL MATERIAL TO BASE COURSE
INSTALL DRAINAGE STRUCTURES
COMPLETE FINISH GRADING
INSTALL/RAISE MANHOLE STRUCTURES (DRAIN, SEWER) TO FINISH GRADE
LOAM & SEED DISTURBED AREAS, MULCH AND PLANT LANDSCAPE AREAS
INSTALL FINISH PAVEMENT COAT
SCHEDULE FINAL SITE INSPECTION FOR CERTIFICATION
REMOVE SEDIMENT CONTROLS

6" STOCKADE FENCE OR APPROVED EQUAL

6" CHAIN LINK FENCE GATE WITH SCREEN OR APPROVED EQUAL

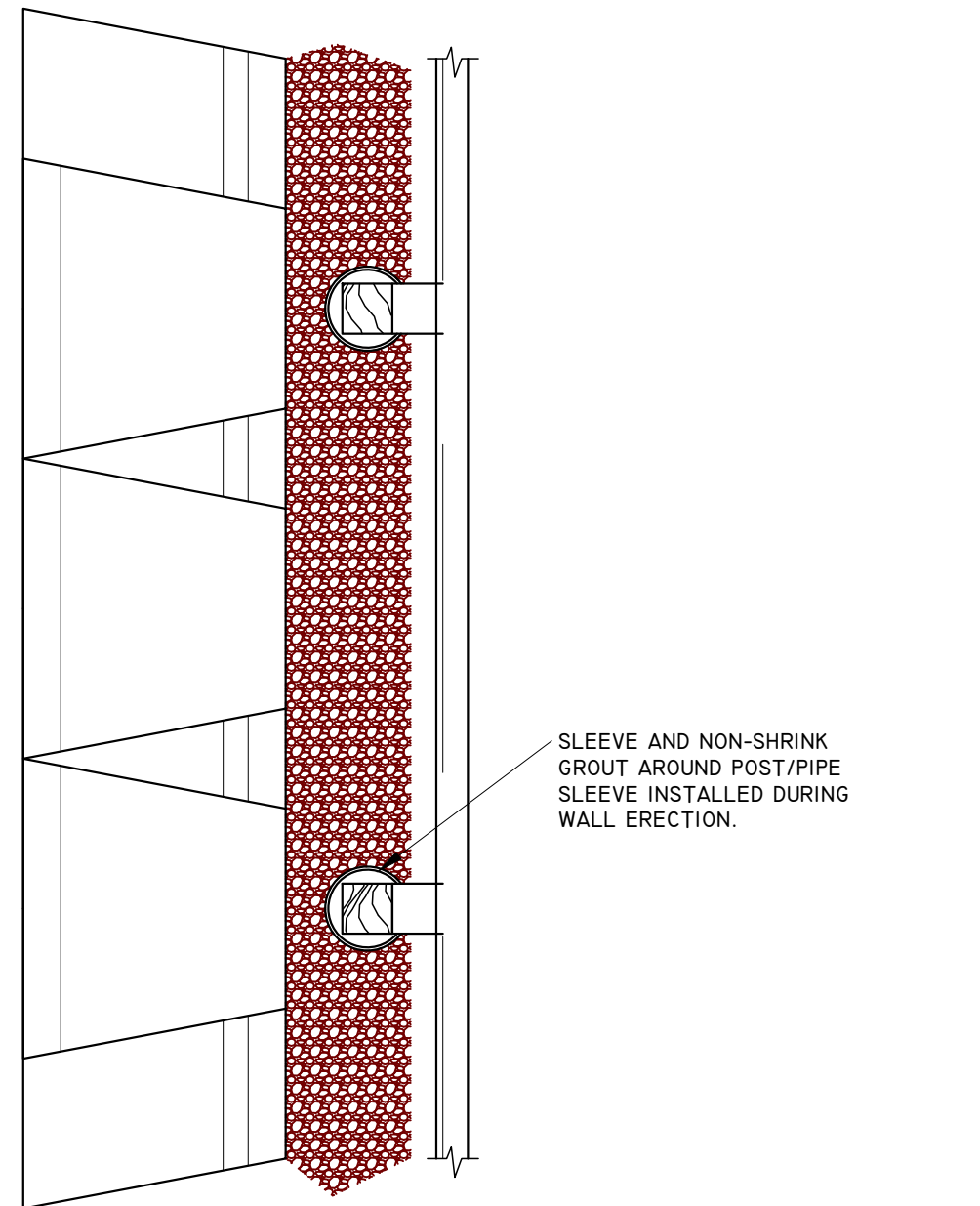
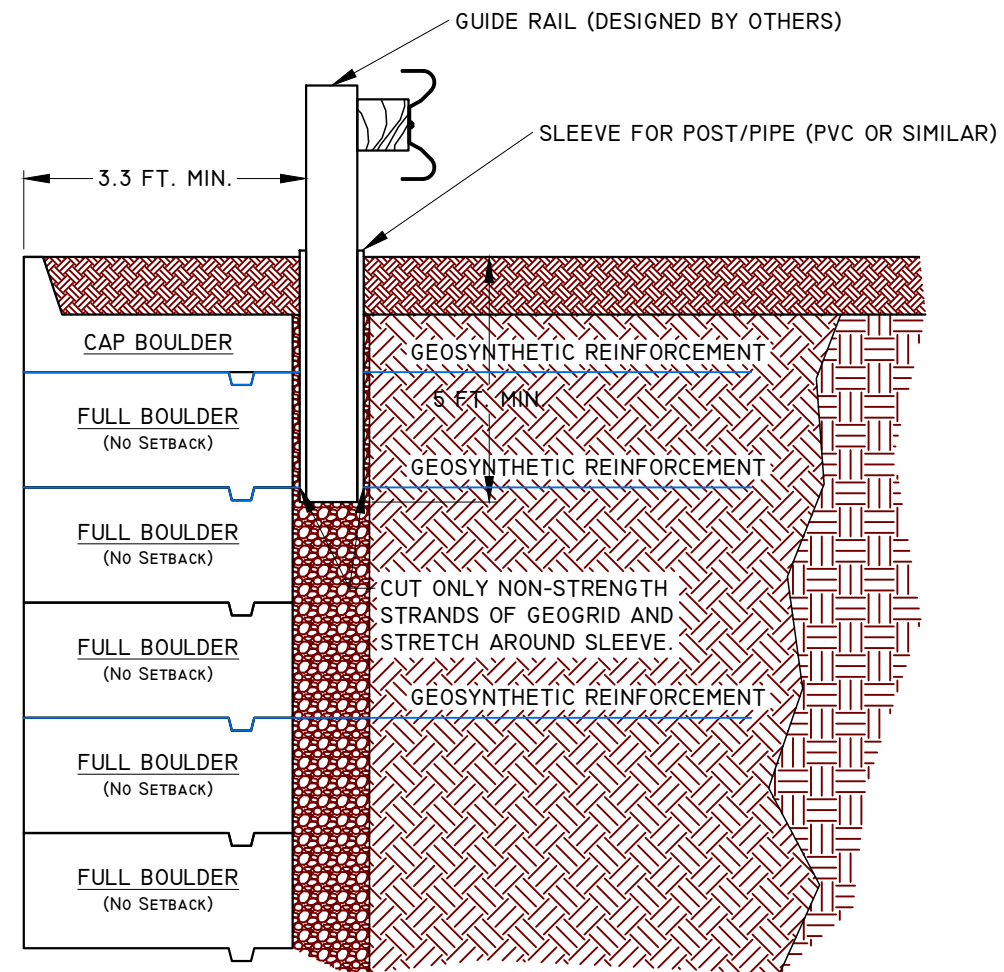
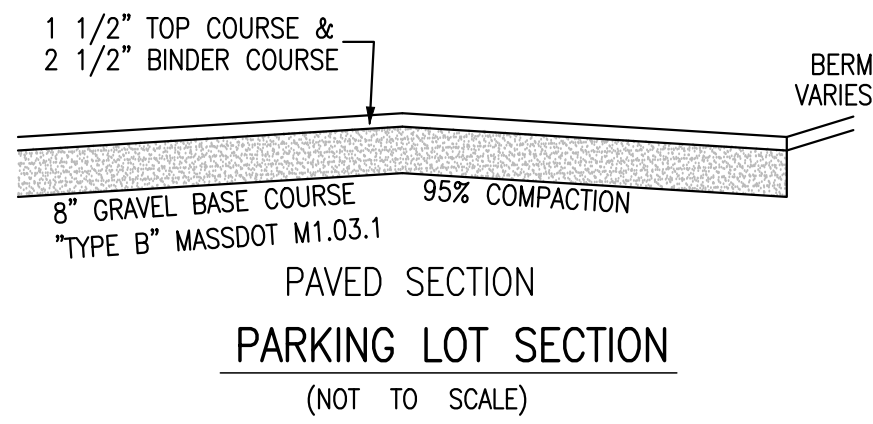


