

PLANNING BOARD APPROVAL

THIS SITE PLAN DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE ZONING BY-LAW.

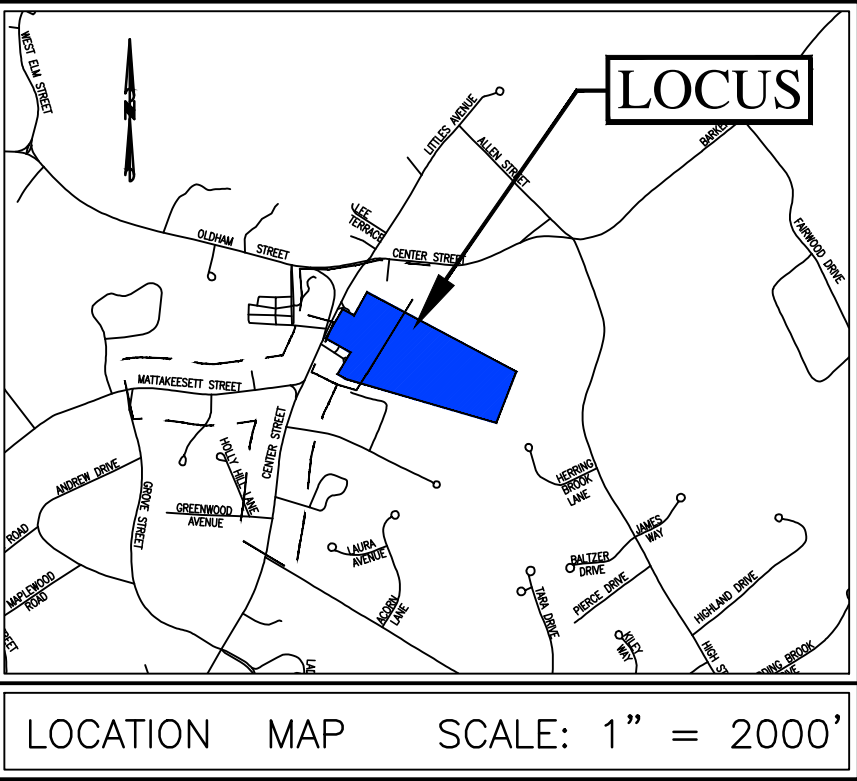
DATE APPROVED: _____

PEMBROKE TOWN CLERK

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____

TOWN CLERK, TOWN OF PEMBROKE _____



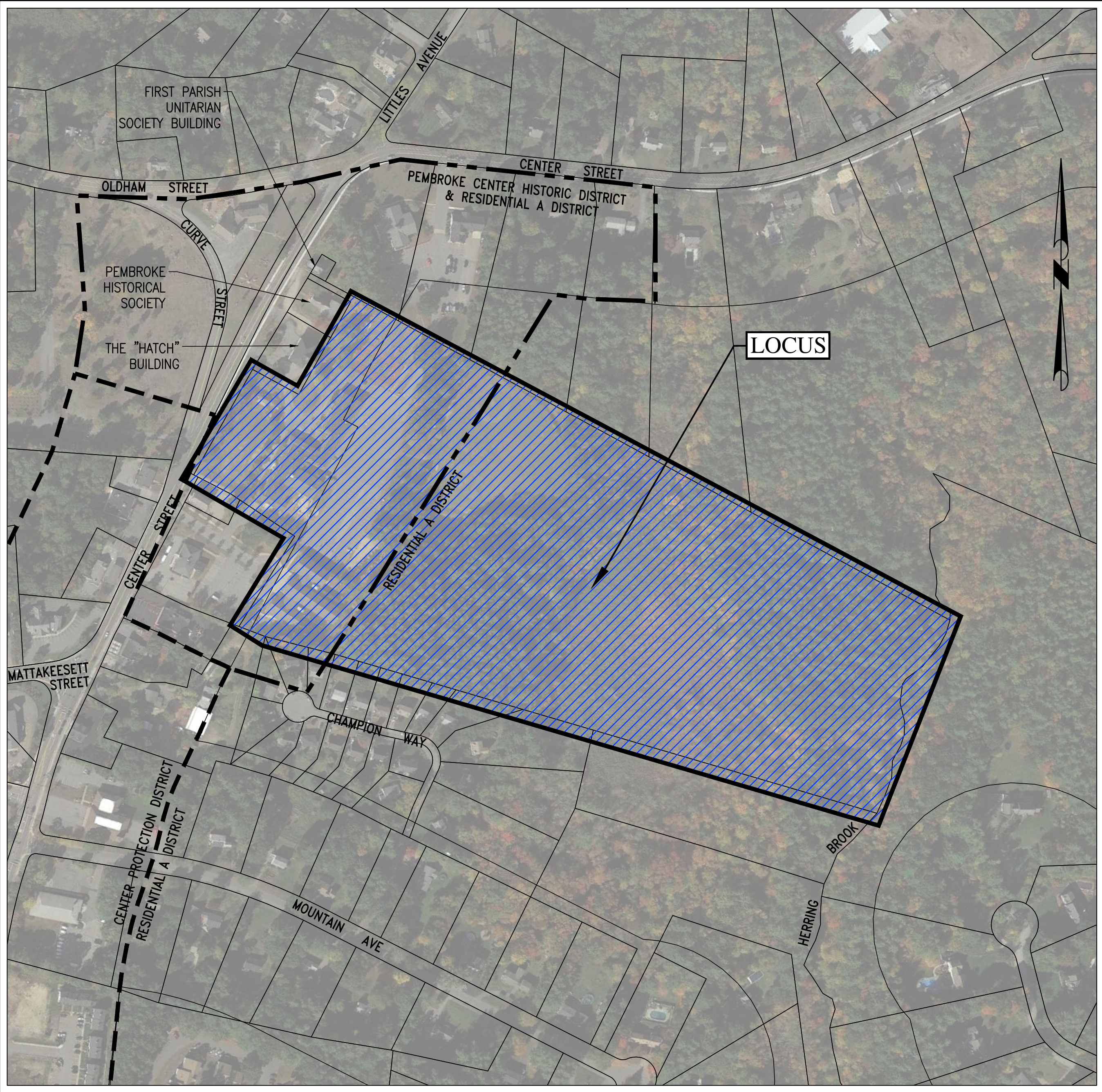
S I T E P L A N

PEMBROKE COMMUNITY CENTER

128 CENTER STREET

PEMBROKE, MASSACHUSETTS

ASSESSORS MAP D9 LOT 1

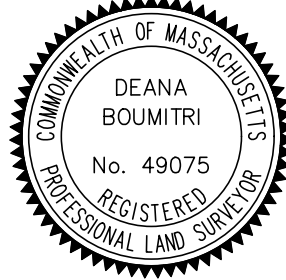


— VICINITY MAP —

SCALE: 1"=200'

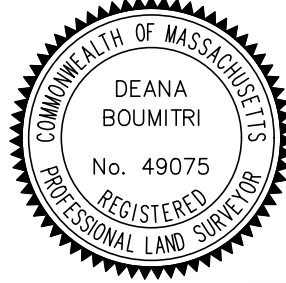
FOR REGISTRY USE ONLY

I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES SHOWING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.



Deana Boumitri, P.L.S.

7/15/2022



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Deana Boumitri, P.L.S.

7/15/2022

WAIVERS REQUESTED

SECTION II – APPLICATION

2.3 ADMINISTRATIVE AND PROJECT REVIEW FEE.

SECTION IV – SITE PLAN CONTENT

- 4.4 REQUIREMENT TO SHOW SPECIFIC FEATURES WITHIN 200' OF ENTIRE PROPERTY DUE TO SIZE OF PROPERTY.
- 4.6 REQUIREMENT TO SHOW TOPOGRAPHY WITHIN 50' OF ENTIRE PROPERTY DUE TO SIZE OF PROPERTY.
- 4.22 REQUIREMENT FOR A TRAFFIC IMPACT STUDY

SECTION V – REQUIREMENTS

- 5.1.5 REQUIREMENTS FOR QUANTITY OF TREES INTERNAL TO THE PARKING LOT AREA TO BE REDUCED FROM 27 TREES TO 22 TREES.
- 5.1.5 REQUIREMENT FOR CALIPER OF PROPOSED TREES TO ALLOW SMALLER, LESS COSTLY TREES TO BE USED BY THE TOWN.
- 5.4 REQUIREMENT FOR MEDIAN STRIPS AND LANDSCAPE ISLANDS WITHIN PARKING AREA TO ALLOW FOR EASIER PLOWING FOR THE DPW.
- 5.6.2 REQUIREMENT THAT CURBING NOT BE BITUMINOUS CONCRETE AND CURB STOPS BE PROVIDED WHERE PARKING ABUTS SIDEWALKS TO REDUCE CONSTRUCTION COSTS FOR THE TOWN.
- 5.9.9 REQUIREMENT THAT A MINIMUM OF 50% OF THE STREET SIDE FAÇADE SHALL CONTAIN WINDOWS. THIS WILL ALLOW THE PROPOSED BUILDING TO BLEND IN BETTER WITH THE ADJACENT HISTORIC BUILDINGS.

SECTION VI – DEVELOPMENT IMPACT STATEMENT

6.0 REQUIREMENT FOR A DEVELOPMENT IMPACT STATEMENT

I N D E X	
SHEET	DESCRIPTION
C101	VICINITY AND INDEX
C201–203	EXISTING CONDITIONS
C301–302	EROSION CONTROL/DEMO
C401–402	LAYOUT & ZONING
C501–502	GRADING & UTILITIES
C601	SITE DETAILS
C602	SITE DETAILS
C603	SITE DETAILS
C604	SITE DETAILS

RECORD OWNER:

PARCEL ID #D9–1
128 CENTER STREET

TOWN OF PEMBROKE
128 CENTER STREET
PEMBROKE, MASSACHUSETTS 02359
DEED BOOK 1664 PAGE 47

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
(617) 350 0450

PROJECT NAME

Pembroke
Community Center

128 Center Street
Pembroke, MA, 02359

CLIENT

Town of
Pembroke, MA

100 Center Street
Pembroke, MA, 02359

PROJECT TEAM

Civil Engineer

Merrill Engineers & Land Surveyors
427 Columbia Road
Hanover, MA, 02339
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B Squared Engineering
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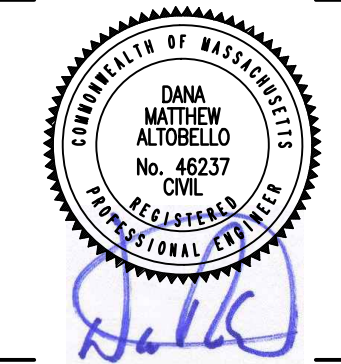
REVISIONS

1. P.E. PEER REVIEW COMMENTS	
AND FINAL PLANS:	6/28/22
	DATE

DRAWING TITLE

Vicinity & Index

DRAWING INFORMATION



May 6, 2022

DATE OF ISSUE

Site Plan Review

DESCRIPTION

As Noted

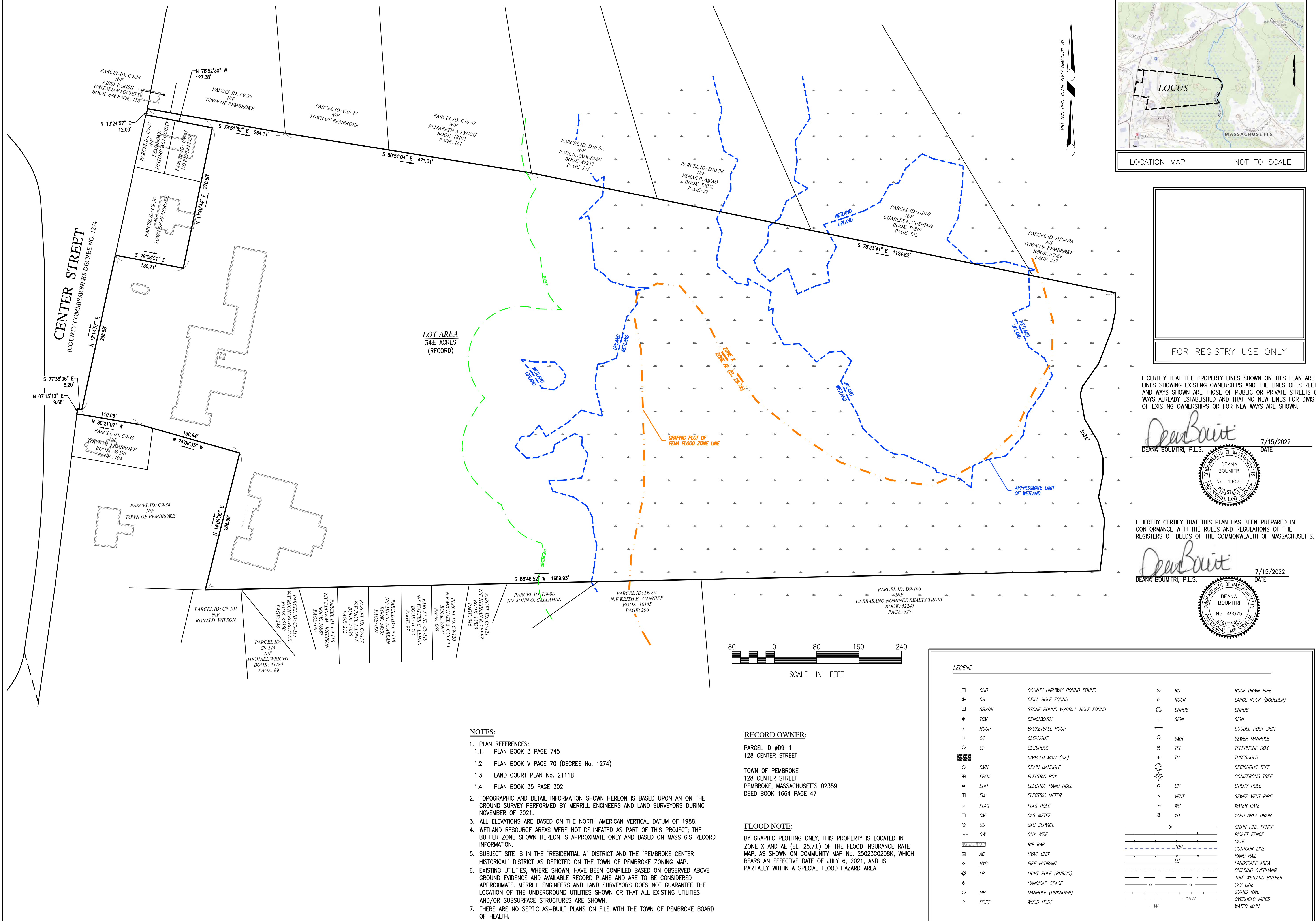
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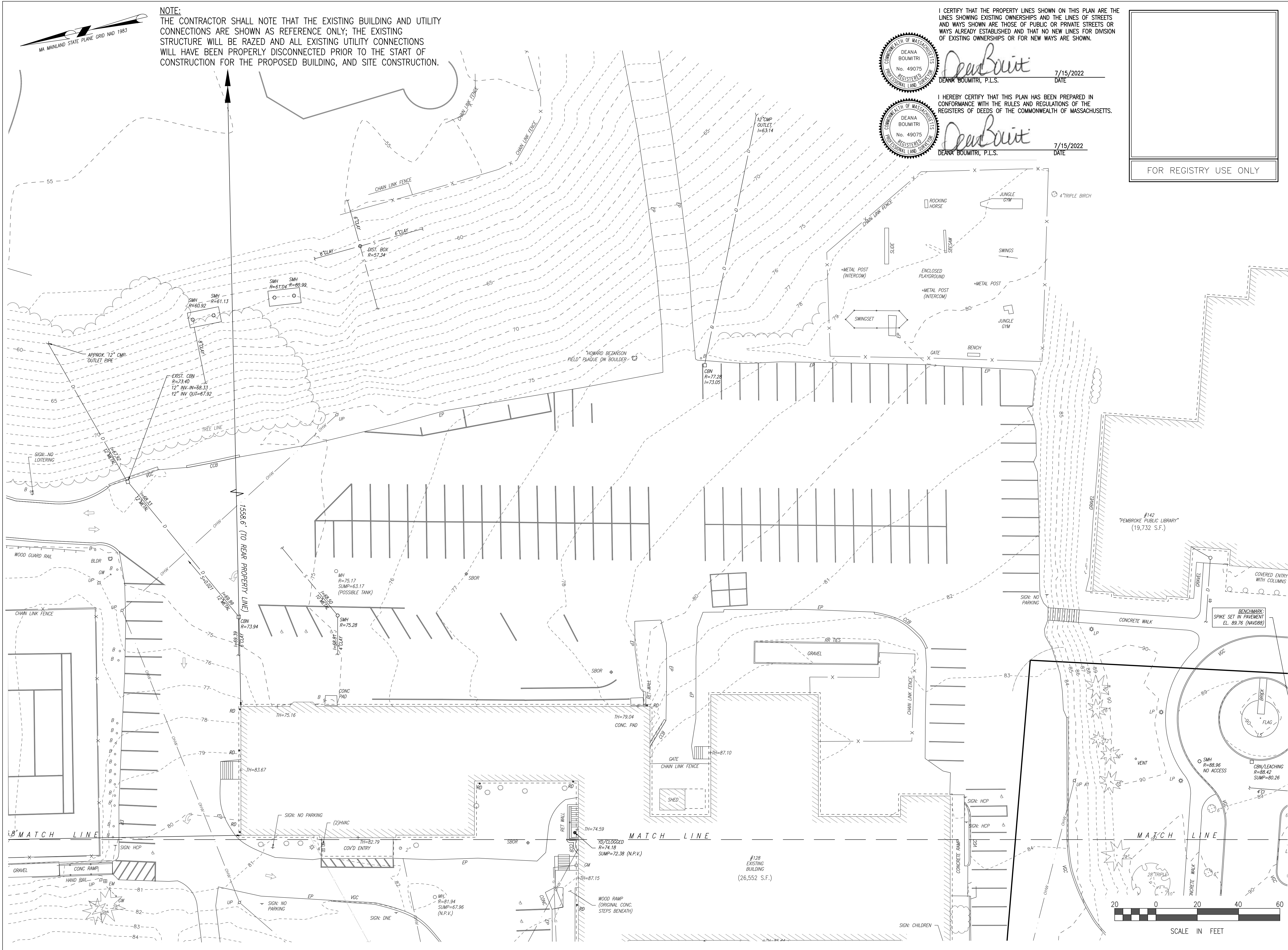
3403.00

PROJECT #

DRAWING NUMBER

C101





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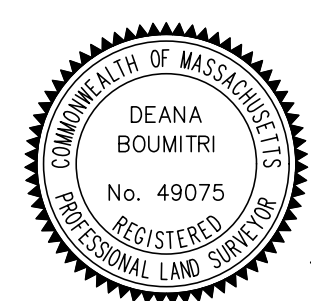
Existing Conditions

DRAWING INFORMATION	
	
DEANA BOUMITRI No. 49075 REGISTERED PROFESSIONAL ENGINEER	
<i>Deana Boumitri</i>	
May 6, 2022 DATE OF ISSUE	
Site Plan Review DESCRIPTION	
As Noted SCALE	
DRAWN BY	
3403.00 PROJECT #	
Printshop FILE NAME	

DRAWING NUMBER

C202

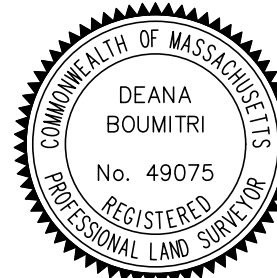
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Deana Boumitri
DEANA BOUMITRI, P.L.S.