DUMPSTER & ENCLOSURE DETAIL (NOT TO SCALE)



PLANTING NOTES

- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION
- 2) ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER SETTLEMENT AS TO THEIR ORIGINAL GRADE BEFORE DIGGING. LOCATE PLANT COLLAR TWO OR THREE INCHES HIGHER THAN PLANTING SOIL MIX TO INSURE CORRECT FINAL RELATIONSHIP.
- 3) APPLY AN APPROVED ANTI-DESSICANT TO ALL PLANTS IN LEAF AT PLANTING TIME, AND TO ALL EVERGREENS BEFORE THEIR FIRST WINTER.
- 4) FLOOD ALL PLANTS WITH CLEAN WATER TWICE IN THE FIRST 24 HOURS AFTER PLANTING. CONTRACTOR TO ARRANGE FOR ALL PLANTS TO BE PLANTED WITHIN THREE DAYS AFTER DELIVERY TO THE SITE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 5) NEVER CUT A LEADER.
- 6) TRIM ONLY BROKEN OR DEAD BRANCHES FROM EVERGREEN PLANTS.
- 7) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- 8) ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- 9) ALL TREES SHALL HAVE "BEST FACE" SIDE TAGGED AT NURSERY PRIOR TO DIGGING.
- 10) ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 11) CONTRACTOR TO STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- 12) LANDSCAPE ARCHITECT TO APPROVE IN PLACE ALL SHRUBS, PERENNIALS AND VINES PRIOR TO PLANTING.
- 13) ALL TREES TO RECEIVE A MINIMUM OF THREE INCHES OF MULCH. ALL SHRUBS, VINES AND GROUND COVERS TO RECEIVE A MINIMUM OF TWO INCHES OF MULCH.
- 14) WHERE SPECIFIED, CALIPER SIZE TO BE OVERRIDING FACTOR IN TREE SELECTION.
- 15) STAKE OR GUY ALL TREES AND LARGE EVERGREEN MATERIAL.
- 16) CONTRACTOR TO PROVIDE TWO YEAR GUARANTEE ON ALL MATERIAL. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO BEGIN AT FINAL ACCEPTANCE.
- 17) ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO FINAL TOP-DRESSING AND SODDING/SEEDING.
- 18) COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM & LANDSCAPE LIGHTING (IF APPLICABLE).
- 19) NO PLANTING BEFORE THE ACCEPTANCE OF ROUGH GRADING.
- 20) CONTRACTOR TO PROVIDE SOIL TESTS IN AREAS DESIGNATED BY LANDSCAPE ARCHITECT IN FIELD FOR EXISTING SOILS TO DETERMINE APPROPRIATE SOIL AMENDMENTS PRIOR TO THE DISTURBANCE OF SITE.
- 21) ALL PLANTING BEDS TO BE TREATED WITH PREEN AND GREEN OR APPROVED EQUAL TO PROHIBIT WEED GERMINATION AND GROWTH PRIOR TO THE SPREADING OF MULCH.
- 22) ALL PERENNIALS ARE TO BE PLANTED INTO DAMP SOIL.
- 23) PLANT LIST: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANTS IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. WHEN MULTIPLE PLANT SPECIES ARE LISTED IN ONE PLANT CATEGORY, THE GOAL IS TO PROVIDE THE BEST PLANTS AVAILABLE AT THE TIME OF INSTALLATION. THE LANDSCAPE ARCHITECT SHALL SELECT OR COORDINATE THE SELECTION OF THE APPROPRIATE PLANTS AT LOCAL NURSERIES. GRADY CONSULTING HAS THE RIGHT TO REJECT ANY PLANT THAT DOES NOT MEET THE SPECIFICATIONS LISTED IN THE PLANT TABLE.
- 24) PLANT SUBSTITUTION ARE NOT ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- 25) ALL DISTURBED AREAS TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS (REFER TO ENGINEER'S SOIL STABILIZATION AND EROSION CONTROL PLAN FOR FURTHER INFORMATION).
- 26) CONTRACTOR SHALL (IF APPLICABLE) REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM).

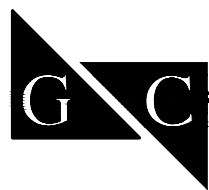


SITE PLAN

#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

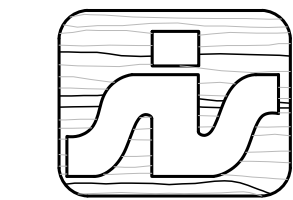
DECEMBER 17, 2018
SCALE AS NOTED
JOB No. 18-181



GRADY CONSULTING, L.L.C.

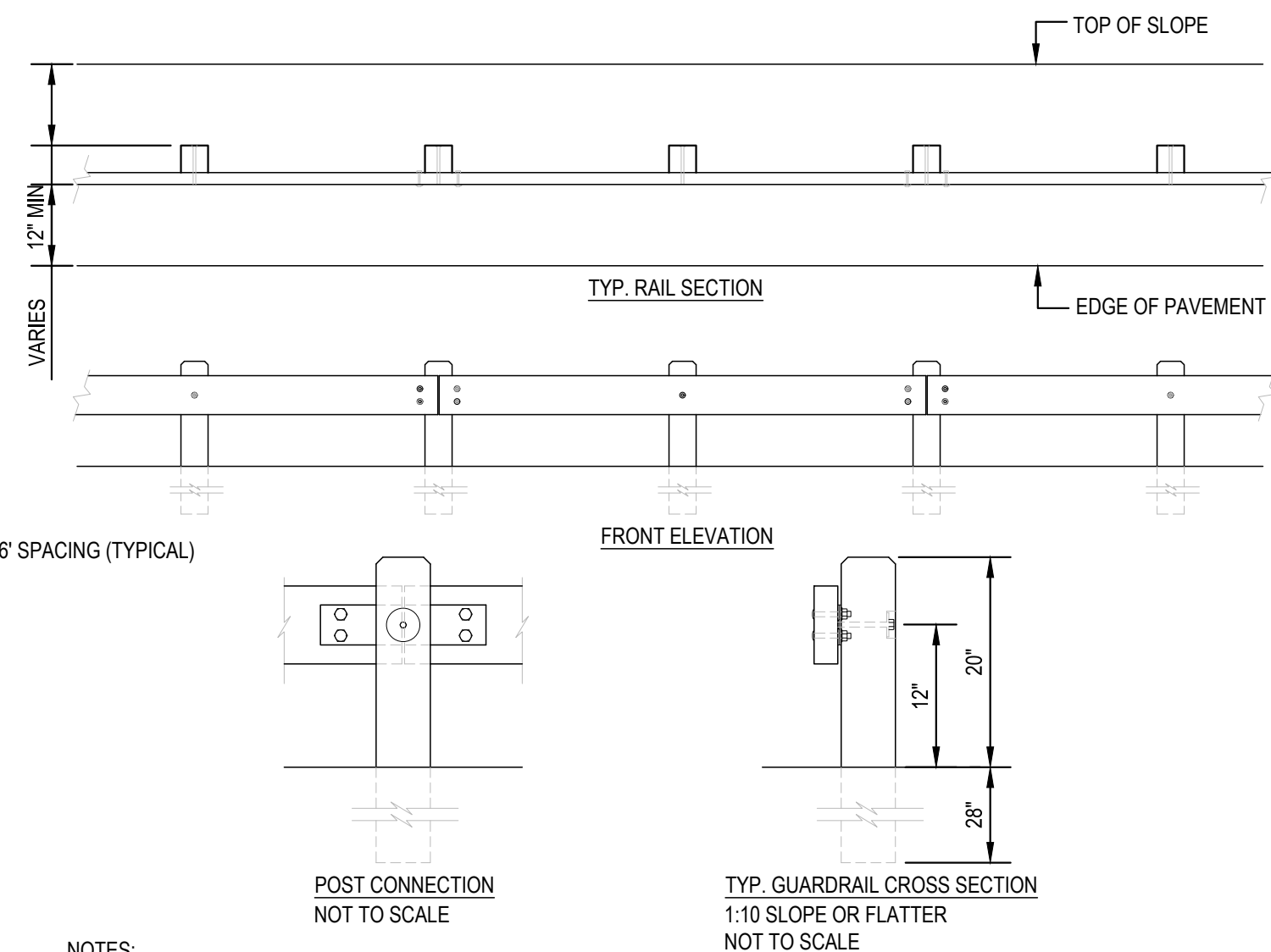
Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

SHEET 6 OF 10



S.I. Storey
LUMBER COMPANY, INC.

S.I. STOREY LUMBER CO., INC.
285 SIKE STOREY RD NW, P.O. BOX 99
ARMUCHEE, GA 30105-0099
TOLL FREE: 1-888-934-1605
PHONE: (706) 234-1605
FAX: (706) 235-8132

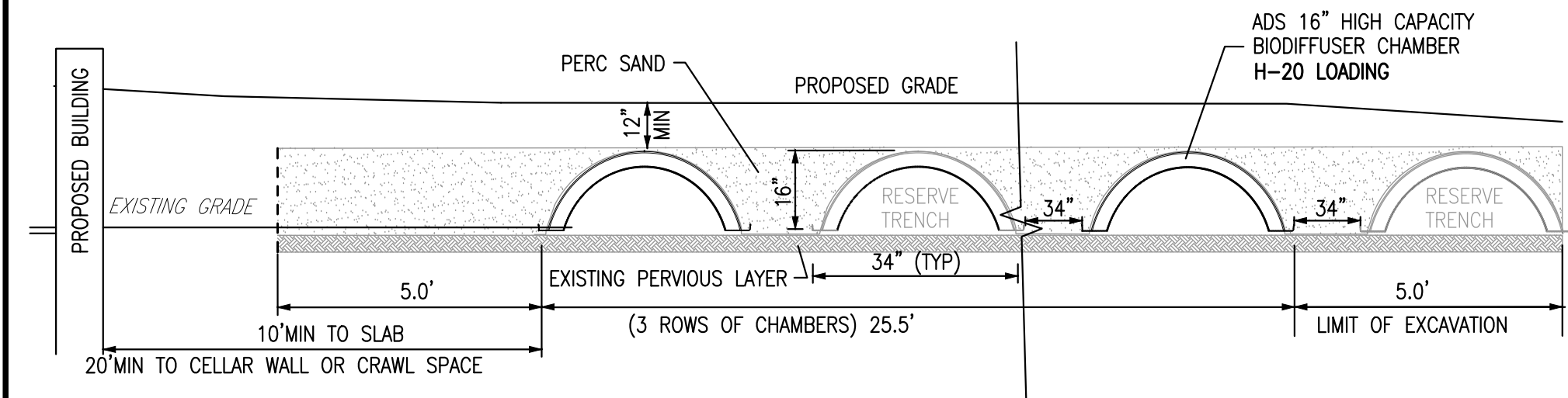


NOTES:

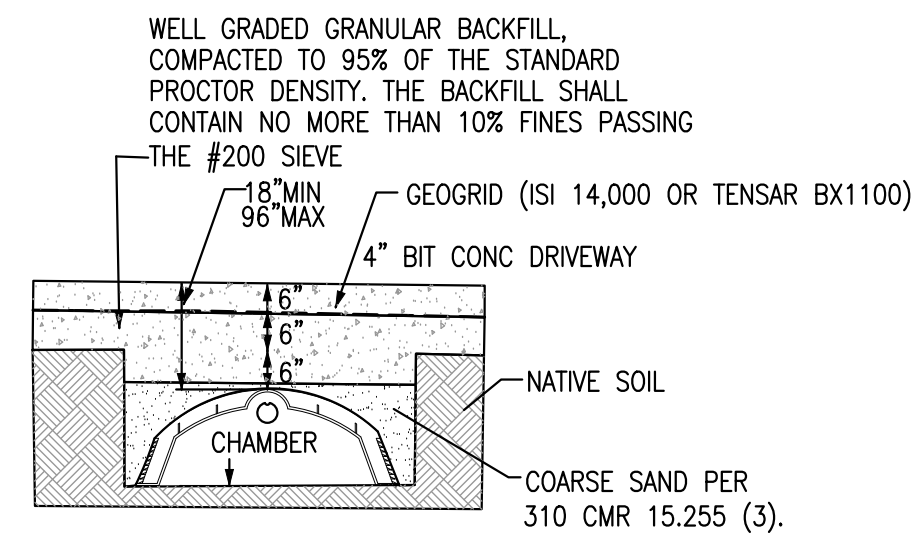
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. INCREASE POST LENGTH TO 5' IF BACK OF POST IS CLOSER THAN 12" TO TOP OF SLOPE OR WHEN LOCATED IN CLIMATES WHERE FROST HEAVING MAY OCCUR.
4. DRIVE POSTS OR AUGER, BACKFILL WITH NATIVE SOIL AND COMPACT EVERY 12".
5. ALL TIMBER #1 S4S SOUTHERN PINE, PRESSURE TREATED: AWPA-C14, WOOD FOR USE IN HWY. CONSTR.
6. TYP. POST: 6" X 8" X 4' - TYP. RAIL: 3" X 8" X 11' 11 1/2"; FOR RADIUS SECTIONS SPECIFY 3" X 8" X 5' 11-1/2"
7. FASTENERS: ASTM A307; A242; F436 TYPE 3; A563 DH3.
8. TIMBARRIER™ SPLICE PLATE & PLATE WASHER ASTM-A588.
9. UNDER EACH BOLT HEAD ON FACE OF RAIL INSTALL ONE 7/8" WASHER.
10. REFER TO DRAWINGS 651-0026 FOR TERMINAL DETAILS
11. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 651-002.