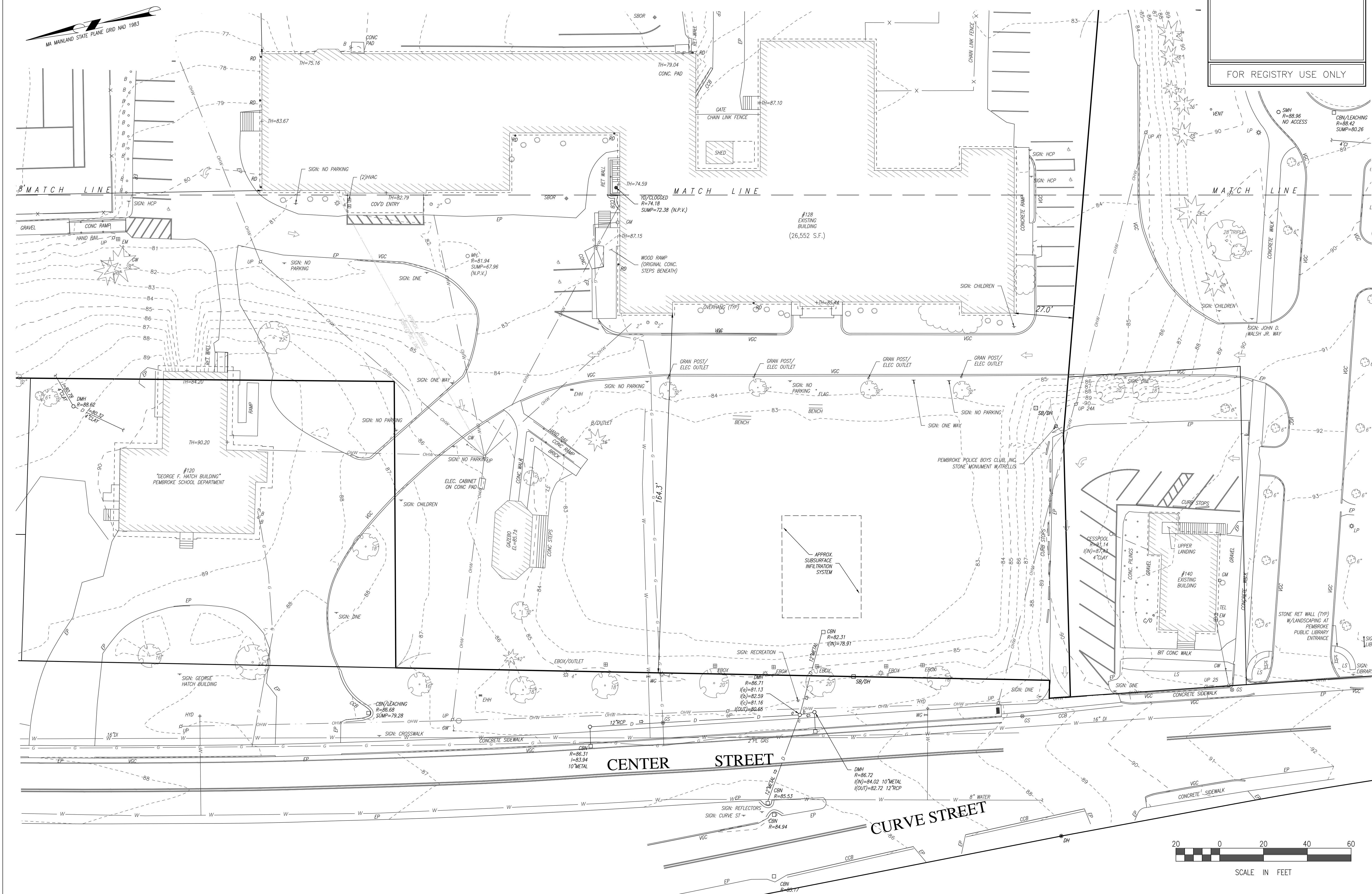
7/15/2022
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7/15/2022
DATE



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PROJECT NAME
Pembroke Community Center
128 Center Street
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REVISIONS

NO.	DESCRIPTION	DATE
1	P.B. PEER REVIEW COMMENTS	6/20/22
2	AND FINAL PLANS	

DRAWING TITLE
Existing Conditions

DRAWING INFORMATION

May 6, 2022
DATE OF ISSUE

Site Plan Review
DESCRIPTION

As Noted
SCALE

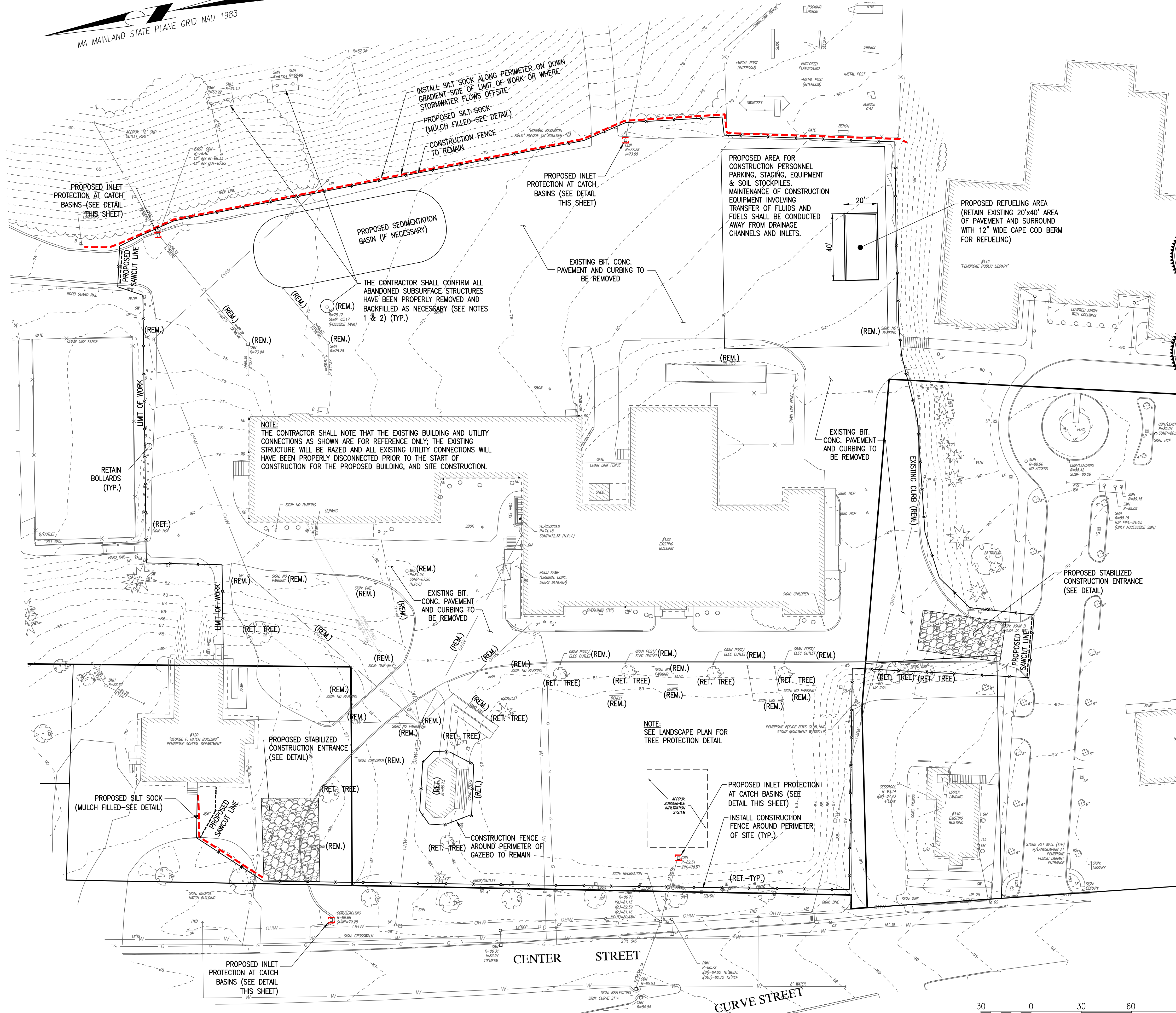
3403.00
PROJECT #

Drawn By
Pembroke
FILE NAME

DRAWING NUMBER
C203

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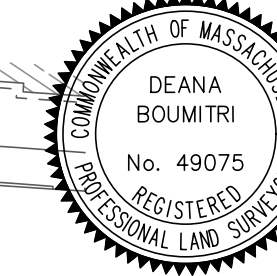
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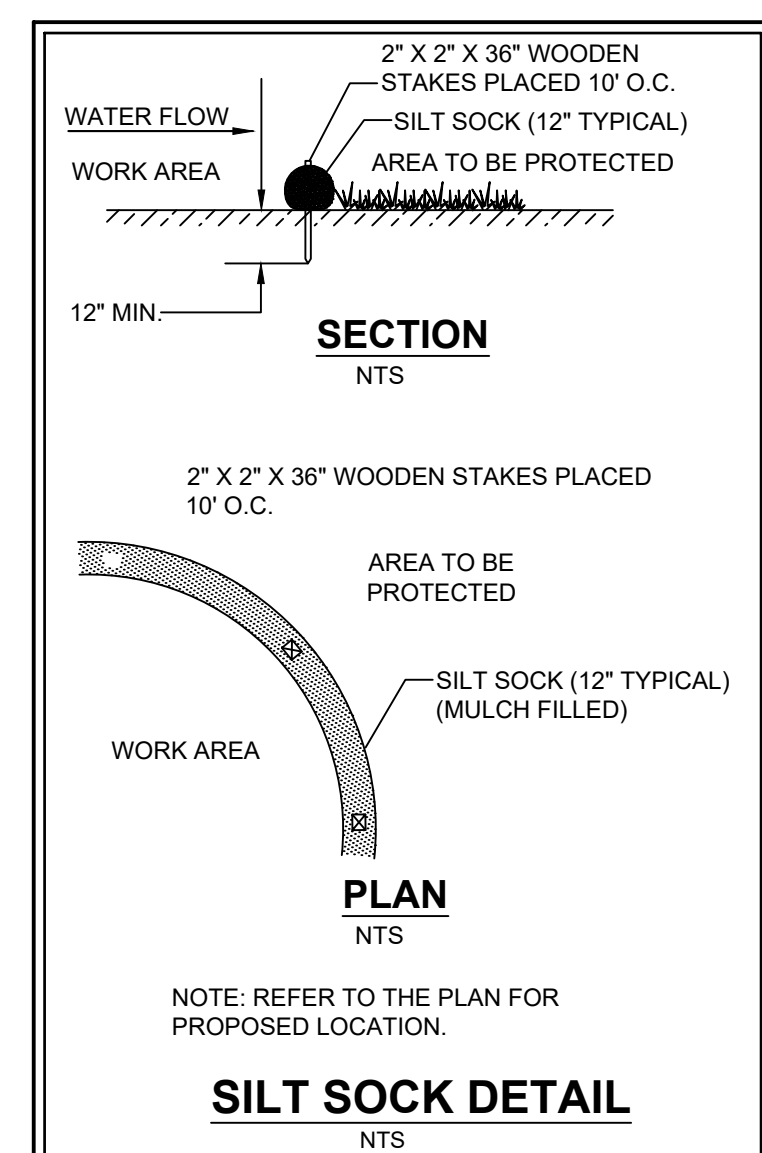
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DEANA BOUMITRI, P.L.S.

7/15/2022
DATE



LEGEND

RETAIN	RET.
REMOVE	REM.
REMOVE & RESET	R+R
SILT SACK INLET PROTECTION	
SILT SACK (MULCH FILLED)	
CONSTRUCTION FENCE	
SAWCUT LINE	
UTILITY CUT & CAP	
CONSTRUCTION ENTRANCE	

ARCHITECT

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PROJECT NAME

**Pembroke
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128 Center Street
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CLIENT

**Town of
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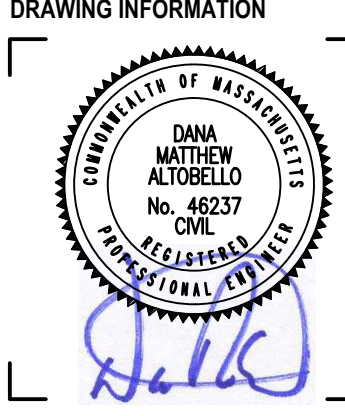
REVISIONS

1.	P.B. PEER REVIEW COMMENTS	6/20/22
AND FINAL PLANS.		DATE

DRAWING TITLE

**Erosion Control &
Demo Plan**

DRAWING INFORMATION



May 6, 2022
DATE OF ISSUE
Site Plan Review
DESCRIPTION
As Noted
SCALE
3403.00
PROJECT #
Pembroke
FILE NAME

DRAWING NUMBER

C301

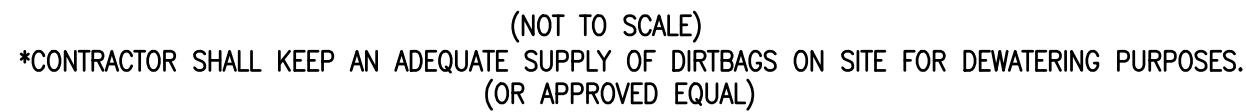
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REGULATIONS. ALL SILT SOCKS SHALL BE MULCH FILLED AND ONLY "STRAW BALES" SHALL BE USED ON SITE. NO HAY BALES SHALL BE USED ON SITE.
2. ALL EROSION CONTROLS SHALL BE INSPECTED BY THE PLANNING BOARD STAFF OR THEIR AGENT PRIOR TO COMMENCING ANY BUILDING CONSTRUCTION OR PROPOSED SITE WORK.
3. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 14 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM, POND, CATCH BASIN, OR WETLAND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT.
4. PERIMETER SEDIMENT BARRIERS (SILT SOCK, ETC.) SHOULD BE INSTALLED ON DOWNGRADE AREAS PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. EROSION CONTROL MEASURES WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE AND NEW SLOPES ARE STABILIZED.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSEURE. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE.
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
11. THE CONTRACTOR SHALL ALSO MAINTAIN AND/OR REPLACE EROSION CONTROL MEASURES AS DIRECTED BY THE TOWN OF PEMBRIDGE, D.P.W. FOR THE DURATION OF CONSTRUCTION.
12. FINAL STABILIZATION WILL CONSIST OF SEEDING, PLANTING, MULCHING OR PAVING.

3. FENCE OFF ALL CONSTRUCTION AREAS PRIOR TO DEMOLITION.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
3. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
4. BREAK UP CONCRETE FOUNDATION, UNLESS OTHERWISE DIRECTED BY OWNER REPRESENTATIVES.
5. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
6. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
7. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION ACTIVITIES WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND. FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR FURTHER DETAIL.
8. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
9. ALL DEMOLITION MATERIAL WILL BE PLACED IN DUMPSTERS ON A DAILY BASIS. COVER AND REMOVE DUMPSTERS WHEN FULL FROM SITE AND DISPOSE OF MATERIALS IN A LAWFUL MANNER. IN A LAWFUL MANNER.
10. ALL DUMPSTERS WILL BE PLACED AWAY FROM EXISTING BUSINESSES.
11. RETAIN AND PROTECT ALL LANDSCAPING TO THE EXTENT PRACTICABLE, AS NOTED ON SITE PLANS AND LANDSCAPE DESIGN PLANS.
12. ALL GAS CUT AND CAP WORK TO BE PERFORMED BY THE GAS COMPANY. ALL EXCAVATION, REMOVAL AND BACKFILLING OF GAS SERVICE LINES ON SITE SHALL BE PERFORMED BY THE CONTRACTOR.
13. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
14. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MASSDOT. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS AND OTHER ADJACENT FACILITIES. THE CONTRACTOR IS CAUTIONED THAT A STATE HIGHWAY ACCESS PERMIT IS REQUIRED FROM MASSDOT BEFORE ANY WORK CAN BE PERFORMED WITHIN THE STATE HIGHWAY LAYOUT.
15. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ALL AND DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG-SAFE" 72 HOURS PRIOR TO ANY EXCAVATION AT 1-888-344-7233.
16. ALL DOMESTIC WATER MUST BE CUT AND CAPPED AT THE PROPERTY LINE, GATE VALVE, FRAME AND COVER AND ALL APPURTENANCES MUST BE REMOVED IN ACCORDANCE WITH THE TOWN WATER DEPARTMENT SPECIFICATIONS AND STANDARD DETAILS.
17. SEE THIS SHEET FOR EROSION CONTROL NOTES.

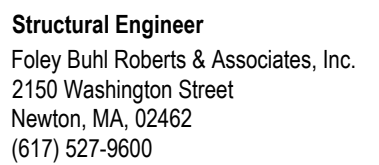
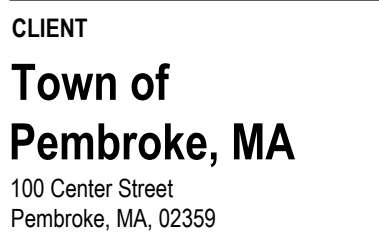
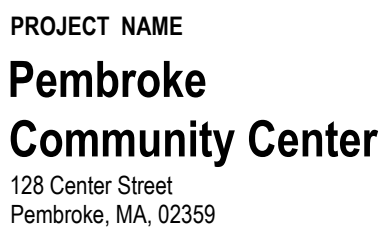
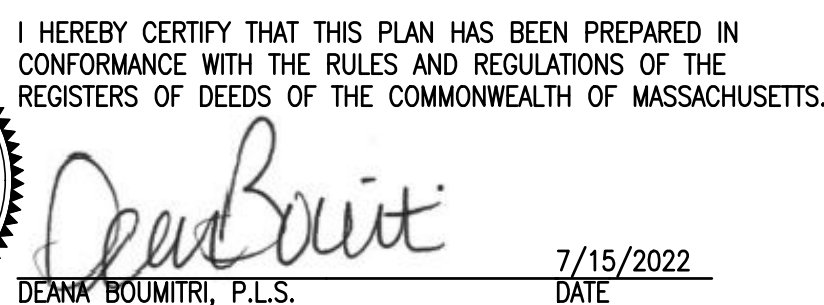
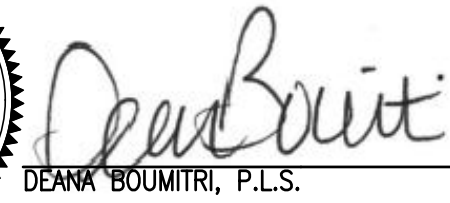
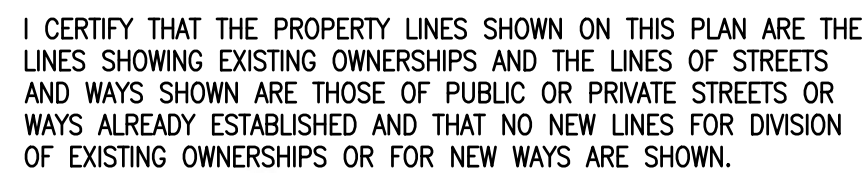
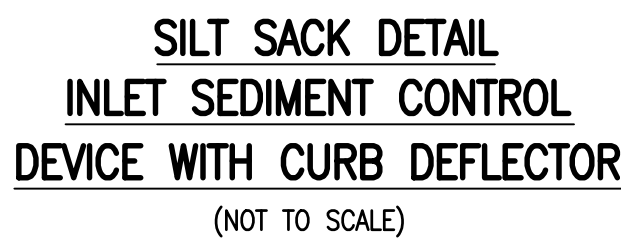
1. STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ON A WEEKLY BASIS.
2. INSPECTIONS FOR THE STORMWATER MANAGEMENT SYSTEMS SHALL TAKE PLACE WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 1/2".
3. MAINTENANCE TASKS SHALL BE PERFORMED MONTHLY OR AFTER SIGNIFICANT RAINFALL EVENTS OF 1" OF RAIN OR GREATER.

1. CONTRACTOR TO NOTIFY "DIG-SAFE" AND THE TOWN OF PEMBROKE DEPARTMENT OF PUBLIC WORKS WATER DIVISION 4 DAYS PRIOR TO CONSTRUCTION
2. THE EXISTING BUILDING ON PROPERTY IS TO BE COMPLETELY DEMOLISHED AND DEBRIS REMOVED FROM SITE AND PROPERLY DISPOSED OF OFFSITE. THIS INCLUDES BUILDING UTILITY SERVICES, BUILDING FOUNDATIONS, CONCRETE FLOOR SLABS, WALLS AND PAVED AREAS. CONTRACTOR TO ADHERE TO ALL REGULATIONS RELATED TO ASBESTOS ABATEMENT, REMOVAL AND DISPOSAL.
3. CONTRACTOR TO REMOVE ALL OTHER EXISTING ON SITE FACILITIES AS REQUIRED TO COMPLETE PROPOSED CONSTRUCTION DEVELOPMENT TO INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND DRAINAGE STRUCTURES, FENCING, TRASH ENCLOSURE, AUTOMOTIVE CURBING, CONCRETE SLABS, ASPHALT, LIGHTS, SIGNS, AND GRAVEL DRIVEWAYS. ALL UTILITY SERVICES WILL BE TURNED OFF, CUT AND CAPPED PER UTILITY COMPANY REQUIREMENTS.
4. ALL EXISTING ASPHALT PAVING TO BE REMOVED, INCLUDING CURBS, AND SHALL BE PROPERLY DISPOSED OF.
5. CONTRACTOR TO CLEAR, GRUB AND STUMP AREAS OF THE SITE TO BE DEVELOPED, AS REQUIRED. ALL STUMP AND TREE MATERIALS TO BE PROPERLY DISPOSED OF OFF SITE. NO STUMP, TREES, DEBRIS AND OTHER DEMOLITION MATERIAL IS TO BE BURIED ON SITE.
6. CONTRACTOR TO PERFORM AN ASBESTOS SURVEY PRIOR TO ANY DEMOLITION ACTIVITY. IF ASBESTOS IS FOUND, CONTRACTOR TO REMOVE ALL ASBESTOS AND PROPERLY DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
7. THE BUILDING SHALL BE INSPECTED FOR LEAD PAINT AND REMEDIATED BY A LICENSED CONTRACTOR IF REQUIRED.
8. THE REMOVAL AND DISPOSAL OF THE EXISTING SEPTIC SYSTEM ARE TO BE COMPLETED IN ACCORDANCE WITH THE PEMBROKE BOARD OF HEALTH REQUIREMENTS AND THE COMMONWEALTH OF MASSACHUSETTS, STATE ENVIRONMENTAL CODE, TITLE 5 (310 CMR 15.000).