CARTGUARD™ GOLF CART PATHWAY AND WALKWAY APPLICATIONS

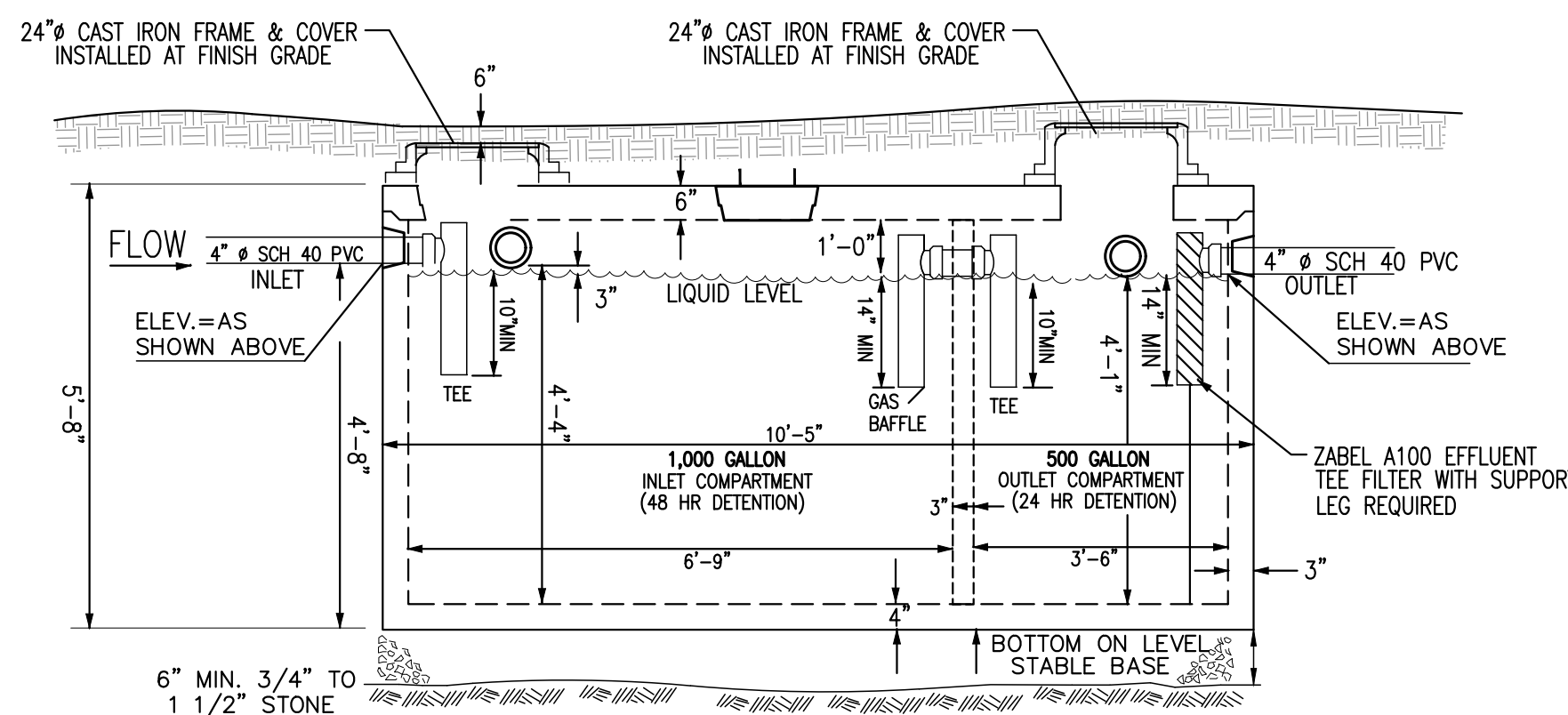


16" HIGH CAPACITY BIODIFFUSER TRENCH X-SECTION
* H-20 LOADING REQUIRED
NOT TO SCALE

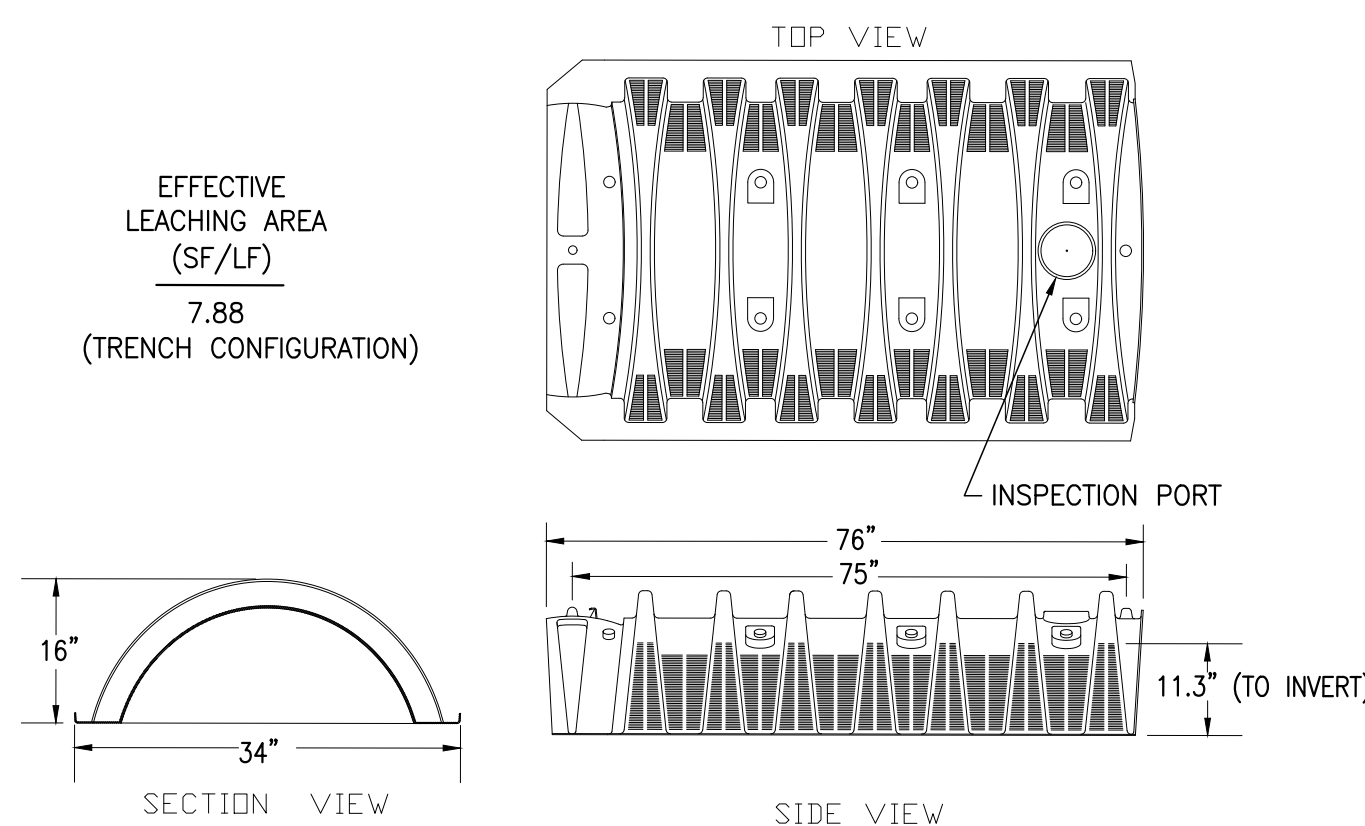


- GEOGRID IS AVAILABLE THROUGH JENNIAN ENTERPRISES, MELROSE, MA (781) 665-7915 CAPE COD WINWATER WORKS (508) 862-0166
- CONTRACTOR SHALL SUBMIT DOCUMENTATION FOR THE GEOGRID BEING INSTALLED TO GRADY CONSULTING LLC.

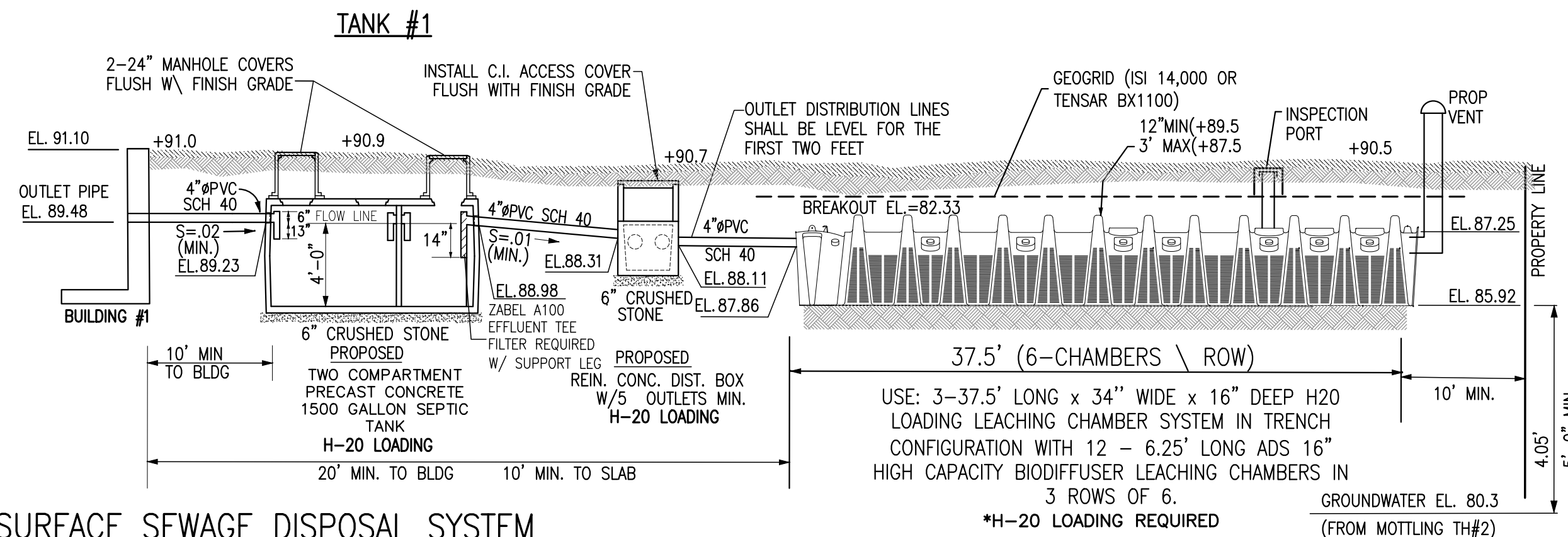
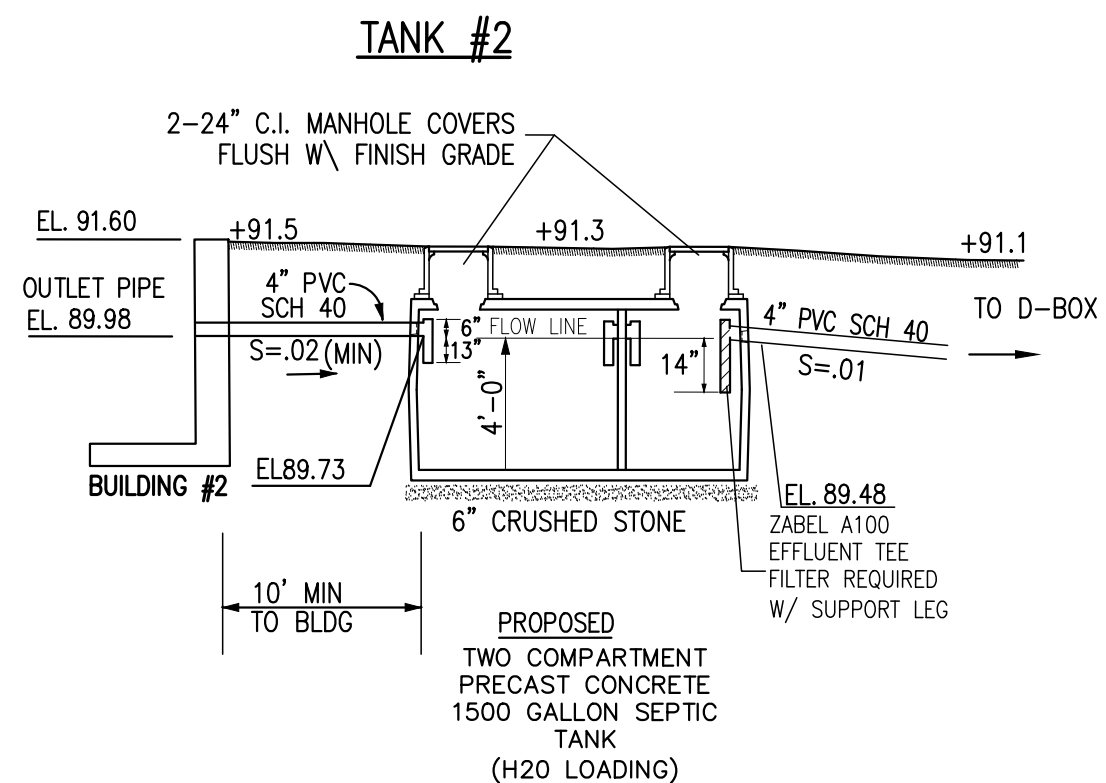
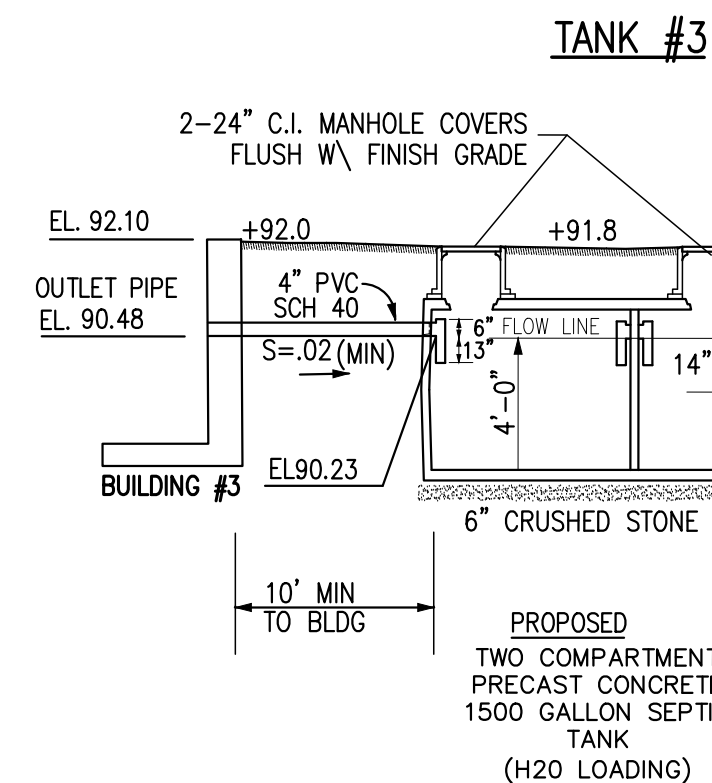
H-20 LOADING DETAIL
NOT TO SCALE



CROSS-SECTION VIEW
1500 GALLON 2-COMPARTMENT SEPTIC TANK
(NOT TO SCALE)



16" HIGH CAPACITY BIODIFFUSER (1600BD)
* H-20 LOADING REQUIRED
NOT TO SCALE



SUBSURFACE SEWAGE DISPOSAL SYSTEM
(NOT TO SCALE)

SEPTIC NOTES

- SOILS TESTING TO BE PERFORMED PRIOR TO APPROVAL
- CALL DIG SAFE 1-888-344-7233 AT LEAST 4 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- NOTIFY TOWN AND GRADY CONSULTING PRIOR TO BACKFILLING OF SYSTEM.
- NO KNOWN WELLS EXIST WITHIN 200' OF THE PROPOSED SYSTEM
- THE SITE IS NOT LOCATED IN AN AQUIFER PROTECTION ZONE II.
- ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE OR A COMPARABLE MEANS IN ORDER TO LOCATE THEM ONCE BURIED (310 CMR 15.221(12))
- NO STREAMS, SURFACE & SUBSURFACE DRAINS AND WETLANDS EXIST WITHIN 100 FT OF THE PROPOSED SYSTEM, EXCEPT AS SHOWN.
- THE SITE IS NOT LOCATED IN A FLOOD PLAIN DISTRICT.
- NO KNOWN EASEMENTS ARE IN THE AREA OF THE PROPOSED SYSTEM.
- WHEREVER SEWER LINES MUST CROSS WATER SUPPLY LINES BOTH PIPES SHALL BE CONSTRUCTED OF CLASS 150 PRESSURE PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS. A PIPE SLEEVE OVER THE SEWER OR THE WATER LINE, 10' TO EACH SIDE OF THE PIPE IS AN ACCEPTABLE ALTERNATIVE.