1. NOTIFY DIG-SAFE.
2. APPLY TO UTILITY PROVIDERS AND TOWN FOR UTILITY SERVICE STUBS-CONNECTORS.
3. COORDINATE UTILITY TURN-OFF, CUTTING AND CAPPING WITH UTILITY PROVIDERS.
4. INSTALL TEMPORARY FENCE AROUND CONSTRUCTION AREA.
5. INSTALL EROSION CONTROL MEASURES.
6. DELIVER PORTA-POTTIES (TO BE EMPTIED WEEKLY) TO LOWER PART OF SITE.
7. COMMENCE WITH DEMOLITION-REMOVING WORK.
8. PLACE CONSTRUCTION TRAILER ON SITE.
9. PROCEED WITH FOUNDATION CONSTRUCTION.
10. COMPLETE SUBSURFACE UTILITY AND DRAINAGE WORK.
11. PLACE A LIFT OF DENSE GRADED SUB-BASE ON SITE TO STABILIZE PARKING AREA.
12. CONTINUE WITH BUILDING AND SITE CONSTRUCTION.
13. PERMANENTLY STABILIZE ALL DISTURBED AREAS.



1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FT.(EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CURB - WHEN PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE, FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAYS MUST BE REMOVED.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

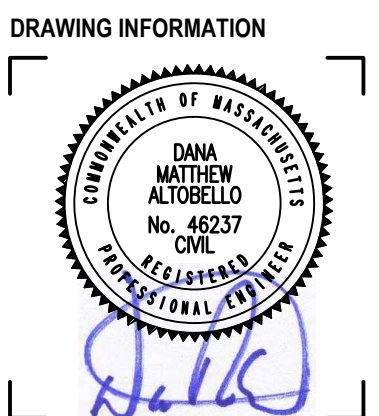


1. P.B. PEER REVIEW COMMENTS

AND FINAL PLANS. 6/20/22

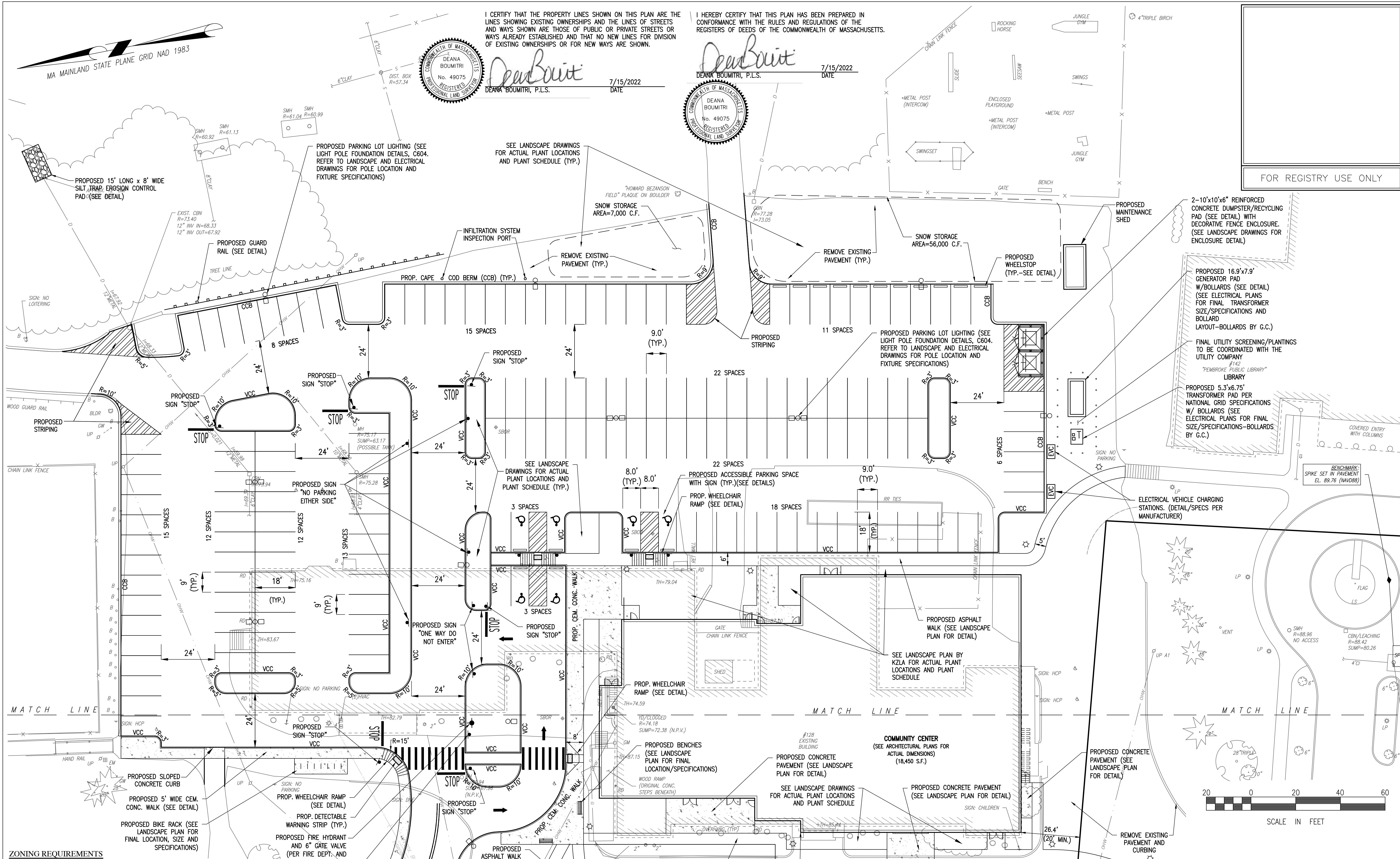
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Erosion Control & Demo Plan



May 6, 2022	
DATE OF ISSUE	
Site Plan Review	
DESCRIPTION	
As Noted	
SCALE	DRAWN BY
3403.00	Pembroke
PROJECT #	FILE NAME

C302



ZONING REQUIREMENTS

ZONE: RESIDENTIAL A AND PEMBROKE CENTER HISTORICAL DISTRICT

USE: EXISTING: TOWN RECREATION DEPARTMENT PROPOSED: COMMUNITY CENTER

AREA:	REQUIRED	EXISTING	PROPOSED
	40,000 S.F.	34.19 AC (1,489,316 S.F.)	NO CHANGE

FRONTAGE:	150 FEET	592±	NO CHANGE
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MINIMUM YARD SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT	40 FEET	172± FEET	166± FEET
SIDE	20 FEET	27± FEET	166± FEET
REAR	25 FEET	1,558± FEET	1,584± FEET

BUILDING HEIGHT:	2.5 STORIES MAX	2	(SEE ARCH. DRAWINGS)
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LOT PERIMETER RATIO	>55	269	NO CHANGE
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LOT COVERAGE	<65%	12.31%	9.4±% (OR 90.6±% OPEN SPACE)
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LOT WIDTH	170 FEET	525 FEET	NO CHANGE
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PARKING REQUIREMENTS

USE	PARAMETER	FIRST FLOOR QUANTITY	SPACES	REQUIRED
OFFICE SPACE	1SP/150 S.F.	2,115	14	14
ASSEMBLY	1SP/4 SEATS	252	63	63
GYM	1SP/200 S.F.	10,807	54	54
STORAGE	1SP/300 S.F.	1,039	3.5	4
TOTAL:				135

ACCESSIBLE PARKING SPACES: 6 FOR 151-200 SPACES (MIN)

SPACE SIZE: 9'x18' AISLE WIDTH: 24'

PARKING SPACES		
EXISTING	REQUIRED	PROPOSED
147	135	160 W/6 ACCESSIBLE SPACES (48 ADD'L SPACES AT TOWN HALL AND 59 AT LIBRARY)

- LANDSCAPING REQUIREMENTS**
- 25% OPEN SPACE: 90.68± PROPOSED
 - 1 TREE W/ 60 S.F. PERMEABLE LANDSCAPE AREA PER 6 SPACES:
160 SPACES x 1 TREE/6 SPACES = 26.7 TREES (MIN)
(SEE LANDSCAPE PLANS FOR ACTUAL TREE COUNT, LOCATIONS AND SPECIES)
 - REQUIRED PARKING LOT INTERIOR LANDSCAPING >5%:
(5,112 S.F. LANDSCAPE / 64,185 S.F. PARKING AREA) = 8%

IMPERVIOUS AREA CALCS

TOTAL LOT AREA	EXISTING	PROPOSED
	BUILDINGS: 46,338± S.F. (3.1%) PARKING & DRIVES: 118,550± S.F. COURTS: 18,834± S.F.	BUILDINGS: 38,184± S.F. (2.6%) PAVEMENT: 82,452± S.F. COURTS: 18,834 S.F.
1,489,316± SF	183,722± SF (12.3%±)	139,470± S.F. (9.4%±)

WASTEWATER GENERATION:

DESIGN DAILY FLOW: 310 CWR 15.203 = 2,693± GAL/DAY
(SEE SEPTIC DESIGN PLANS FOR FINAL DESIGN AND DETAILS)

WATER CONSUMPTION:

(ASSUME 80% OF WATER CONSUMPTION IS DISCHARGED AS WASTEWATER)
2,693 GAL/DAY/0.80 = 3,367 GAL/DAY

STOPPING SIGHT DISTANCE (SSD)

POSTED SPEED (V) = 25MPH
BRAKE REACTION TIME (t) = 2.5 SEC
DECELERATION RATE (a) = 11.2 FT/SEC²

SSD=1.47V + 1.075V²/
a

SSD=151.9 FT (MIN)

- NOTES:**
- THE CONTRACTOR SHALL NOTE THAT THE EXISTING BUILDING AND UTILITY CONNECTIONS ARE SHOWN AS REFERENCE ONLY; THE EXISTING STRUCTURE WILL BE RAZED AND ALL EXISTING UTILITY CONNECTIONS WILL HAVE BEEN PROPERLY DISCONNECTED PRIOR TO THE START OF CONSTRUCTION FOR THE PROPOSED BUILDING, AND SITE CONSTRUCTION.
 - FINAL SITE ELECTRICAL/FIBER OPTIC LINE LOCATIONS AND CONFIGURATION TO BE SHOWN ON ELECTRICAL SITE PLAN.

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REVISIONS

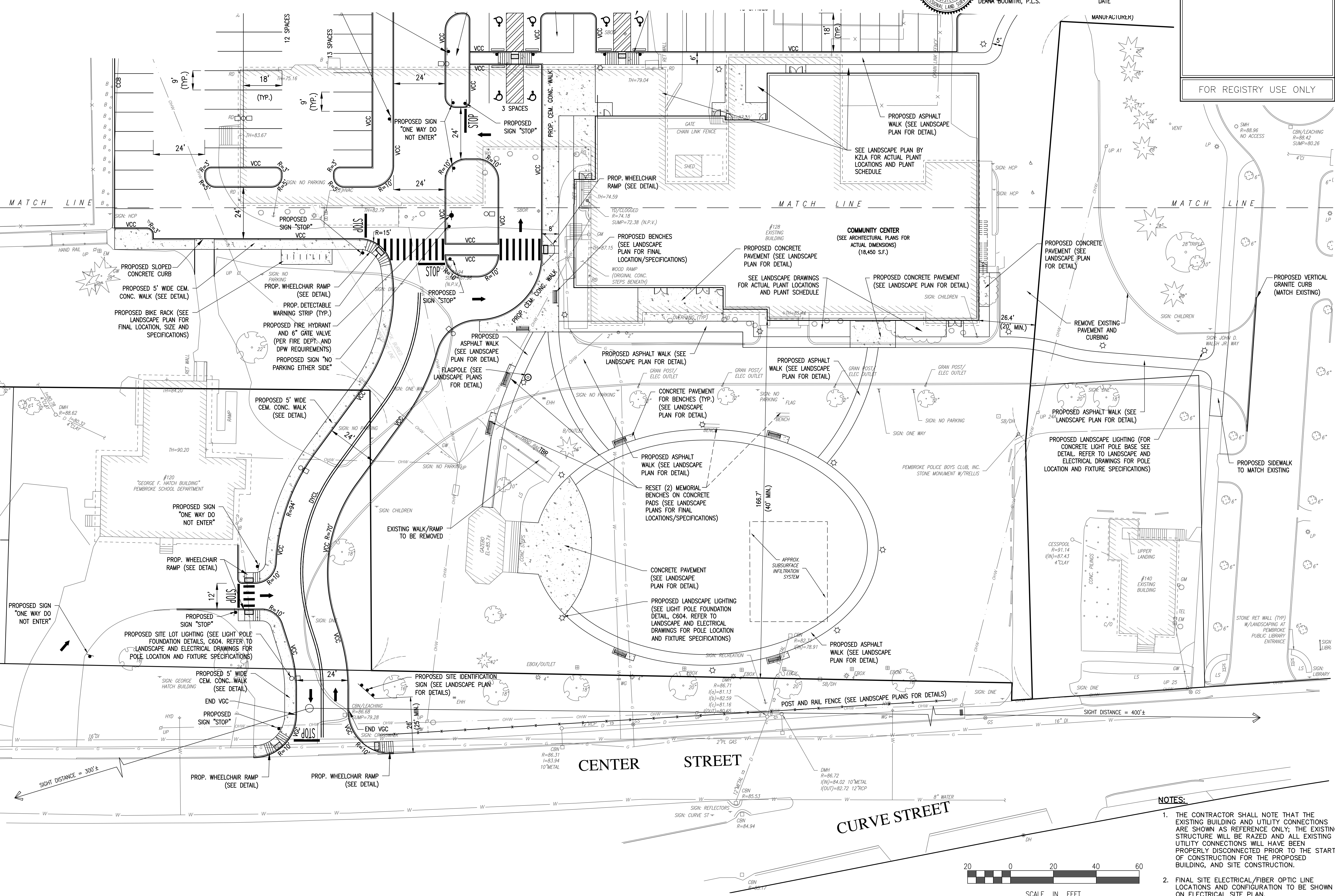
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	AND FINAL PLANS	

DRAWING TITLE
Layout & Zoning

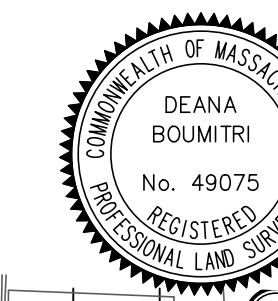
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DRAWING NUMBER
C401

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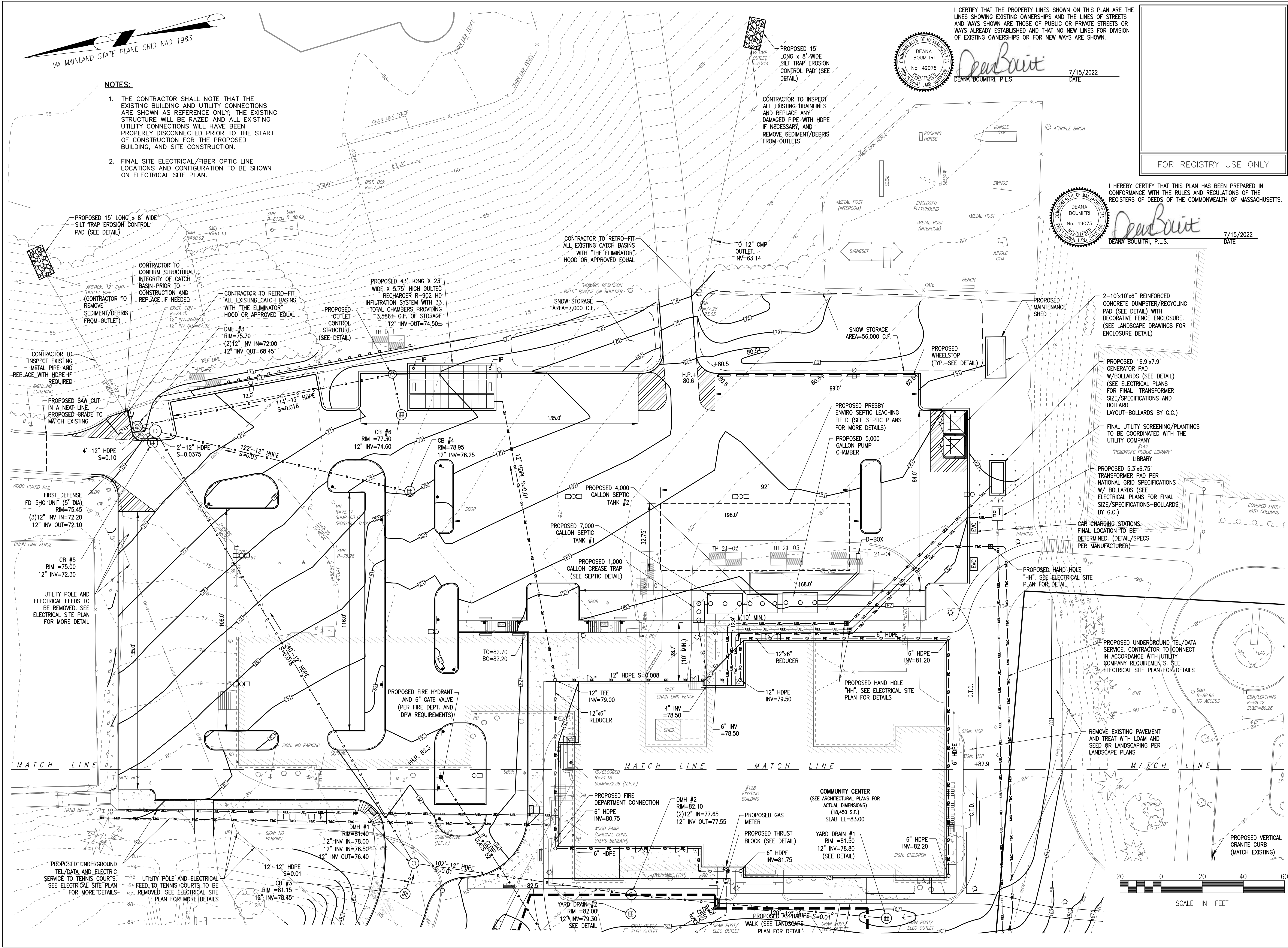
WAYS ALREADY ESTABLISHED AND I
OF EXISTING OWNERSHIPS OR FOR

 *Deana Boumitri*
DEANA BOUMITRI, P.L.S.

7/15/2022
DATE

DRAWING NUMBER

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DEANA BOUMITRI
No. 49075
REGISTERED PROFESSIONAL LAND SURVEYOR
MASSACHUSETTS

7/15/2022
DATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DEANA BOUMITRI
No. 49075
REGISTERED PROFESSIONAL LAND SURVEYOR
MASSACHUSETTS

7/15/2022
DATE

FOR REGISTRY USE ONLY

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NO.	DESCRIPTION	DATE
1	P.B. PEER REVIEW COMMENTS	6/20/22
2	AND FINAL PLANS	

DRAWING TITLE
Grading & Utilities

DRAWING INFORMATION

DATE OF ISSUE
May 6, 2022

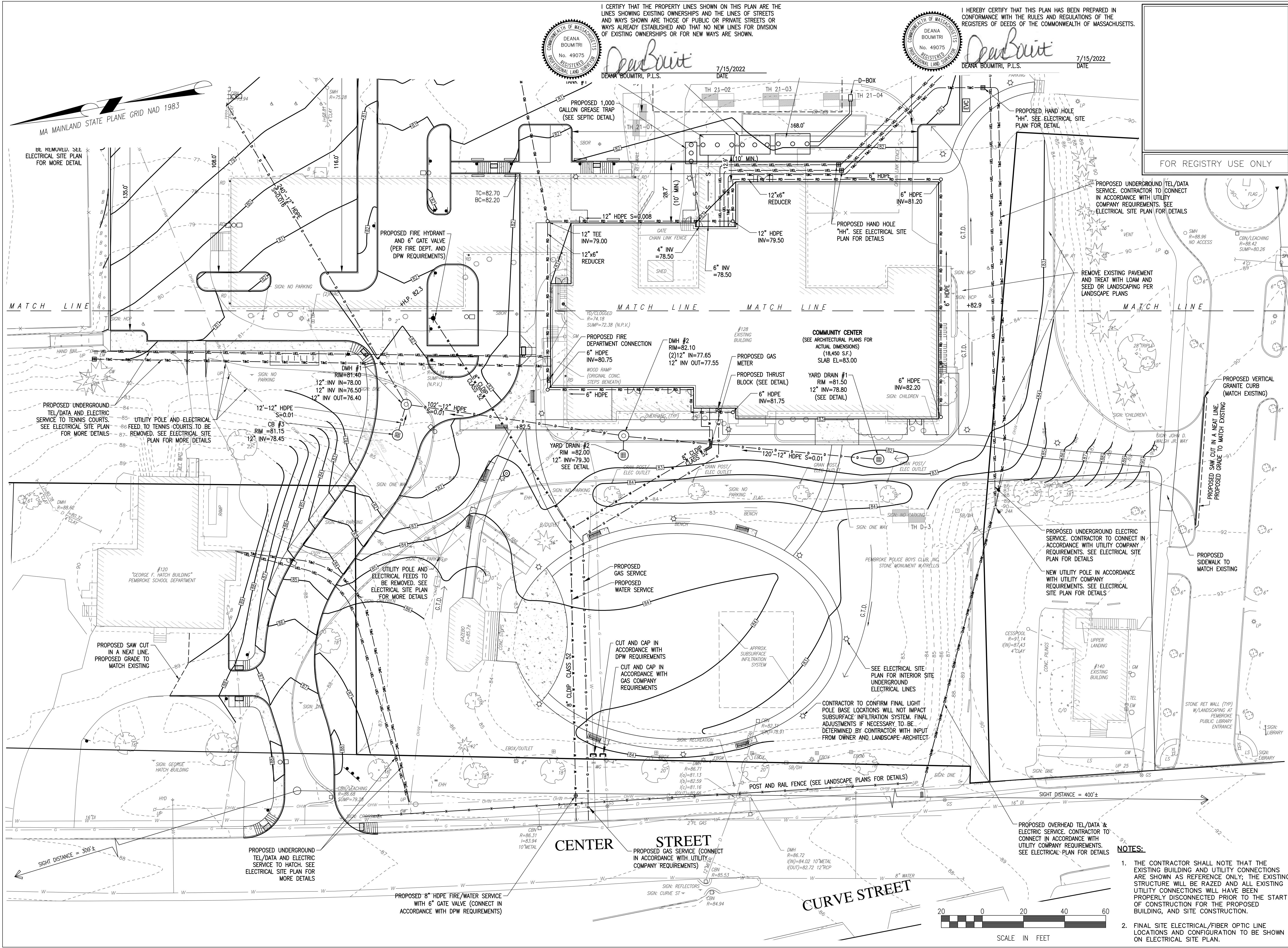
Site Plan Review
DESCRIPTION

As Noted
SCALE

PAL
DRAWN BY
Pembroke
FILE NAME

DRAWING NUMBER
C501

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DEANA BOUMITRI, P.L.S.
7/15/2022
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DEANA BOUMITRI, P.L.S.
7/15/2022
DATE

ARCHITECT

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Grading & Utilities

DRAWING INFORMATION

DATE OF ISSUE: May 6, 2022

Site Plan Review DESCRIPTION: As Noted SCALE: 1"=40'-0" PAL DRAWN BY: P.B. PROJECT # 3403.00 FILE NAME: Pembroke

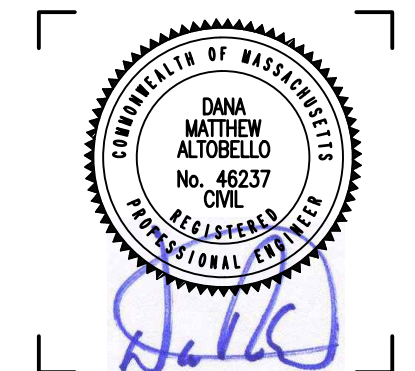
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- FINAL SITE ELECTRICAL/FIBER OPTIC LINE LOCATIONS AND CONFIGURATION TO BE SHOWN ON ELECTRICAL SITE PLAN.



GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
2. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HDPE OR REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE.
3. REINFORCED CONCRETE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C76 AND AASHTO DESIGNATION M170. WALL B. REINFORCED CONCRETE MANHOLES & CATCHBASINS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C478 AND AASHTO DESIGNATION M199. ALL CONCRETE PIPES AND STRUCTURES SHALL MEET THE LATEST MASS HIGHWAY DEPARTMENT SPECIFICATIONS AND PEMBROKE SUBDIVISION STANDARDS.
4. CORRUGATED POLYETHYLENE PIPE AND STRUCTURES SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
5. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
6. RIP RAP SPLASH APRONS SHALL BE PROVIDED AT ALL DRAINAGE OUTFALLS AS SHOWN ON THE DRAWINGS.
7. ALL SERVICE CONNECTIONS (I.E. ROOF AND CANOPY DRAINS) SHALL BE INSTALLED TO A POINT OF 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

DRAINAGE INFILTRATION SYSTEM NOTES

DURING CONSTRUCTION OF THE DRAINAGE INFILTRATION SYSTEMS, THE FOLLOWING MEASURES SHALL BE TAKEN:

1. ALL STOCKPILES SHALL BE STORED DOWN GRADIENT OF THE EXCAVATION TO ENSURE ANY POTENTIAL SEDIMENT DOES NOT REACH THE INFILTRATION AREA.
2. ALL EQUIPMENT FOR EXCAVATION AND PLACEMENT OF STONE AND STRUCTURES SHALL BE KEPT OUTSIDE THE AREA OF THE SYSTEM.
3. ALL WATER RESULTING FROM DEWATERING ACTIVITIES SHALL BE DIRECTED AWAY FROM THE INFILTRATION AREAS.
4. NO STORMWATER SHALL BE DISCHARGED INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE FULLY STABILIZED WITH PAVEMENT, VEGETATION OR OTHER PERMANENT TREATMENT.

UTILITY NOTES

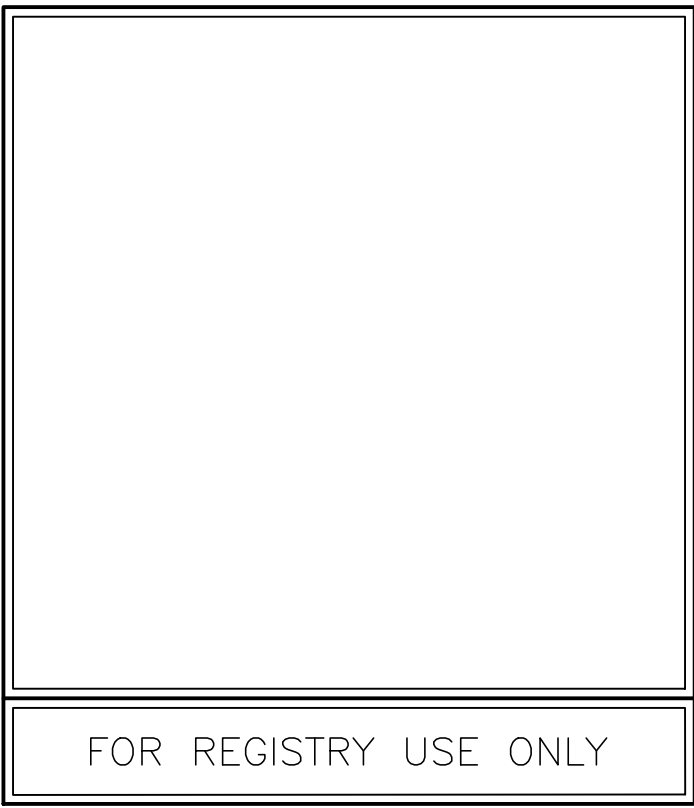
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY. ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
4. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
5. ALL WATER MAIN FITTINGS, TEES, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
6. ALL HYDRANTS SHALL BE INSTALLED WITH A 6" C.I.D.I. RUNOUT AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE, BOX, AND TEE FITTING. ALL HYDRANTS SHALL BE SUPER 200 CENTURION (OPENS LEFT) WITH BRASS FITTINGS AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL MUNICIPAL REQUIREMENTS.
7. DOMESTIC WATER SERVICES SHALL BE PER PEMBROKE DPW REQUIREMENTS AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE CURB STOP, AND BOX.
8. ALL WATER MAINS 3" AND LARGER SHALL BE HDPE OR CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. ALL GATE VALVES SHALL BE MUELLER, OPEN LEFT.
9. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
10. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
11. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
12. PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
13. ALL GRAVITY SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.) S.D.R. 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
14. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
15. PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACKFILL AND COMPACTION FOR THE GAS LINE.
16. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

GENERAL CONSTRUCTION AND EROSION CONTROL NOTES

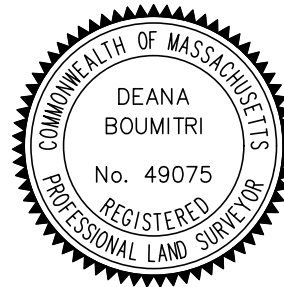
1. PROPERTY LINE DATA FROM EXISTING PLANS OF RECORD; TOPOGRAPHIC AND DETAIL SURVEY PERFORMED BY MERRILL ASSOCIATES INC. IN NOVEMBER OF 2021.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
3. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND UTILITY PERMITS AND VERIFY THE PROPOSED LOCATION OF UTILITIES WITH UTILITY COMPANIES.
5. CONTRACTOR TO NOTIFY "DIG-SAFE" AND THE TOWN OF PEMBROKE DEPARTMENT OF PUBLIC WORKS WATER DIVISION (826-3189) 4 DAYS PRIOR TO CONSTRUCTION
6. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT TO A NEAT LINE AND MATCH GRADE.

GENERAL CONSTRUCTION AND EROSION CONTROL NOTES (CONTINUED)

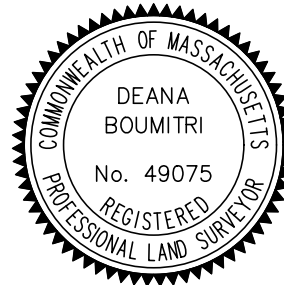
7. ALL EXISTING TREES, SHRUBS AND GROUND COVER WITHIN 15' OF PROPERTY LINES AND WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
8. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND STRAW MULCHED FOR EROSION CONTROL, EXCEPT 6" OF LOAM SHALL BE USED WITHIN 10' OF EDGE OF ROADWAY.
9. DRAINAGE SYSTEM TO BE AS PER PEMBROKE DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.
10. ALL SUBSURFACE STRUCTURES TO CONFORM TO MASSACHUSETTS HIGHWAY DOT CONSTRUCTION STANDARDS AND SHALL BE SUITABLE FOR H-20 LOADING.
11. THE CONTRACTORS ATTENTION IS DIRECTED TO ALL REQUIREMENTS OF THE PEMBROKE PLANNING BOARD, BOARD OF HEALTH AND DEPARTMENT OF PUBLIC WORKS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
13. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS DATED MARCH 1997, PLANNING BOARD DECISION AND ALL MUNICIPAL REGULATIONS.
14. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
15. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETER WITH STAKED STRAW BALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. THE LOCATION OF THE STOCKPILE AREAS MAY BE MODIFIED AS APPROVED BY THE ENGINEER.
16. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
17. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS. AREAS THAT REMAIN DISTURBED BUT INACTIVE FOR AT LEAST THIRTY DAYS SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
18. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE LINE OF SILT SOCK OR STAKED STRAW BALES AND SILT FENCE.
19. DURING UTILITY CONSTRUCTION, ALL WATER PUMPED FROM THE EXCAVATED TRENCH SHALL BE DIRECTED TO A "DIRT BAG" PUMPED SEDIMENT REMOVAL SYSTEM (OR APPROVED EQUAL) AS MANUFACTURED BY ACF ENVIRONMENTAL.
20. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY EROSION CONTROL FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
21. SILT BAGS SHALL BE UTILIZED AT ALL EXISTING AND PROPOSED CATCH BASINS/DRAIN INLETS (IF PRESENT) SUBJECT TO STORMWATER RUNOFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
22. EROSION CONTROL SHALL ALSO BE PLACED AROUND CATCH BASINS/DRAIN INLETS (IF PROPOSED) AND ARE REQUIRED DURING CONSTRUCTION.
23. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT.
24. THE LOCATION OF EROSION CONTROLS SHALL BE FIELD VERIFIED DURING SITE PREPARATION OPERATIONS BY THE CONTRACTOR.
25. ALL PROPOSED SLOPES (EXCLUDING THE RIPRAP SLOPE) STEEPER THAN 3:1 WHICH SHOW SIGNS OF EROSION SHALL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSIOR COMPANY (OR APPROVED EQUAL) AND PROTECTED FROM EROSION.
26. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROLS AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER, THE CONSERVATION COMMISSION OR THE PLANNING BOARD TO MITIGATE ANY EMERGENCY CONDITION.
27. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
28. THE CONSTRCTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR UTILITY CONNECTION FEES REQUIRED TO CARRY OUT THE WORK OUTLINE.
29. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL MUNICIPAL REQUIREMENTS.
30. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
31. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
32. THE CONTRACTOR SHALL BE AWARE THAT SOIL AND GRADES AT THIS SITE MAKE IT PARTICULARLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. IT SHOULD BE NOTED THAT THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL AND ARE REPRESENTATIVE OF A SINGLE STAGE OF CONSTRUCTION FOR EACH PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE CONDITIONS CHANGE.
33. THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITION, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
34. THE EROSION CONTROL BARRIERS SHOWN ON THE DRAWINGS (IF PROPOSED) SHALL ACT AS THE LIMITS OF DISTURBANCE AND THE LIMITS OF CLEARING; NO WORK SHALL OCCUR OUTSIDE THESE LIMITS.
35. THE CONTRACTOR SHALL AT HIS EXPENSE SURVEY AND MARK OUT IN THE FIELD THE LIMITS OF CLEARING PRIOR TO THE START OF ANY WORK.
36. THE CONTRACTOR SHALL NOTIFY THE PLANNING BOARD AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK.
37. PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL PREPARE A WEEKLY REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND FEDERAL AGENTS UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
38. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR EROSION CONTROLS.
39. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
40. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
41. DUST SHALL BE CONTROLLED ON SITE, DURING DAY PERIODS. EXPOSED EXCAVATIONS, DISTURBED SOILS AND UNPAVED TRAFFIC AREAS SHALL BE MAINTAINED IN A MOIST CONDITION AND SHALL BE WETTED DOWN WITH CLEAN WATER AS NECESSARY.
42. ALL STUMPS SHALL BE DISPOSED OF OFF SITE.



I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES SHOWING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.



Deana Boumitri
DEANA BOUMITRI, P.L.S. 7/15/2022
DATE



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Deana Boumitri
DEANA BOUMITRI, P.L.S. 7/15/2022
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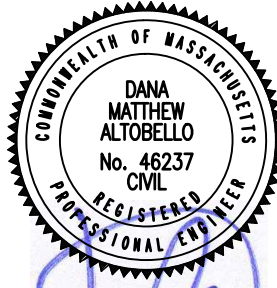
REVISIONS

1. P.B. PEER REVIEW COMMENTS	6/20/22
AND FINAL PLANS	DATE

DRAWING TITLE

Site Details

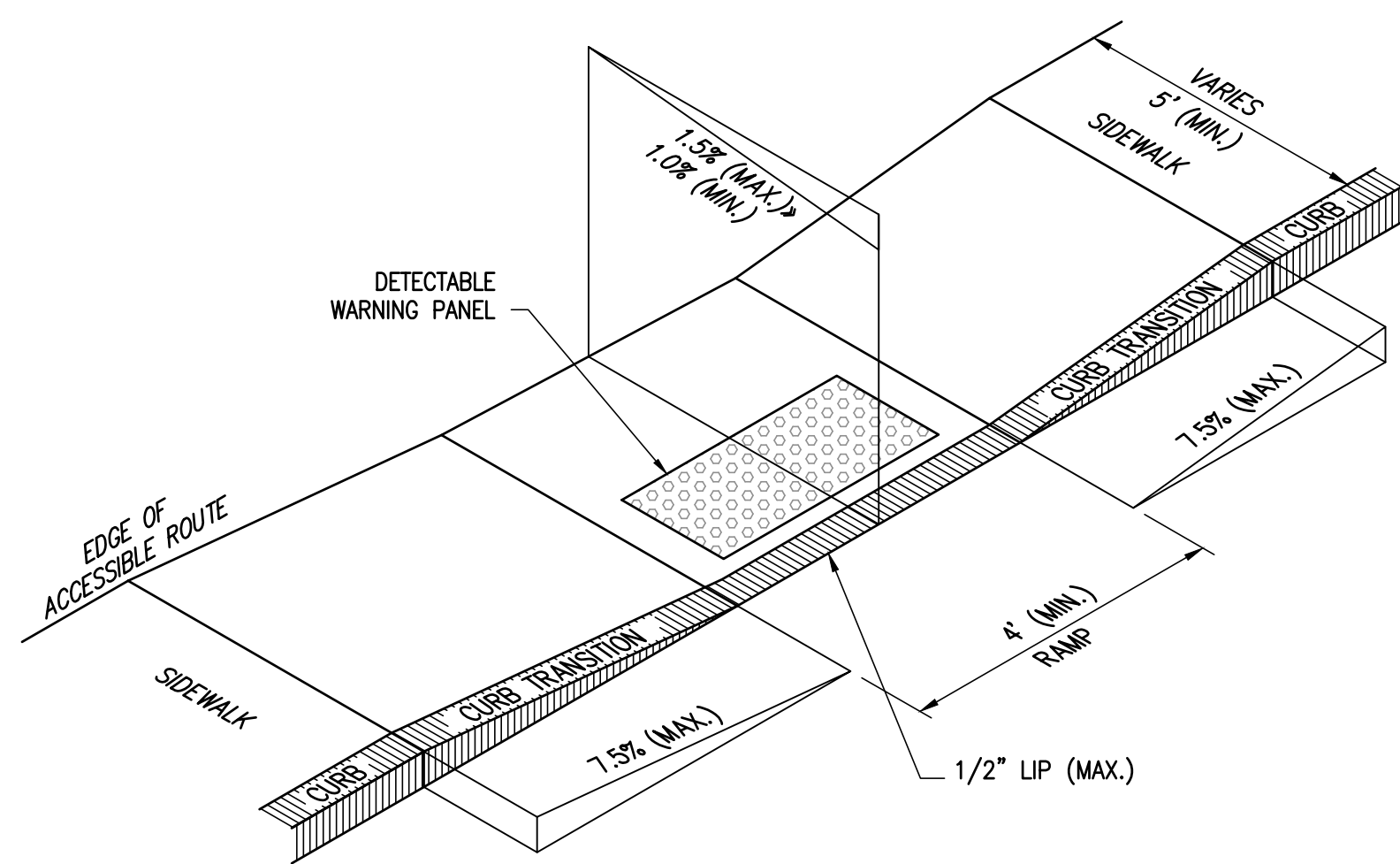
DRAWING INFORMATION



May 6, 2022
DATE OF ISSUE
Site Plan Review
DESCRIPTION
As Noted
SCALE
3403.00
PROJECT #
DRAWN BY
Pembroke
FILE NAME