SEPTIC DESIGN:

WAREHOUSES DO NOT HAVE CAFETERIA FACILITIES (DESIGN FOR 15 GPD PER WORKER REQUIRED)

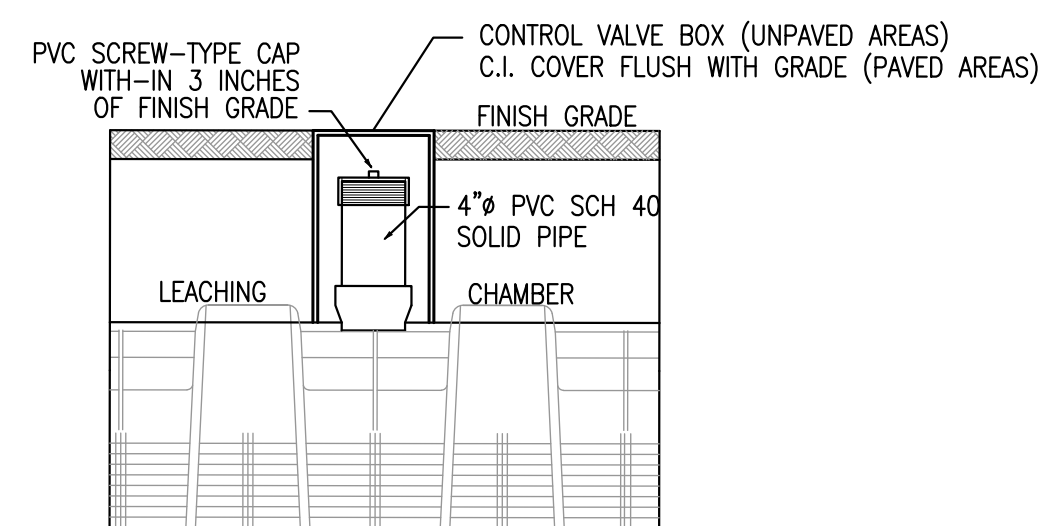
DESIGN FLOW SYSTEM:

BUILDING 1
14 WORKERS x 15 GPD/EMPLOYEE = 210 GPD

BUILDING 2
14 WORKERS x 15 GPD/EMPLOYEE = 210 GPD

BUILDING 3
14 WORKERS x 15 GPD/EMPLOYEE = 210 GPD

TOTAL DESIGN DAILY FLOW = 630 GPD



INSPECTION PORT DETAIL
NOT TO SCALE

REQUIRED INSPECTIONS

- AFTER EXCAVATION OF LEACHING AREA PRIOR TO INSTALLING SAND.
 - AFTER SYSTEM CONSTRUCTION PRIOR TO BACKFILLING.
 - AFTER FINAL GRADING IS COMPLETED.
- (ADDITIONAL INSPECTIONS MAY BE REQUIRED BY THE BOARD OF HEALTH)

ADS CHAMBER SYSTEM NOTES

THIS SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION MODIFIED CERTIFICATION FOR GENERAL USE, PURSUANT TO TITLE V, 310 CMR 15.000, ISSUED JANUARY 11, 2011.

NO STONE AROUND OR BELOW CHAMBERS IS REQUIRED.

BACKFILL BIODIFFUSER CHAMBERS WITH ON SITE SAND SOIL OR CLEAN COARSE SAND IN ACCORDANCE WITH 310 CMR 15.255(3).

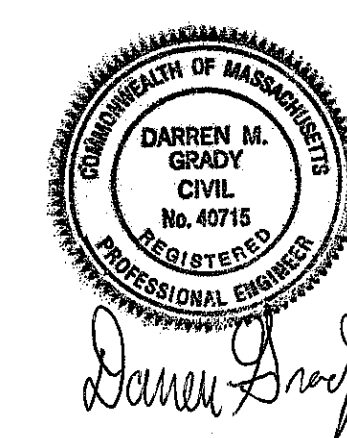
CONTRACTOR MUST BE TRAINED IN INSTALLATION BY ADVANCED DRAINAGE SYSTEMS, INC.

CONTACT STEVE MINOR (207)240-5967 OR steve.minor@ads-pipe.com

SOIL LOGS

T.H.#1 EL. 90.3	T.H.#2 EL. 90.4
0'-60" FILL	0'-48" FILL
60"-120" C MED-FINE SAND	48"-132" C MED-FINE SAND
85.3	86.4
80.3	79.4
D=10'-0" NO WATER (E.S.H.W.G.) (EL.=80.3)	D=11'-0" NO WATER (E.S.H.W.G.) (EL.=79.4)