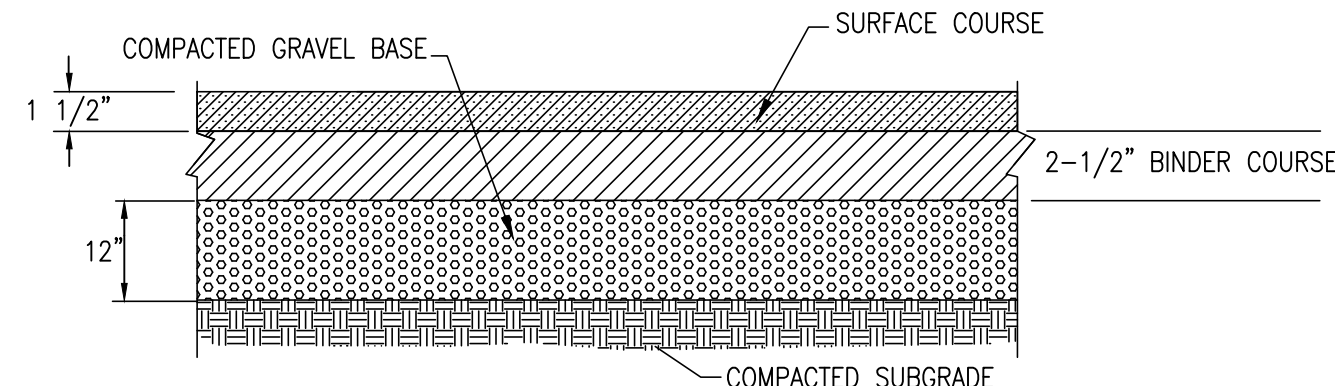
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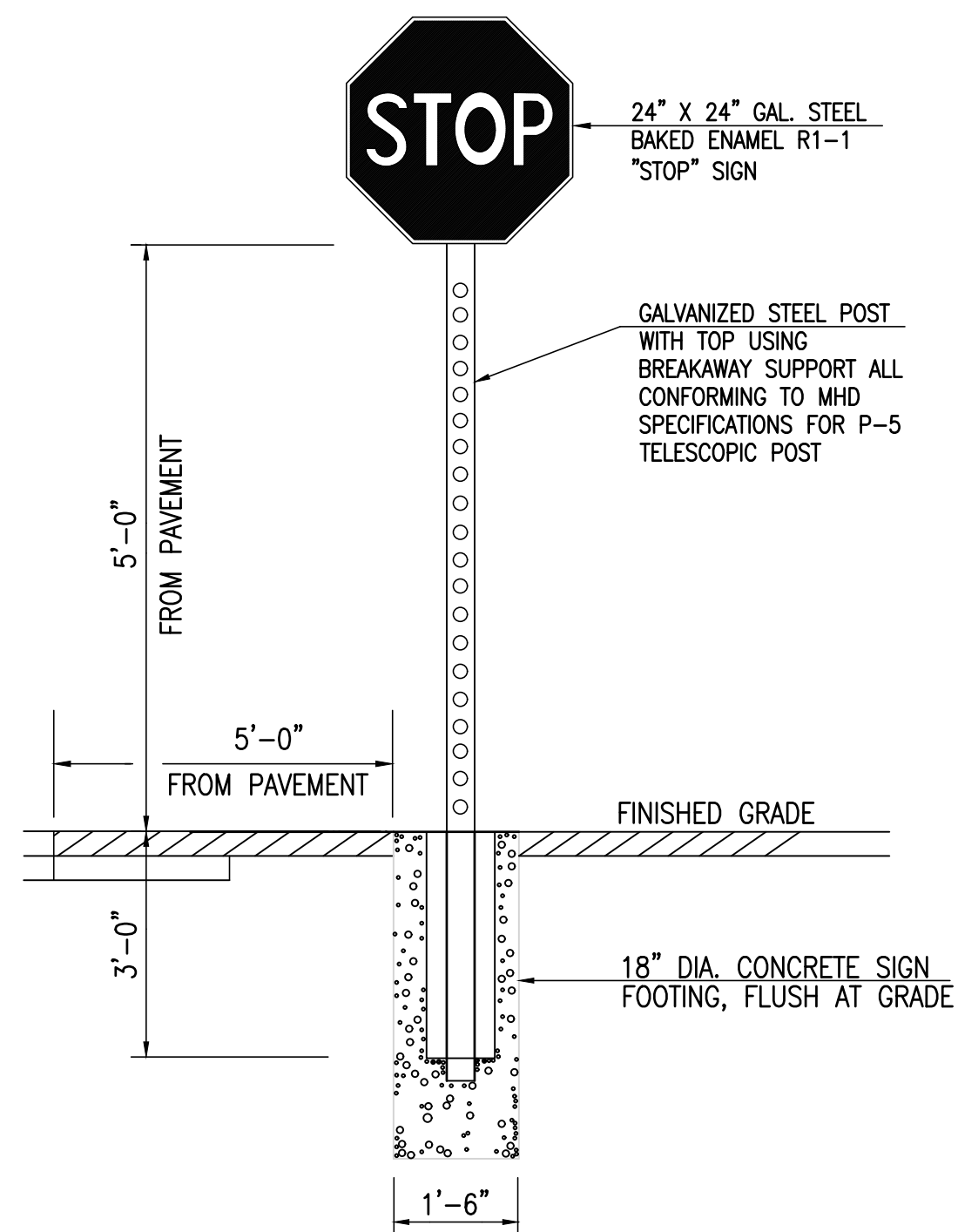
ACCESSIBLE CURB RAMP DETAIL (TYPE A)
(NOT TO SCALE)

- NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. PROVIDE DETECTABLE WARNINGS AS REQUIRED BY CURRENT REGULATIONS.

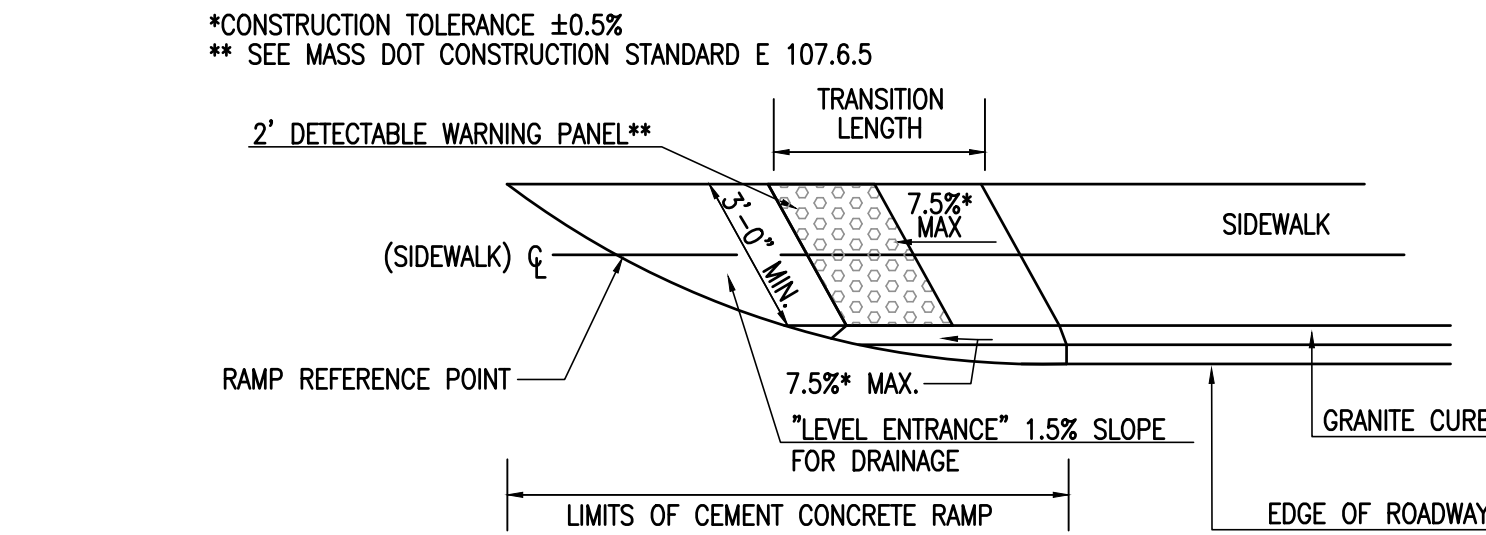


BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)

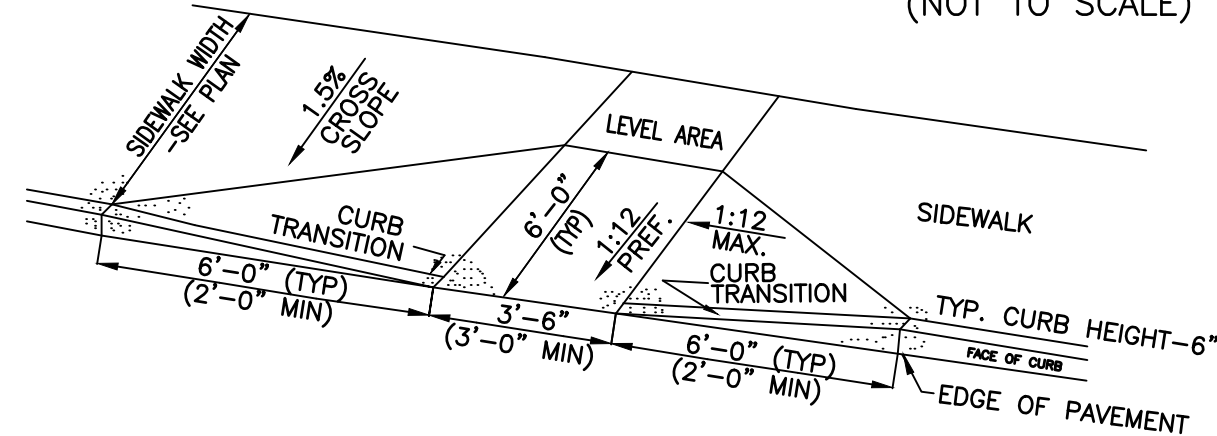
- NOTE:
1. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH CLEAN GRAVEL BASE (90% COMPACTION)
 2. ALL DRIVEWAY AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEERS SPECIFICATIONS.



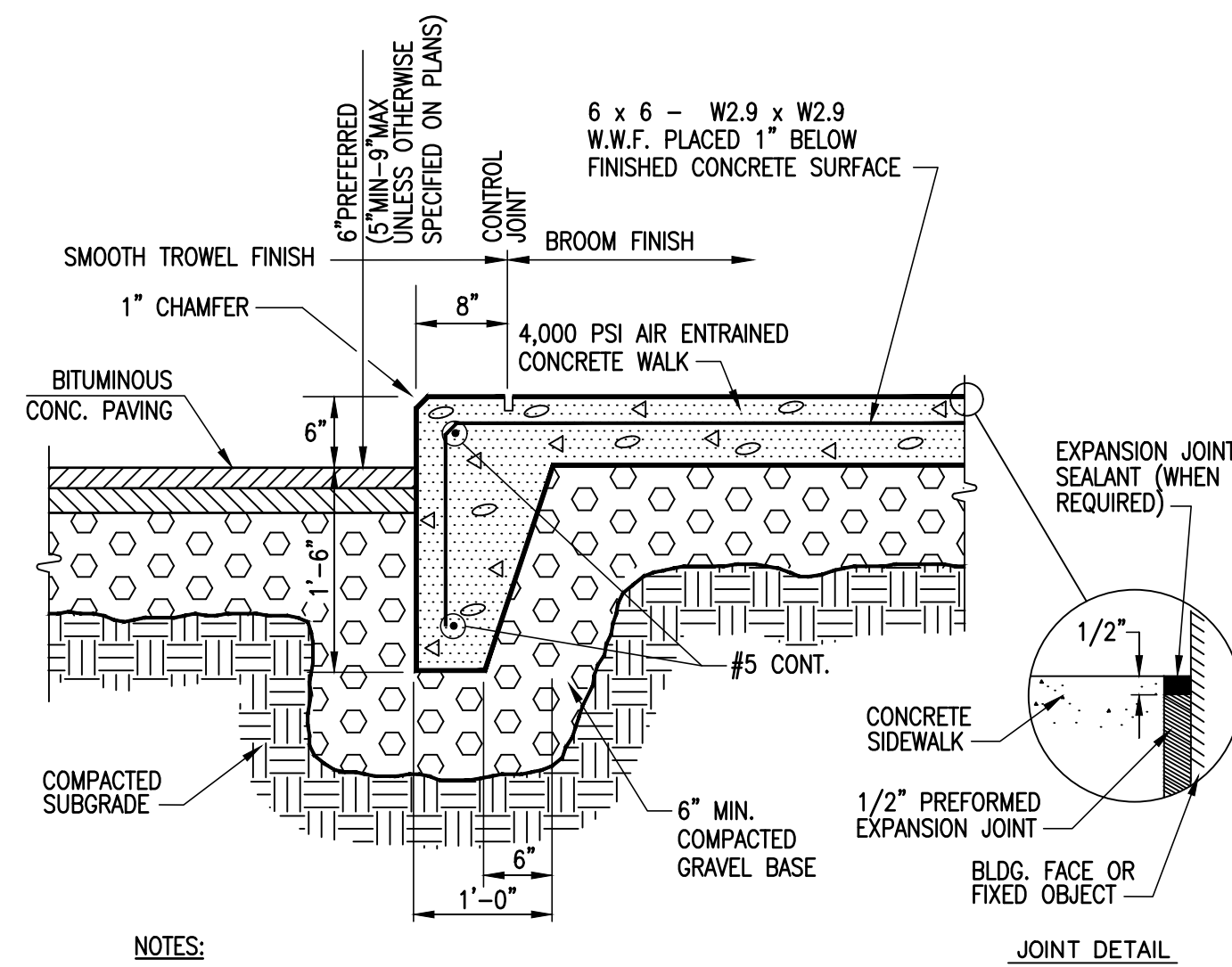
STOP SIGN DETAIL
(NOT TO SCALE)



WHEELCHAIR RAMP (TYPE C)
(NOT TO SCALE)

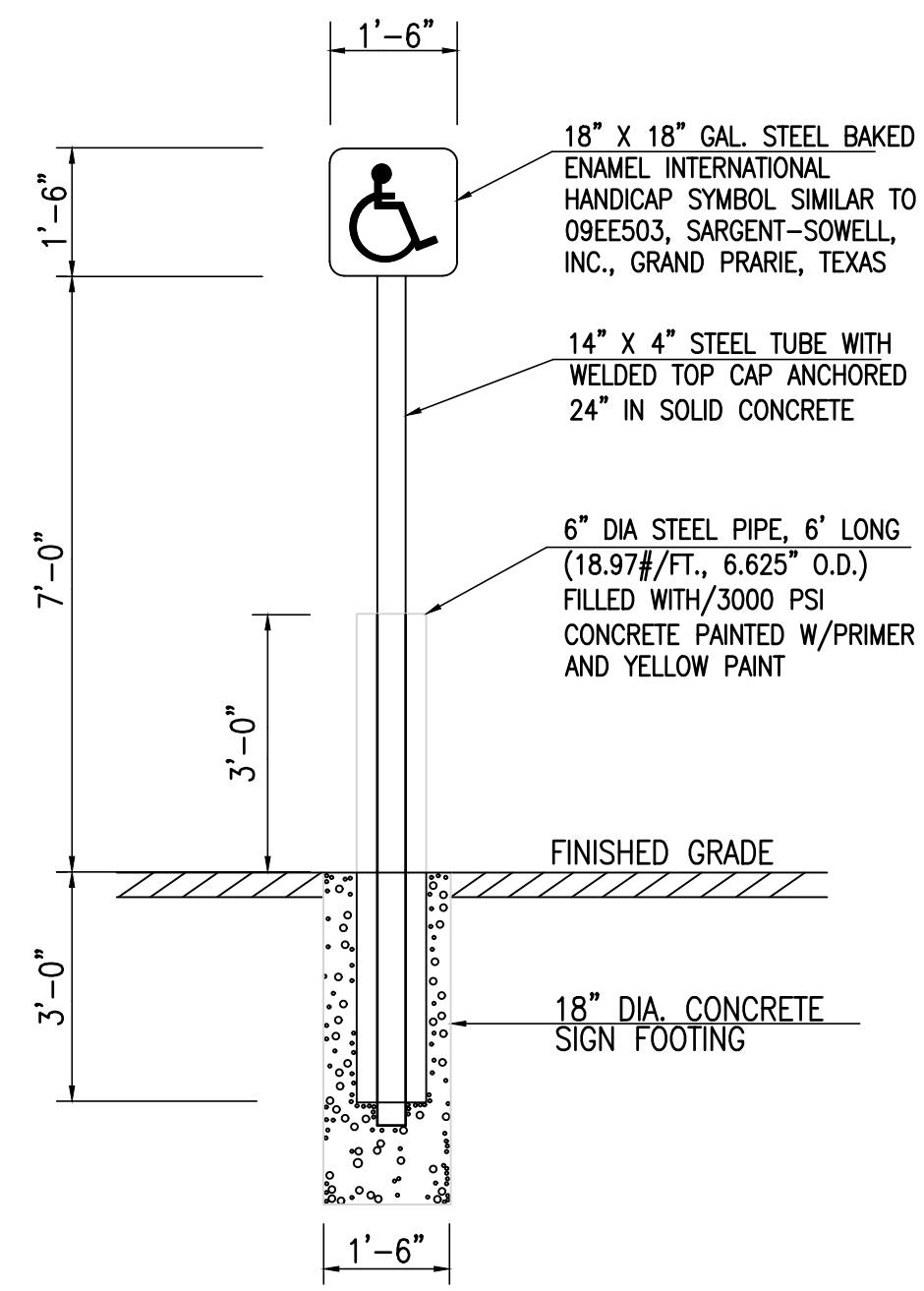


ACCESSIBLE CURB RAMP DETAIL (TYPE B)
(NOT TO SCALE)

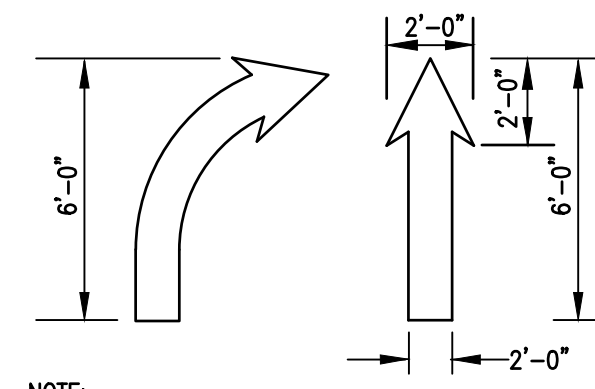


- NOTES:
1. PROVIDE CONTROL JOINTS AS SHOWN AND AT 5'-0" O.C. MIN.
 2. PROVIDE EXPANSION JOINTS AT 20'-0" O.C. MIN. JOINTS TO BE TRANSVERSE TO DIRECTION OF WALK EXCEPT AS SHOWN.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

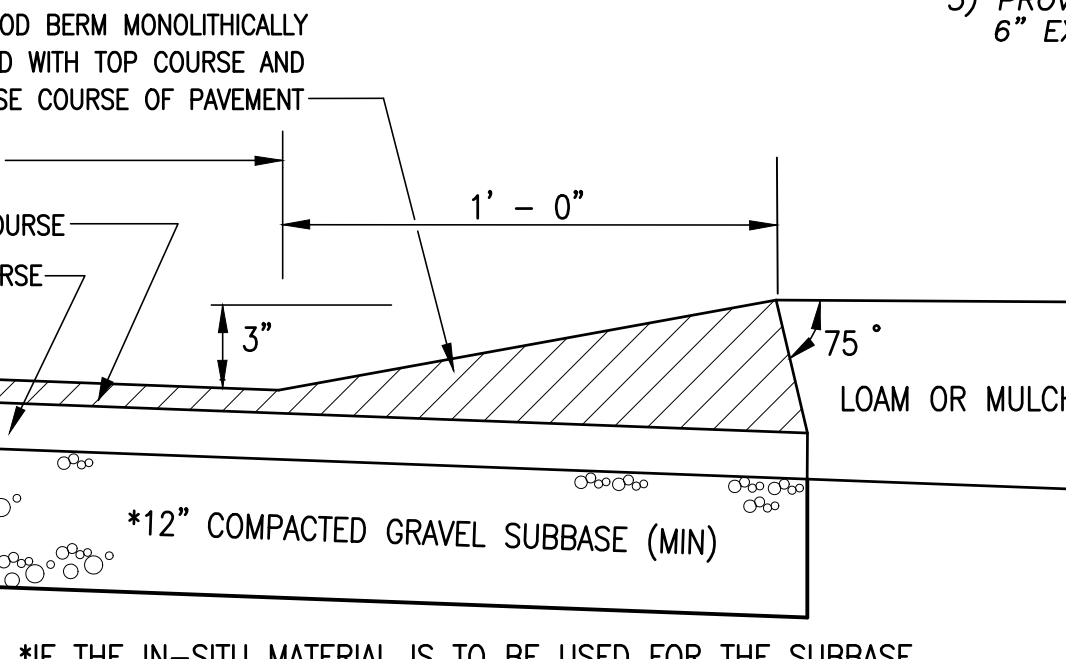
CONCRETE WALK-CURB DETAIL
(NOT TO SCALE)



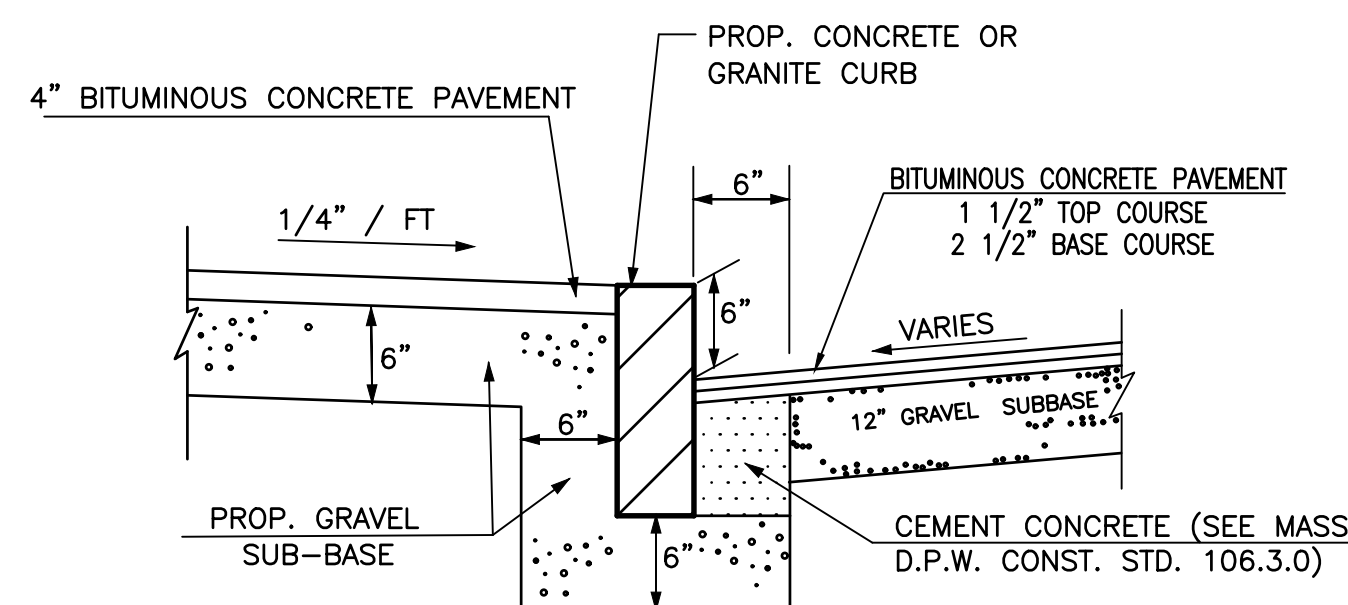
HANDICAP SIGN DETAIL
(NOT TO SCALE)



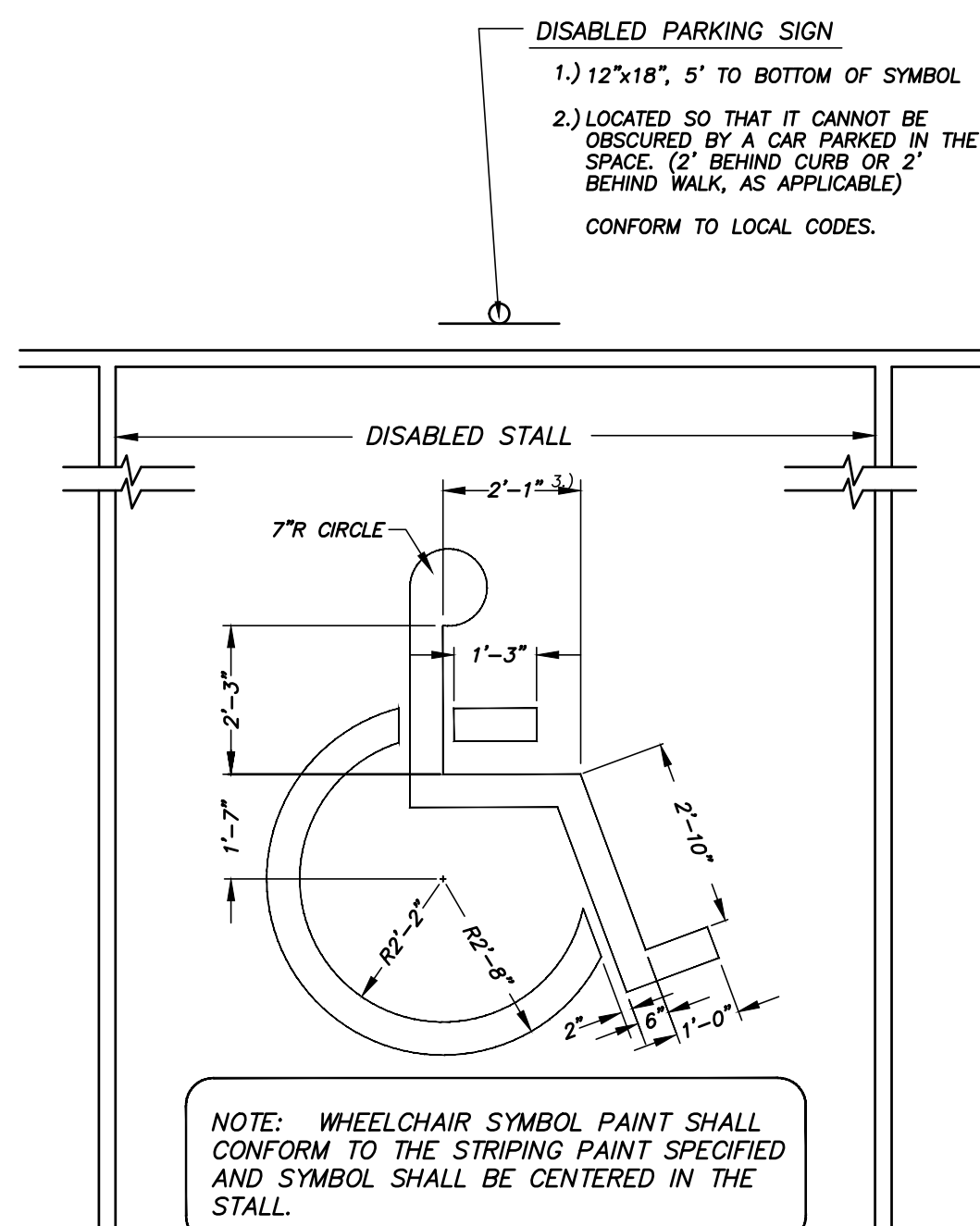
PAINTED TRAFFIC ARROW
(NOT TO SCALE)



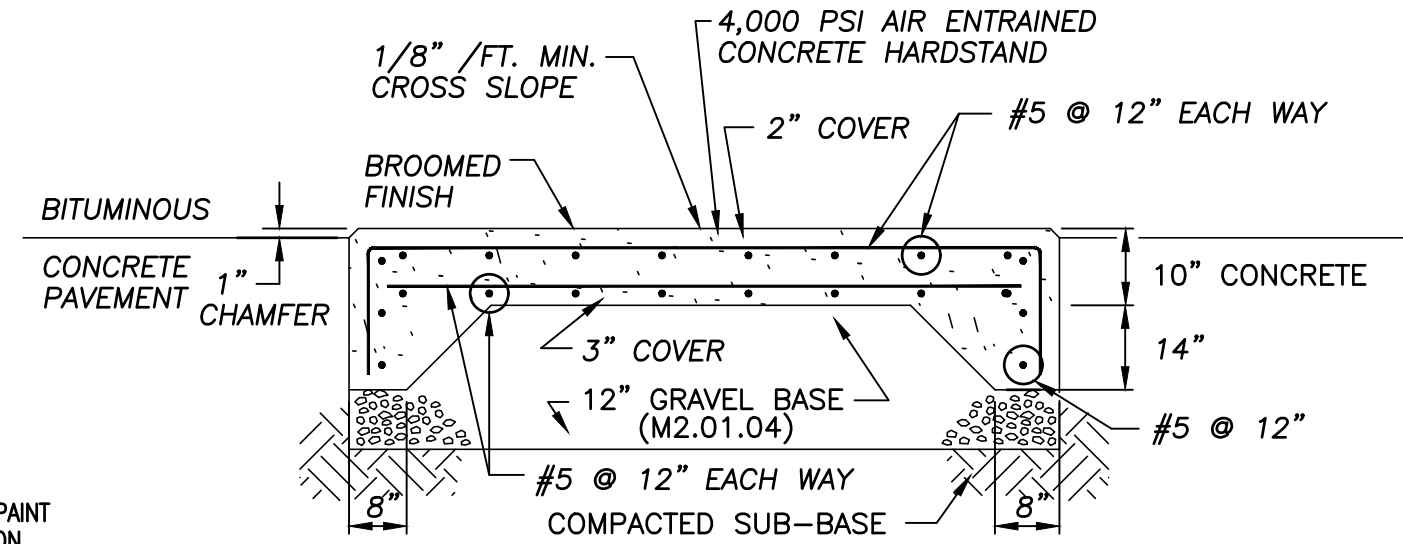
CAPE COD BERM DETAIL
(NOT TO SCALE)



CURB DETAIL
(NOT TO SCALE)

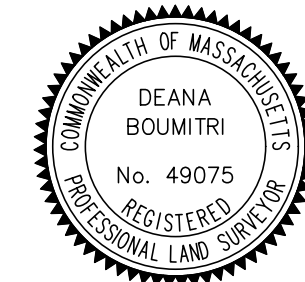
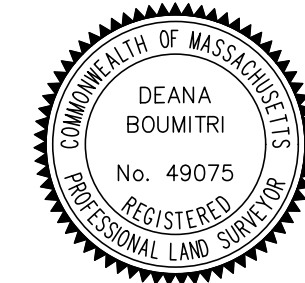


DISABLED PARKING SPACE PAINTING DETAIL
(NOT TO SCALE)



DUMPSTER PAD DETAIL DETAIL
(NOT TO SCALE)

- NOTES:
1. LOCATIONS PER SITE PLAN
 2. PROVIDE 1/2" DEEP CONTROL JOINTS AT 5' O.C.
 3. PROVIDE CONSTRUCTION JOINT WITH 1/4" PREMOLED 6" EXPANSION JOINT FILLER AT 25' O.C.

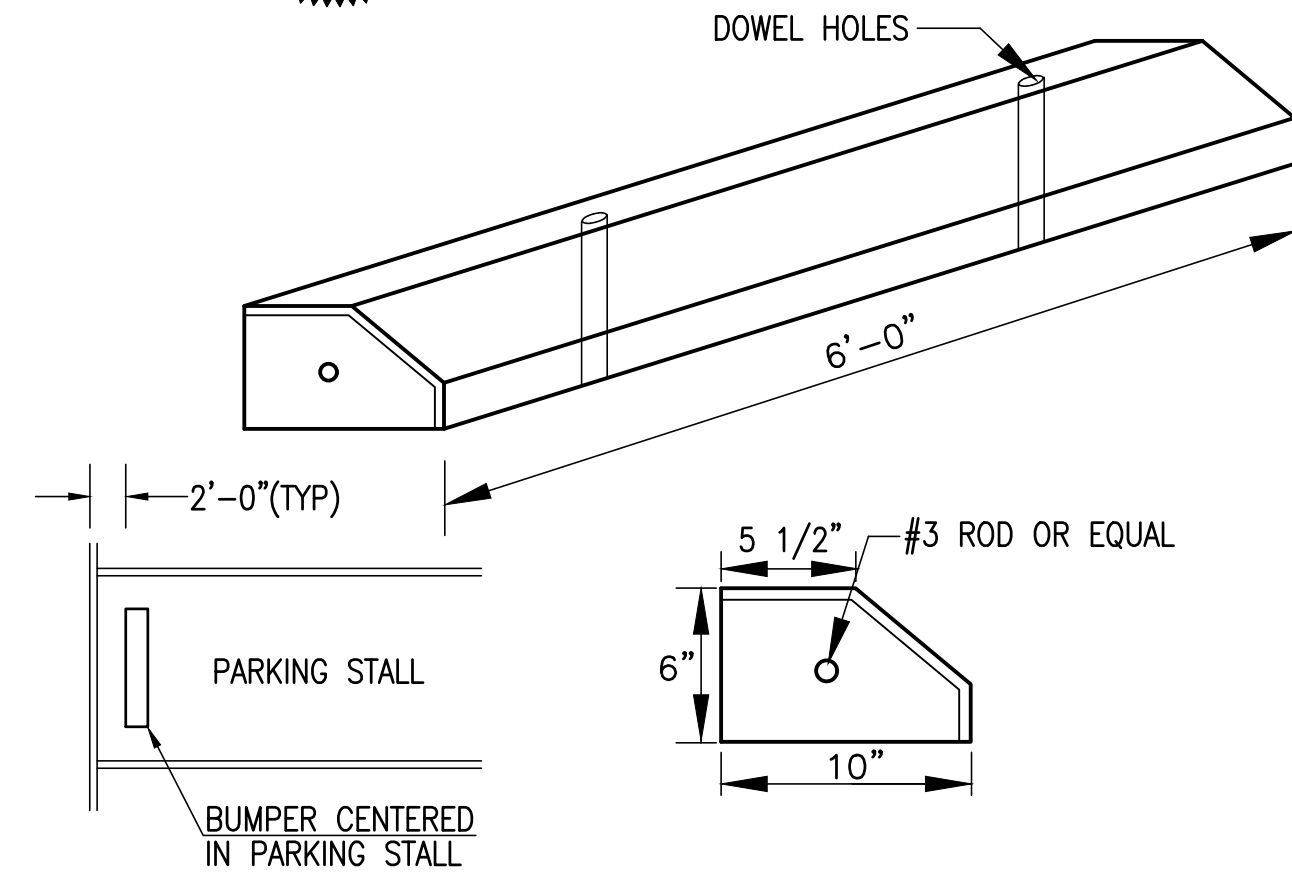


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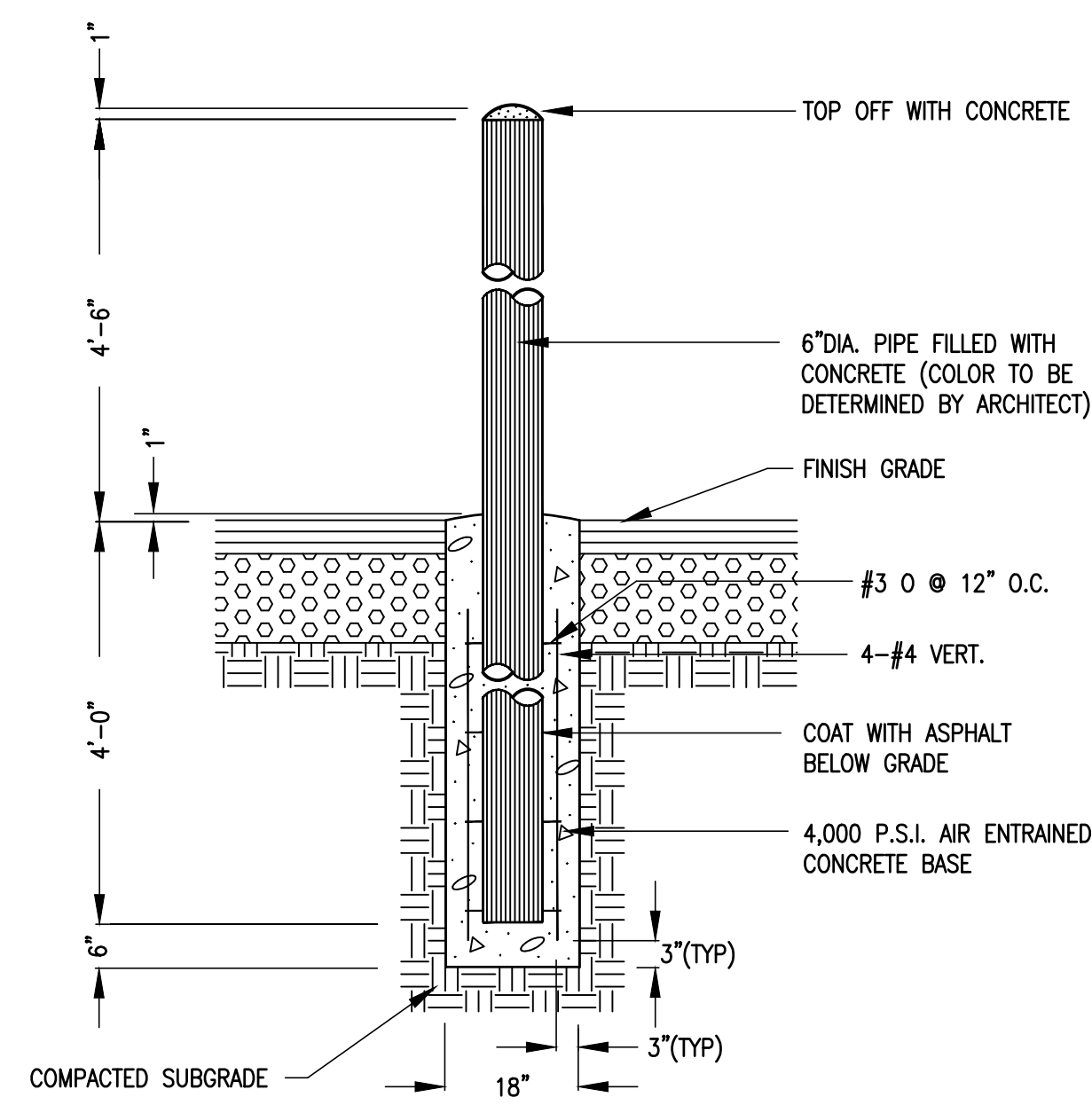
DEANA BOUMITRI, P.L.S.
DATE: 7/15/2022

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DEANA BOUMITRI, P.L.S.
DATE: 7/15/2022



PRECAST CONCRETE WHEELSTOP DETAIL
(NOT TO SCALE)



BOLLARD DETAIL
(NOT TO SCALE)