TESTHOLES 1-2 BY DARREN GRADY PE WITNESSED BY
LISA CULLITY DECEMBER 14, 2018



SITE PLAN

#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE:AS NOTED
JOB No. 18-181

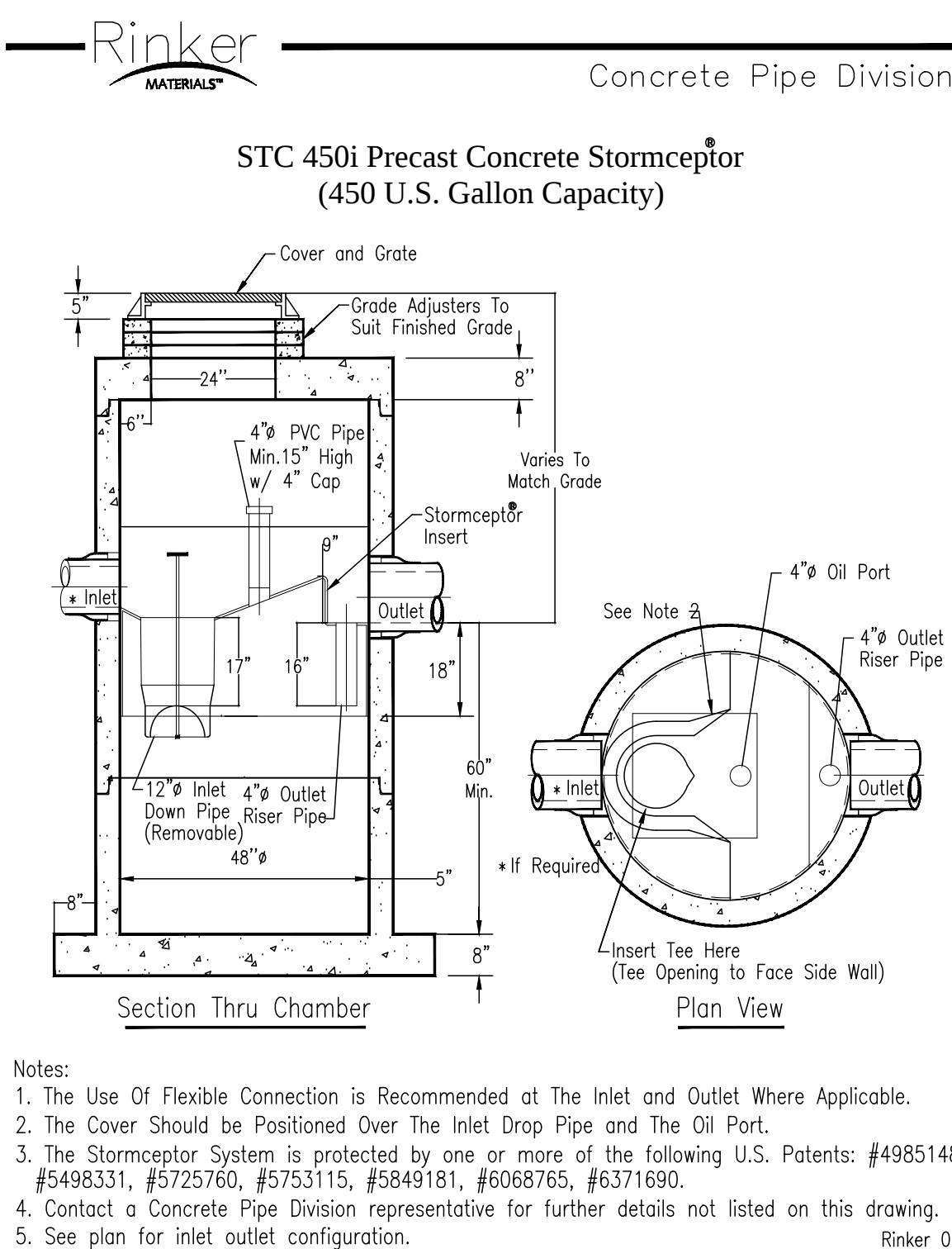
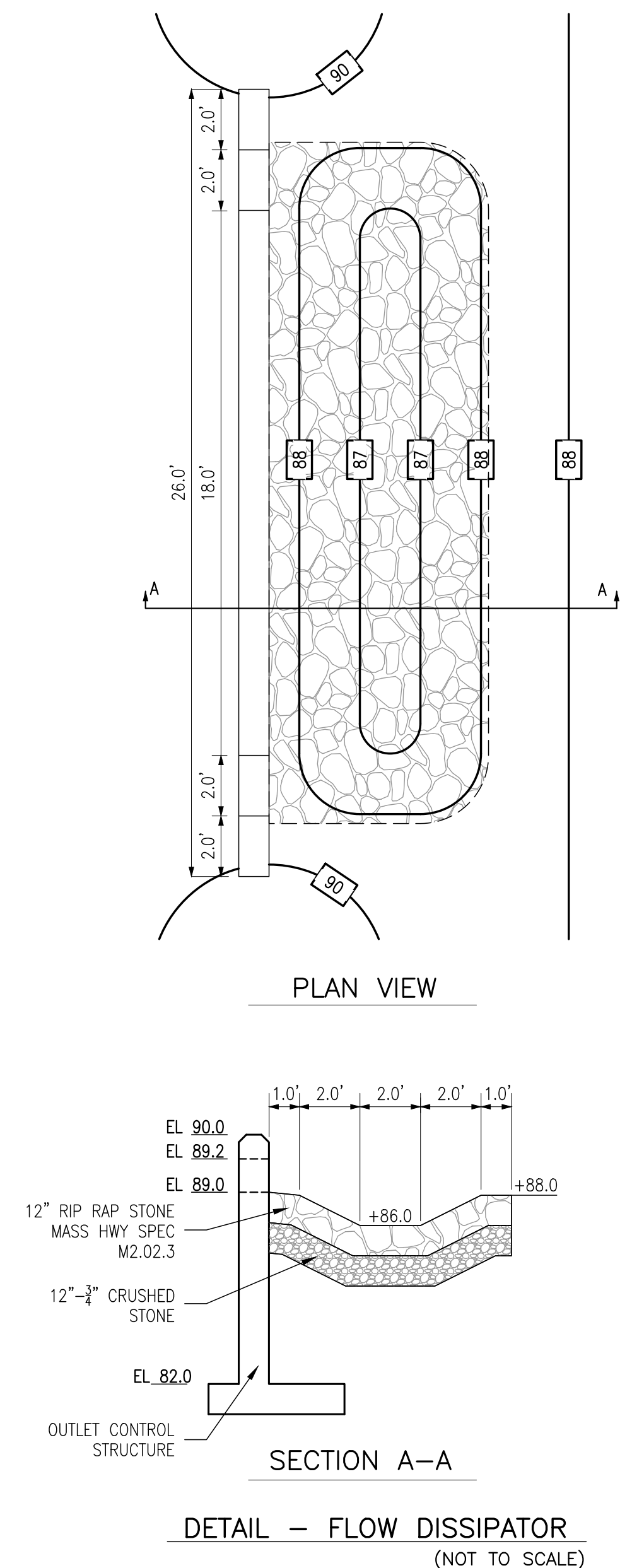
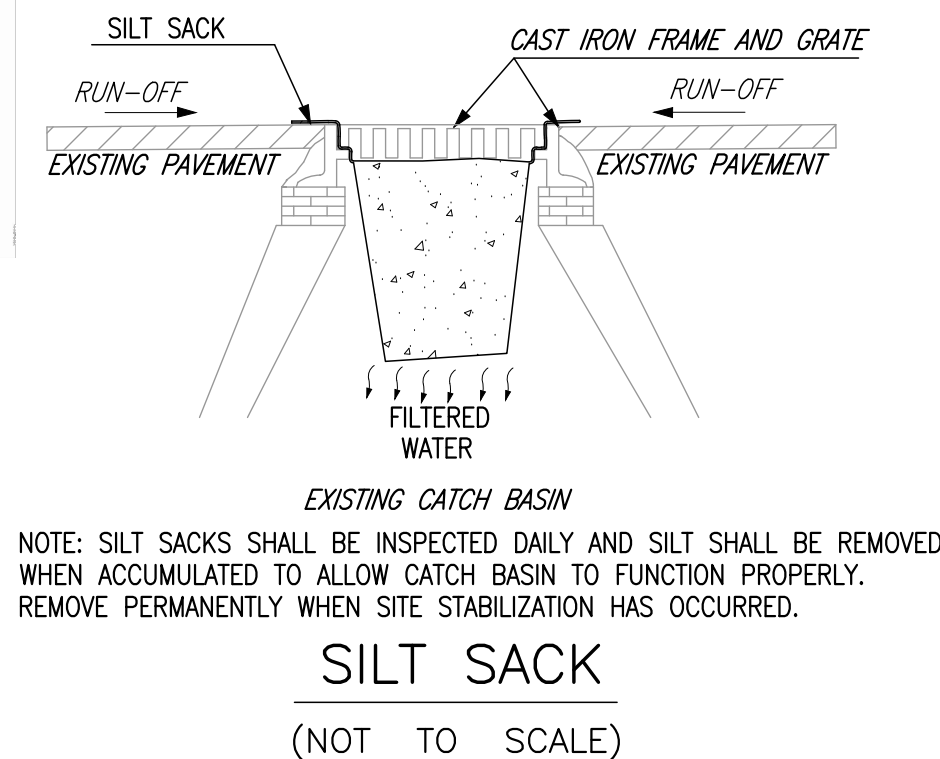
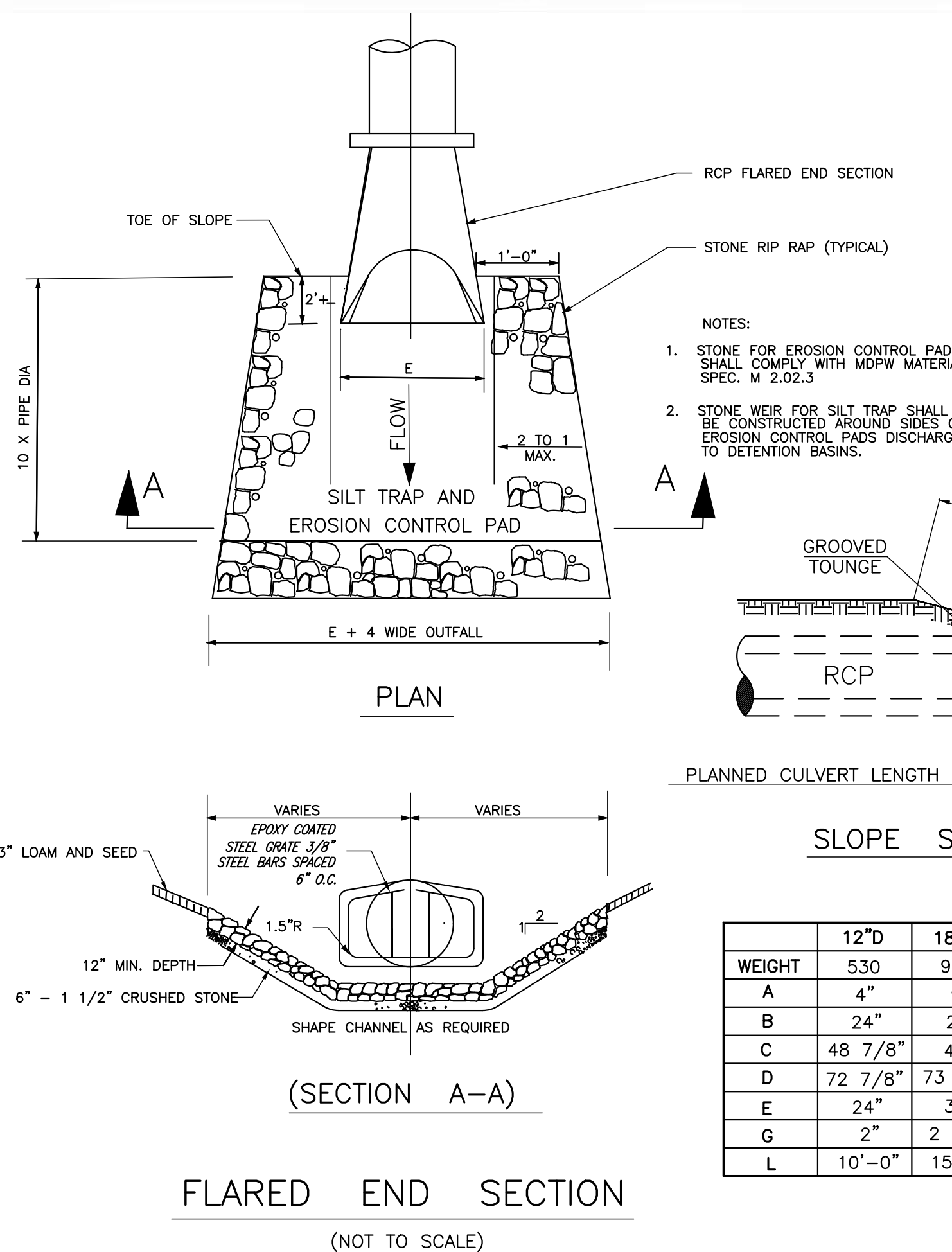


GRADY CONSULTING, L.L.C.

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71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

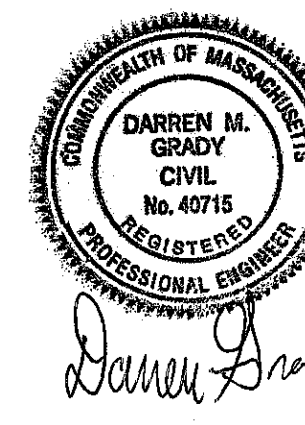
SHEET 7 OF 10

SEPTIC DETAILS



	12"D	18"D	24"D
WEIGHT	530	990	1520
A	4"	9"	9 1/2"
B	24"	27"	33 1/2"
C	48 7/8"	46"	30"
D	72 7/8"	73 1/2"	73"
E	24"	36"	48"
G	2"	2 1/2"	3"
L	10'-0"	15'-0"	20'-0"

D#1	
EL.	88.0
0"-6" A SANDY LOAM 10YR3/2	87.5
6"-30" B LOAMY SAND 10YR5/6	85.5
30"-132" C MED. COARSE SAND 2.5Y6/3	77.0
D=11'-0" NO WATER	



S I T E P L A N
#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLO
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: AS NOTED
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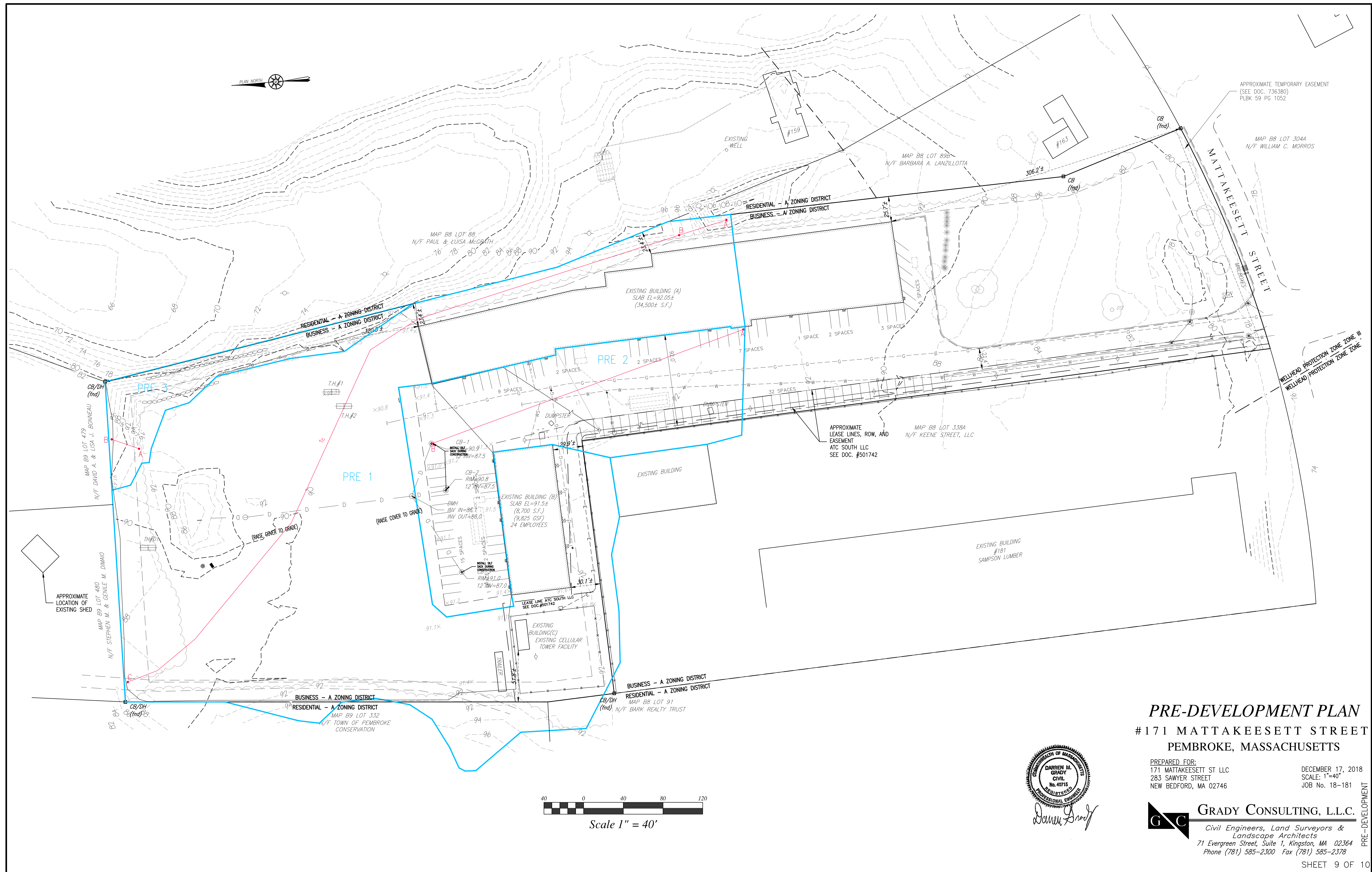
 **GRADY CONSULTING, L.L.C.**

*Civil Engineers, Land Surveyors &
Landscape Architects*

71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

TESTHOLES 1-2 BY DARREN GRADY PE WITNESSED BY
LISA CULLITY DECEMBER 14, 2018

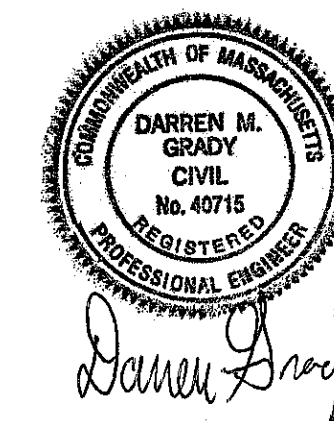
SHEET 8 OF 10



PRE-DEVELOPMENT PLAN
#171 MATTAKEESETT STREET
PEMBROKE, MASSACHUSETTS

PREPARED FOR:
171 MATTAKEESETT ST LLC
283 SAWYER STREET
NEW BEDFORD, MA 02746

DECEMBER 17, 2018
SCALE: 1"=40'
JOB No. 18-181



GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors &
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71 Evergreen Street, Suite 1, Kingston, MA 02364
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