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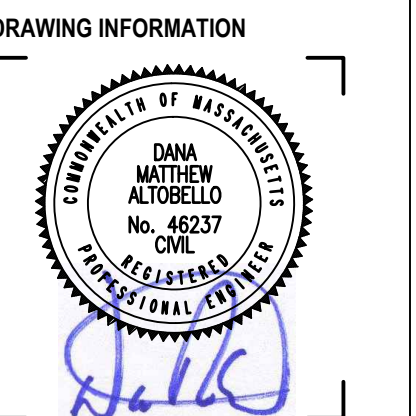
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1.	P.B. PEER REVIEW COMMENTS
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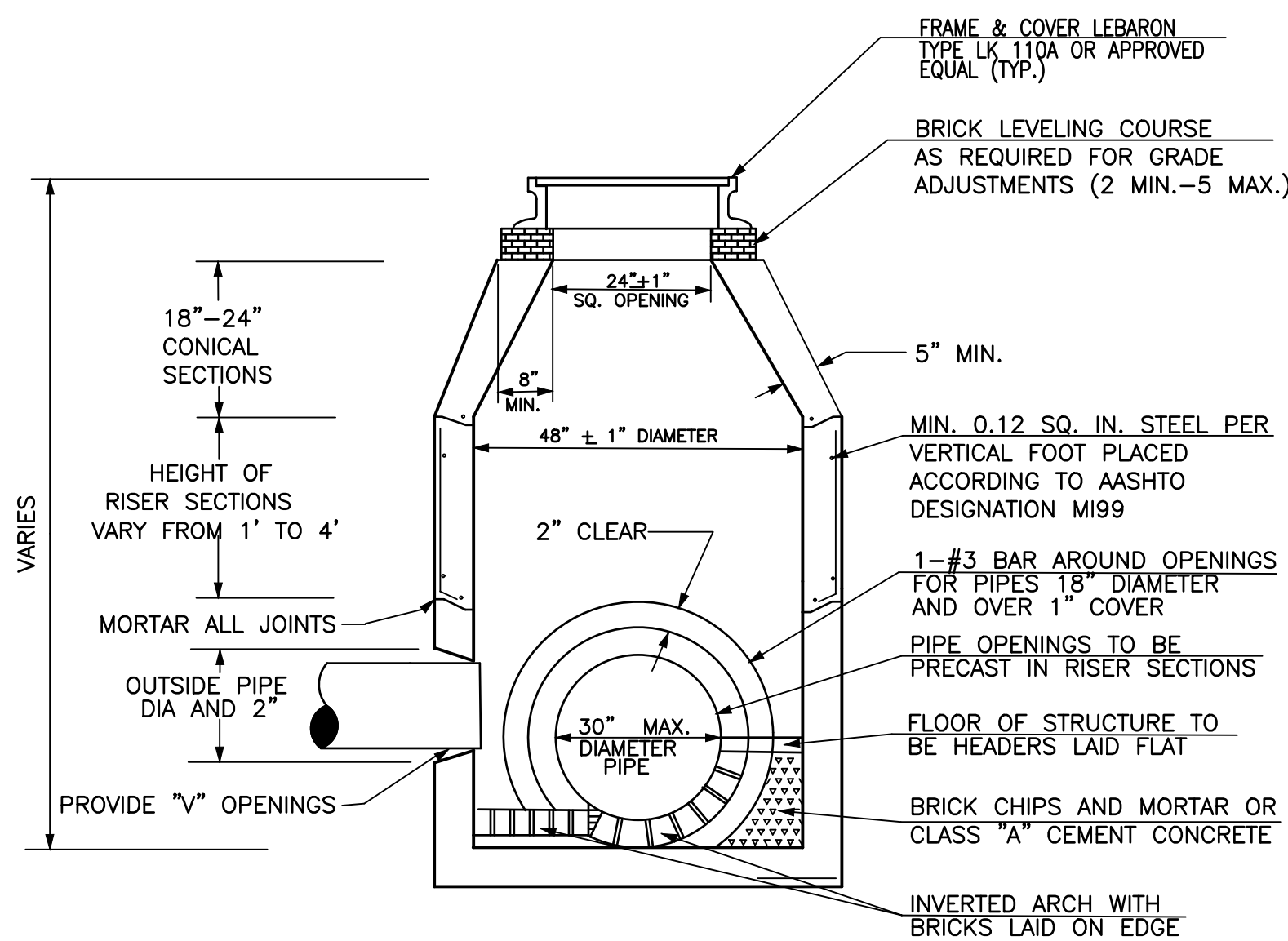
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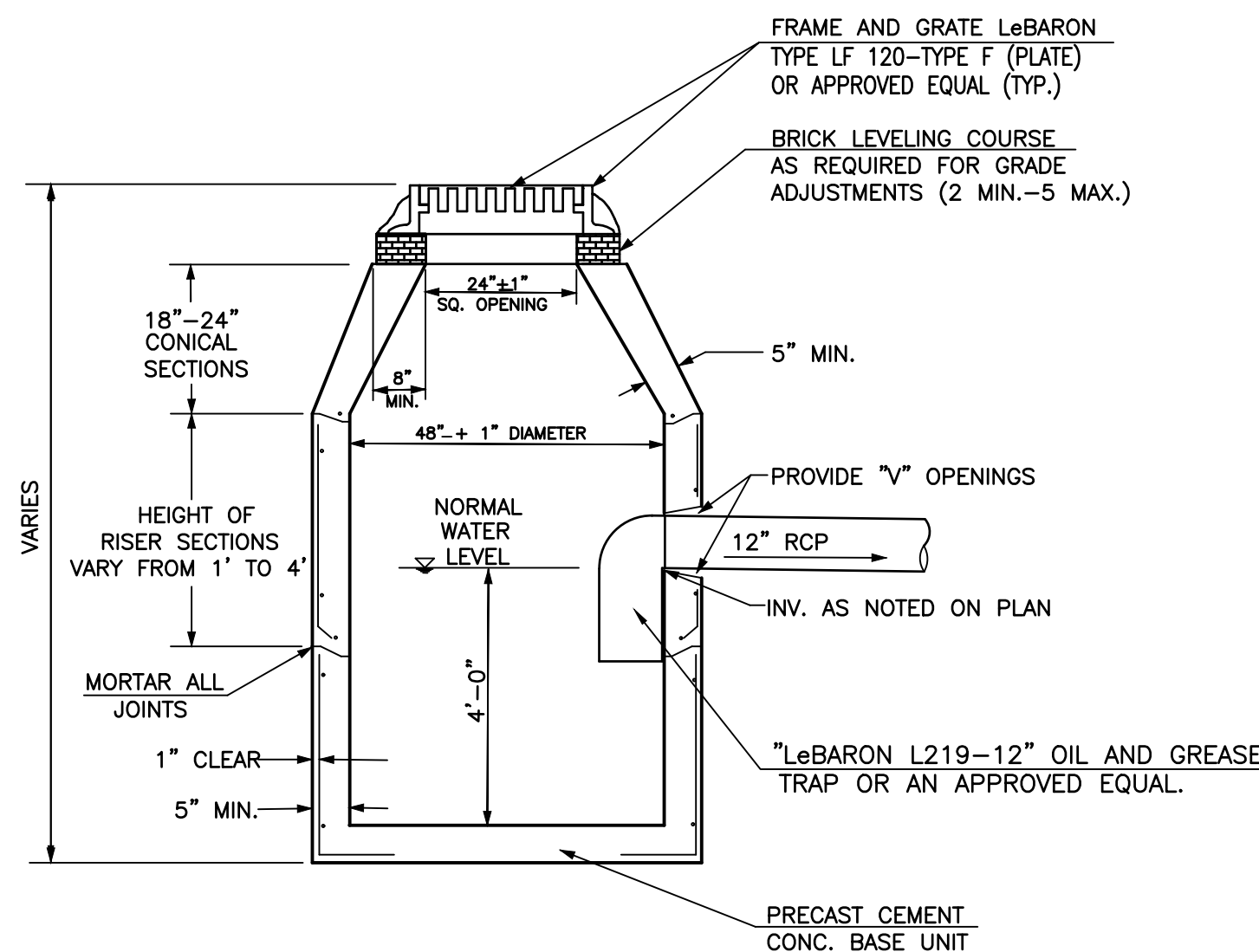
May 6, 2022
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DESCRIPTION
As Noted
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DRAWN BY
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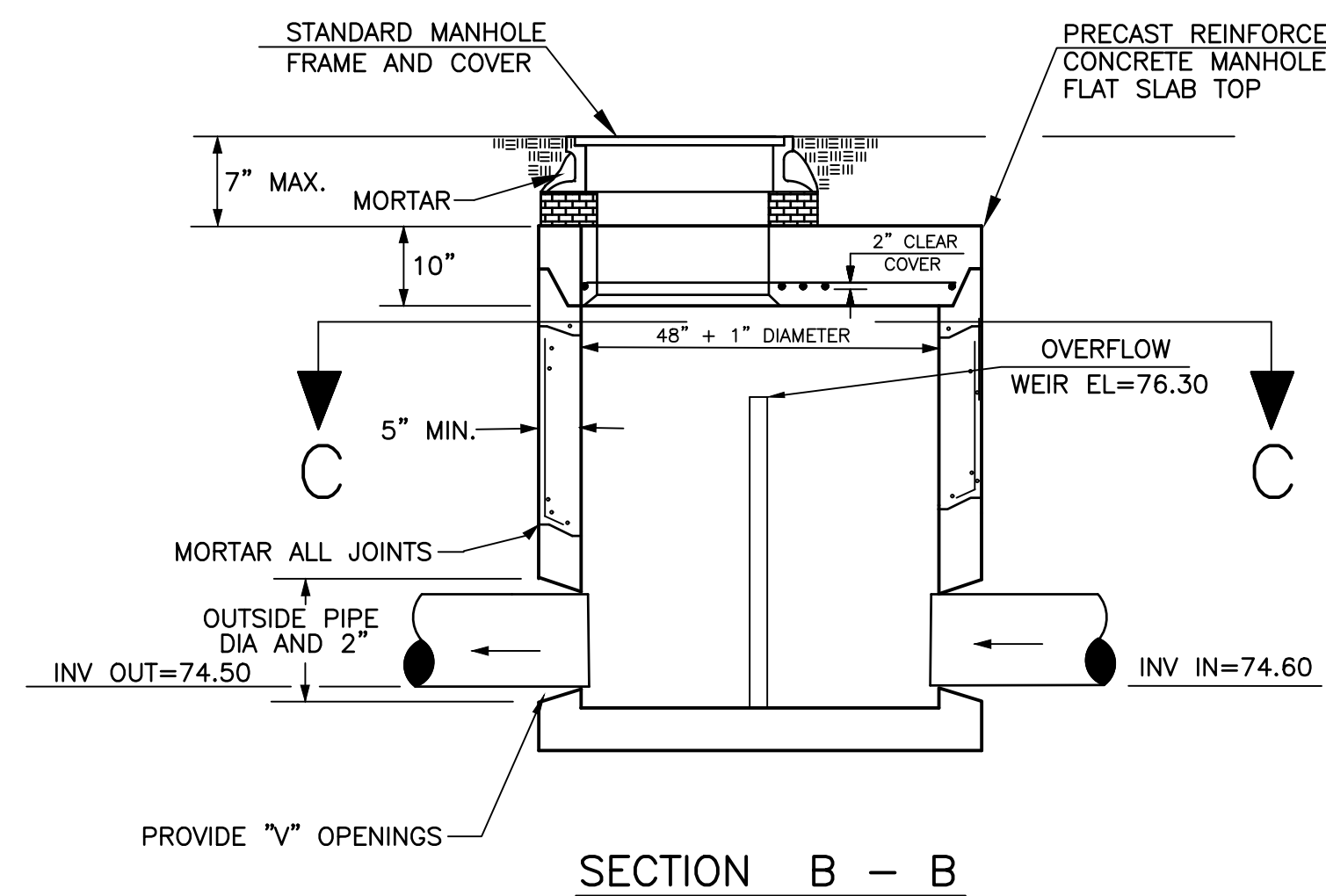
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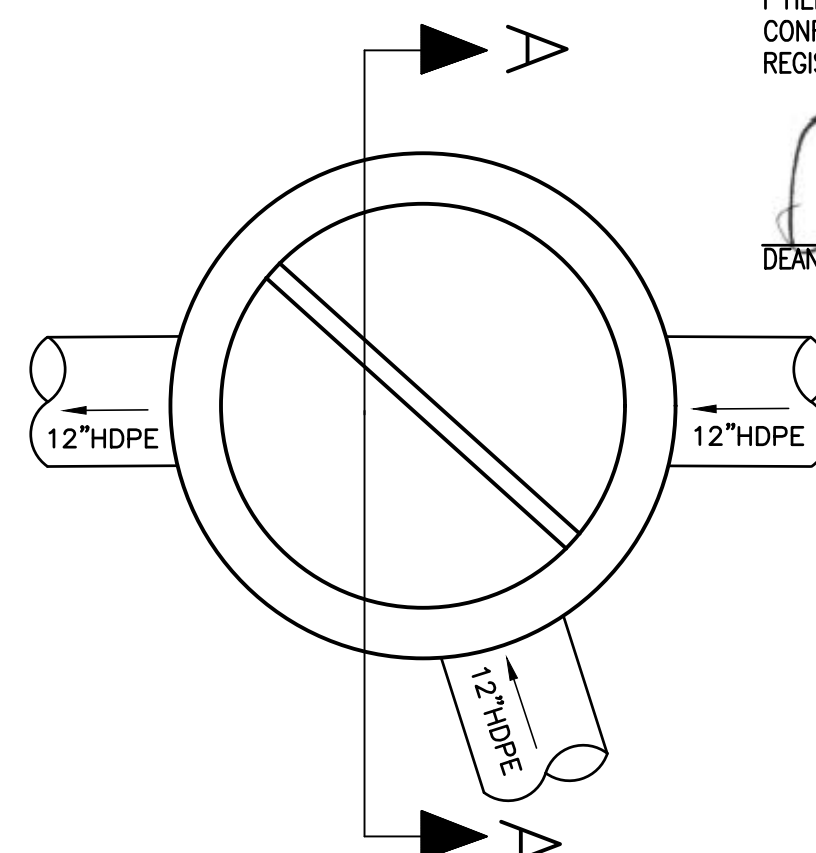
PRECAST CONCRETE MANHOLE



PRECAST GASOLINE TRAP CATCH BASIN
(NOT TO SCALE)



SECTION B - B

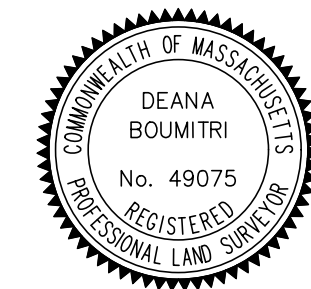


SECTION C - C
OUTLET CONTROL STRUCTURE
(H2O LOADING)
(NOT TO SCALE)

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DEANA BOUMITRI, P.L.S.

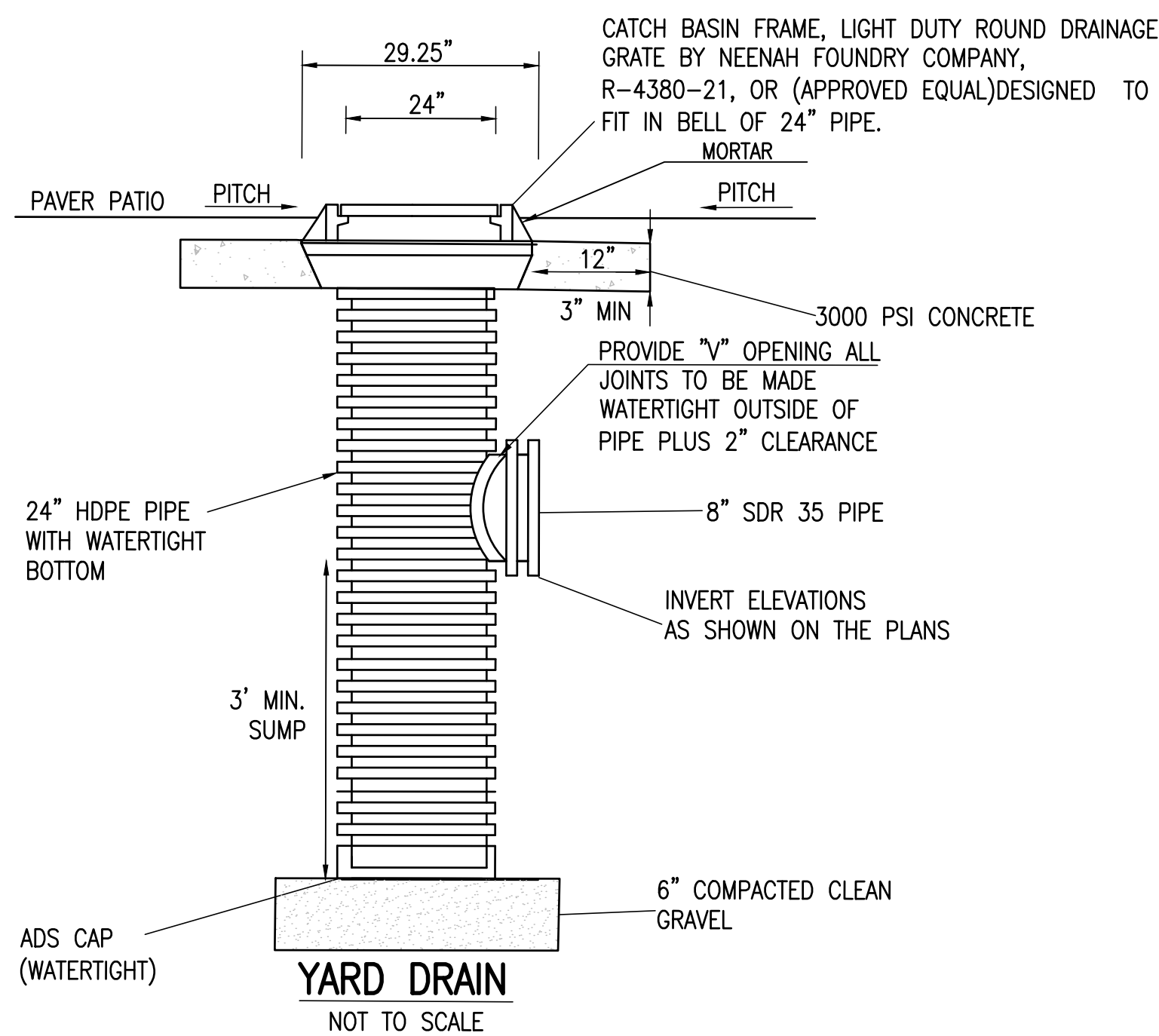
7/15/2022
DATE



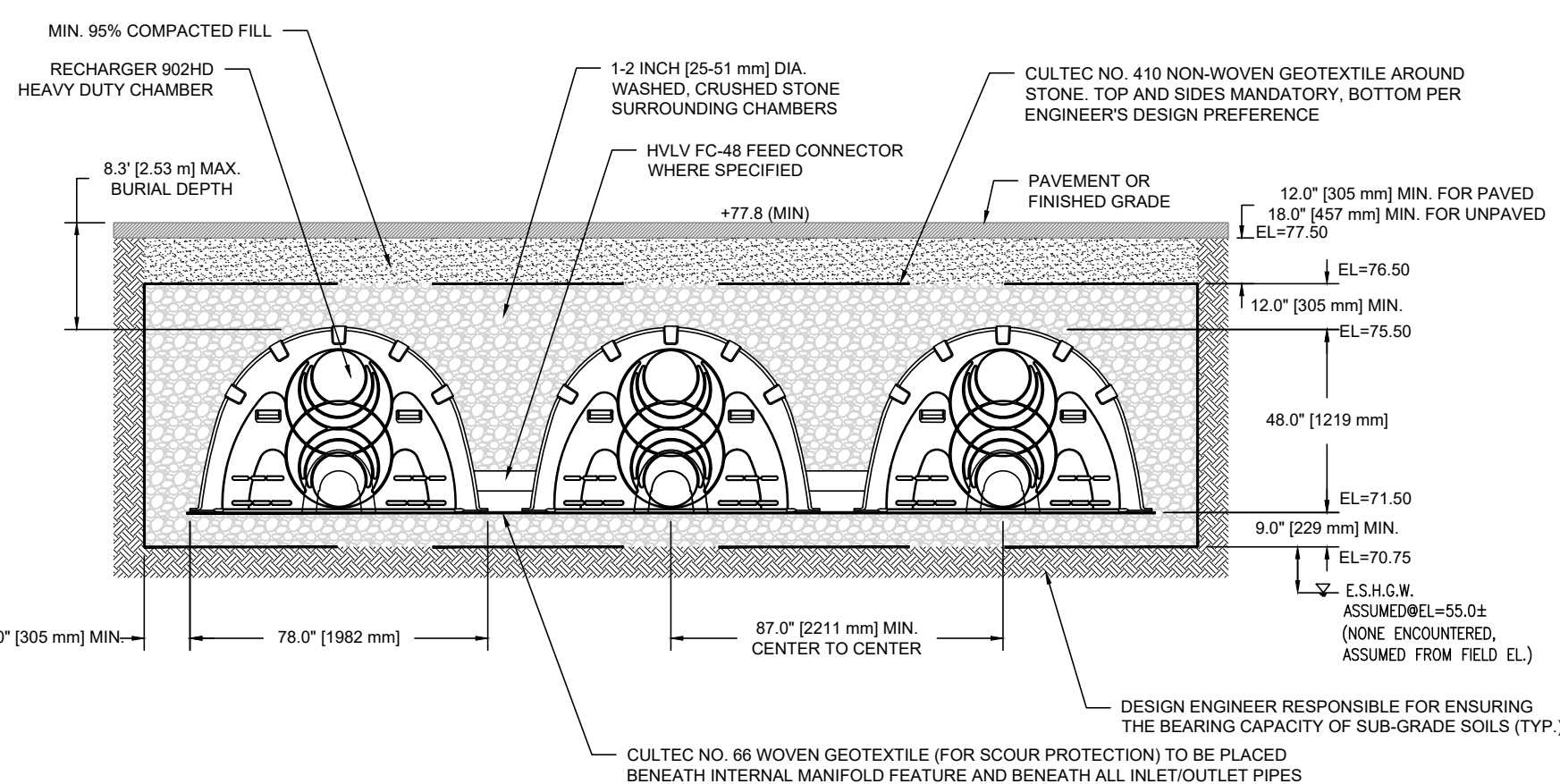
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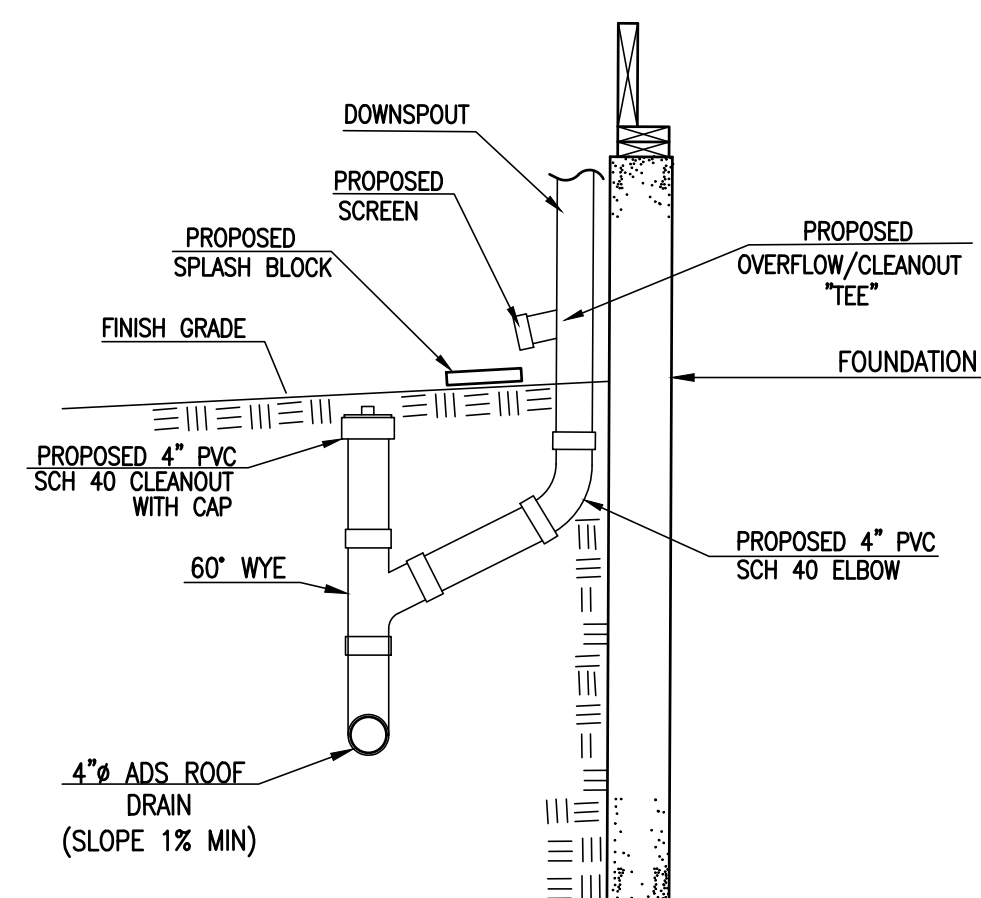
YARD DRAIN
(NOT TO SCALE)



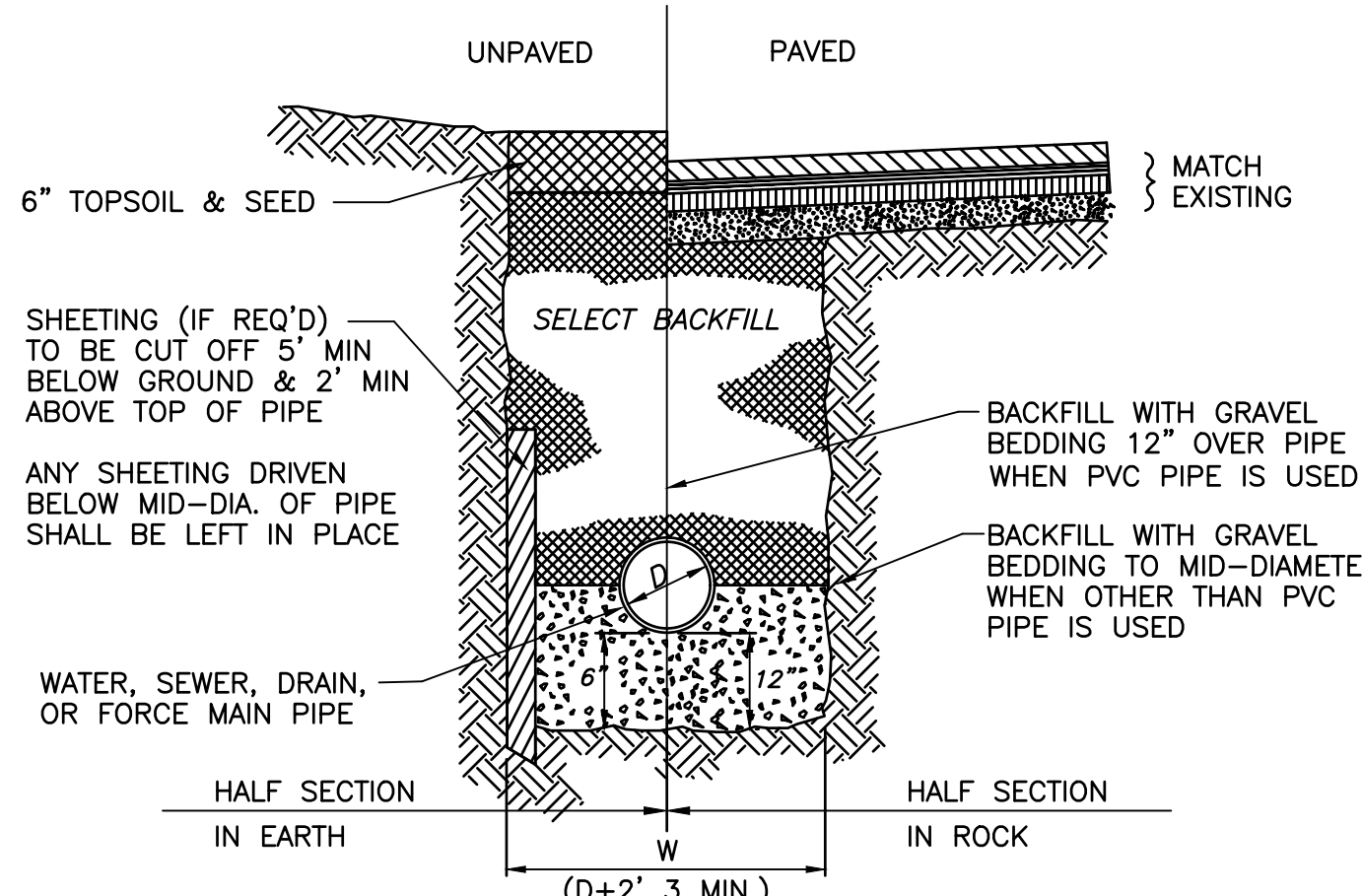
CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL CROSS SECTION
(NOT TO SCALE)

INFILTRATION SYSTEM NOTES:

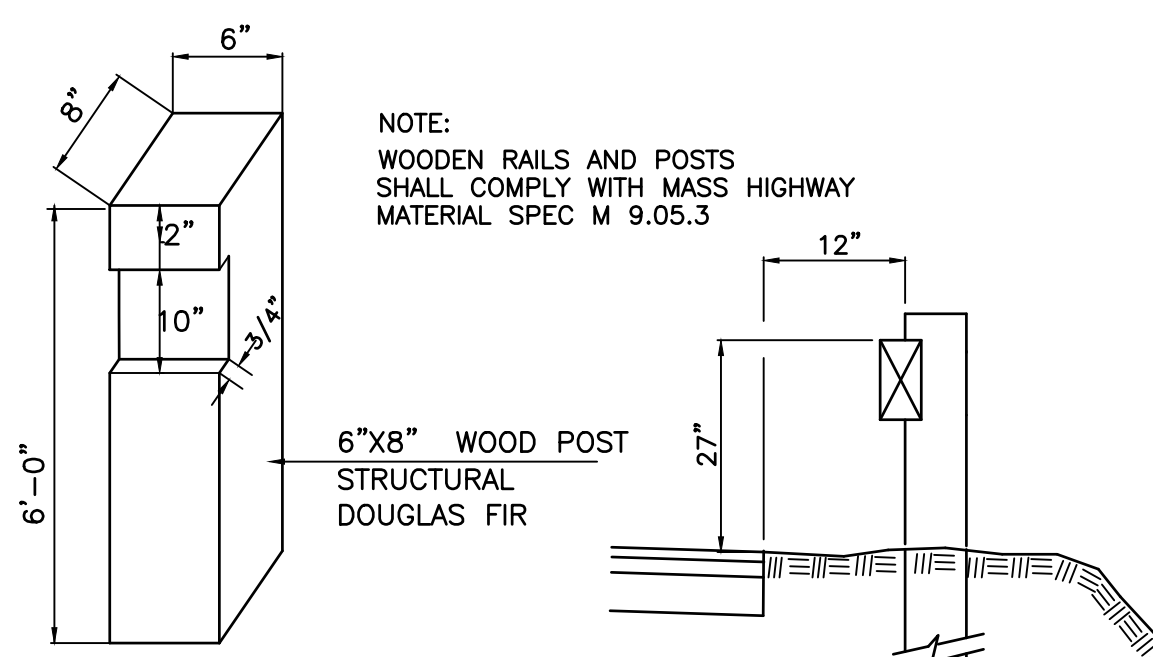
1. AFTER FINAL GRADE OF PARKING LOT IS ESTABLISHED CONTRACTOR SHALL PREVENT CONSTRUCTION TRAFFIC OVER ALL INFILTRATION SYSTEM AREAS.
2. CONTRACTOR SHALL NOT DISCHARGE SEDIMENT-LADEN WATER INTO STORMWATER INFILTRATION SYSTEM.
3. STORMWATER INFILTRATION SYSTEM SHALL NOT BE PLACED INTO OPERATION PRIOR TO INSTALLATION OF PAVEMENT AND STABILIZATION OF ALL SURFACES CONTRIBUTING TO CLOSED DRAINAGE SYSTEM.
4. EXCAVATE ALL MATERIAL BELOW INFILTRATION SYSTEM TO MEDIUM SAND LAYER (SEE LOGS) AND REPLACE WITH CLEAN COARSE FILL IN ACCORDANCE WITH 310 CMR 15.255.



TYPICAL DOWNSPOUT DETAIL
(NOT TO SCALE)

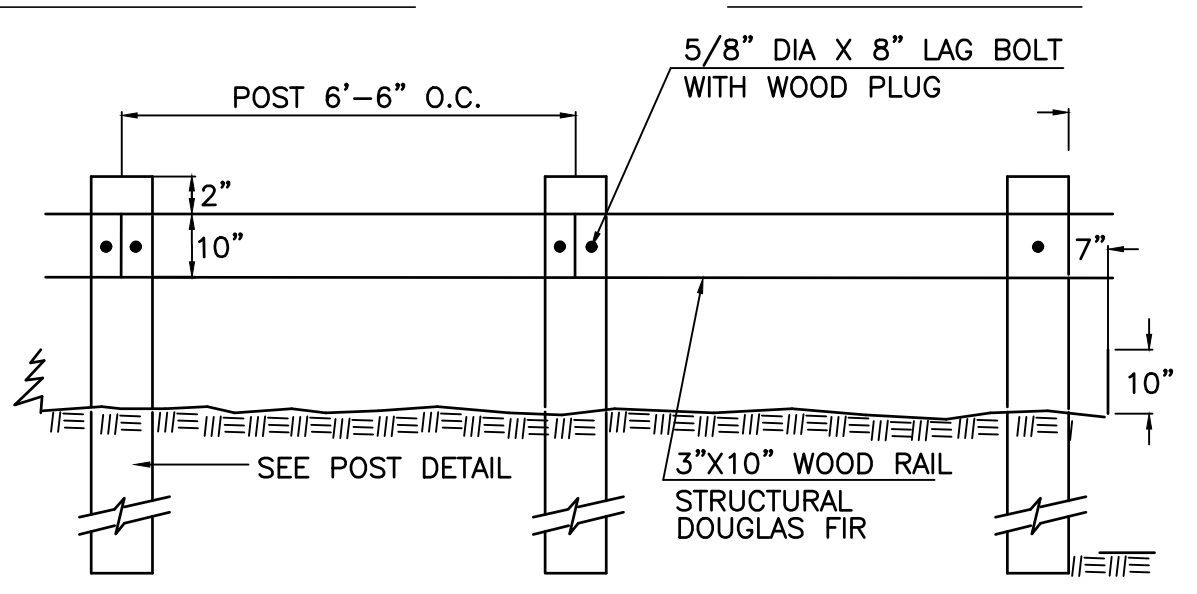


DETAIL - TYPICAL UTILITY TRENCH
(NOT TO SCALE)

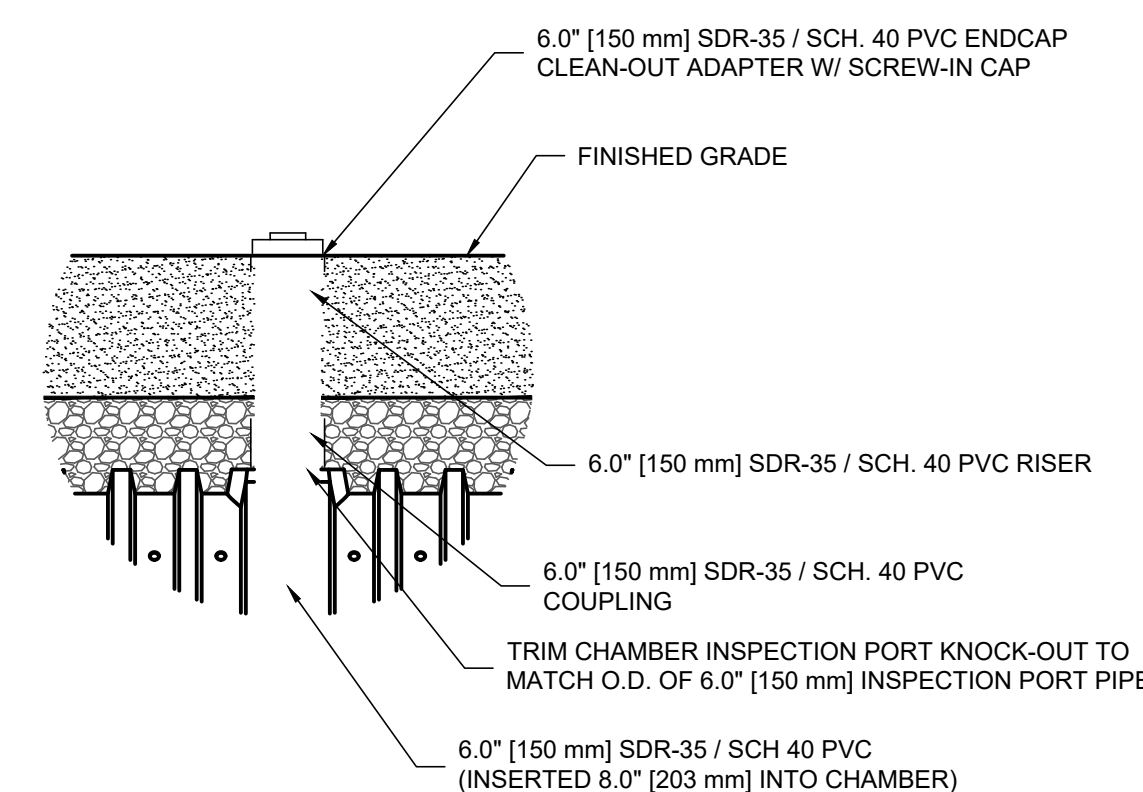


WOOD POST DETAIL

SIDE ELEVATION



FRONT ELEVATION
WOOD GUARD RAIL
(NOT TO SCALE)



OPTIONAL INSPECTION PORT - ZOOM DETAIL
(NOT TO SCALE)

DATE: 12/20/21 TH D-1	DATE: 12/20/21 TH D-2	DATE: 12/20/21 TH D-3
EL. 74.8	EL. 74.2	EL. 83.8
REMOVE & REPLACE 0" TO 24" FILL 24" TO 27" Ab HORIZON LOAMY SAND 10YR 2/2 27" TO 45" B/C LAYER LOAMY SAND 10YR 6/6 45" TO 130" C LAYER MED. SAND 2.5YR 6/3 D=130" NO REDOX. ENCOUNTERED	REMOVE & REPLACE 0" TO 25" FILL 25" TO 28" Ab HORIZON LOAMY SAND 10YR 2/2 28" TO 45" B/C LAYER LOAMY SAND 10YR 6/6 50" TO 120" C LAYER MED. SAND 2.5YR 7/3 D=120" NO REDOX. ENCOUNTERED	REMOVE & REPLACE 0" TO 8" Ab HORIZON LOAMY SAND 10YR 2/2 8" TO 22" Bw LAYER LOAMY SAND 10YR 6/3 22" TO 72" C LAYER MED. SAND 2.5Y 7/3 D=72" NO REDOX. ENCOUNTERED
72.8	72.55	83.13
71.05	71.05	81.97
63.97		77.80

ARCHITECT

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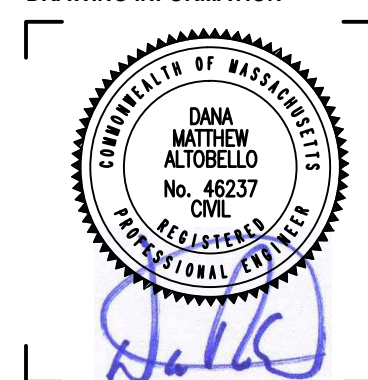
REVISIONS

NO.	DESCRIPTION	DATE
1	P.B. PEER REVIEW COMMENTS	6/20/22
	AND FINAL PLANS	

DRAWING TITLE

Site Details

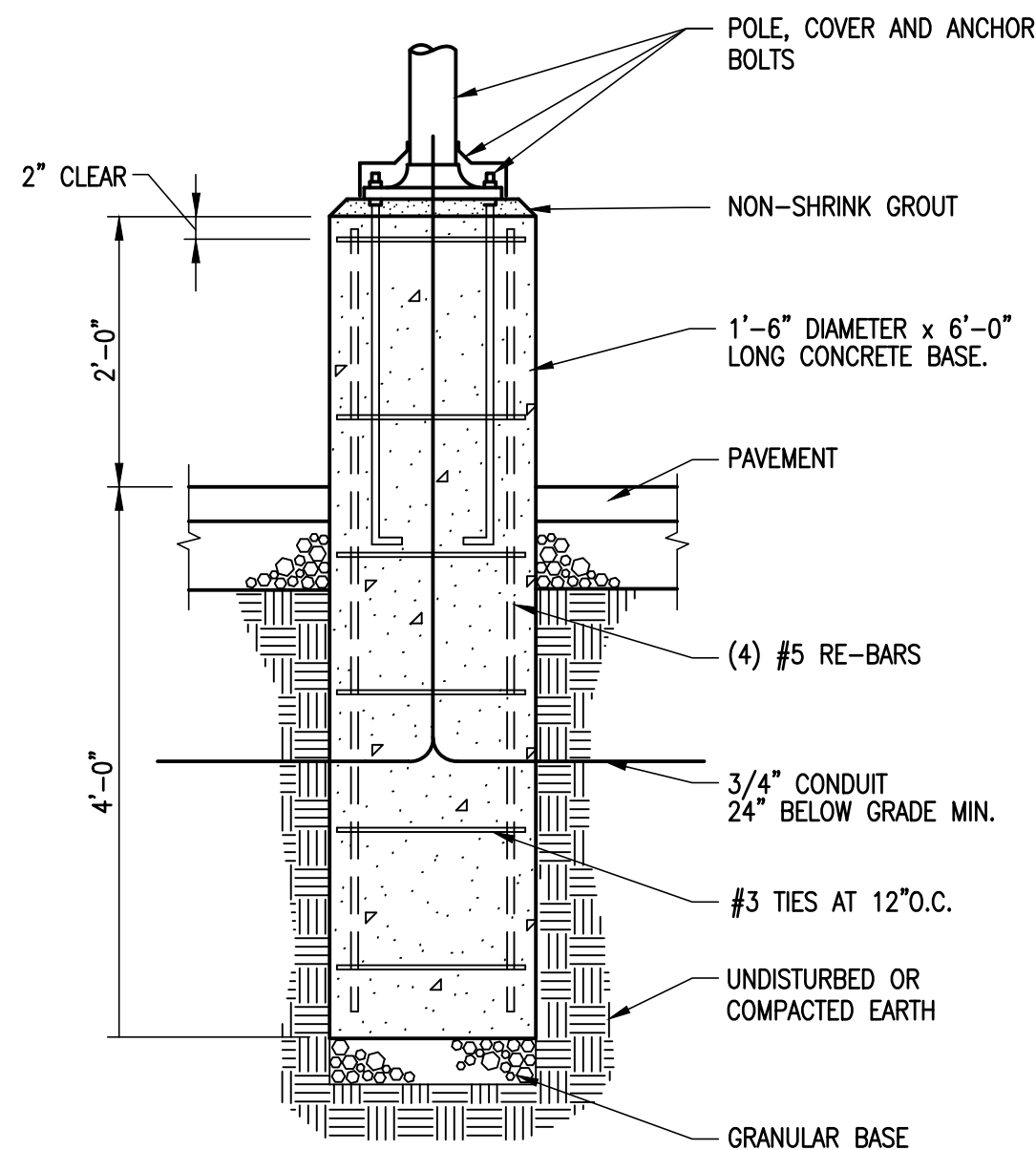
DRAWING INFORMATION



May 6, 2022
DATE OF ISSUE
Site Plan Review
DESCRIPTION
As Noted
SCALE
3403.00
PROJECT #
Pembroke
FILE NAME

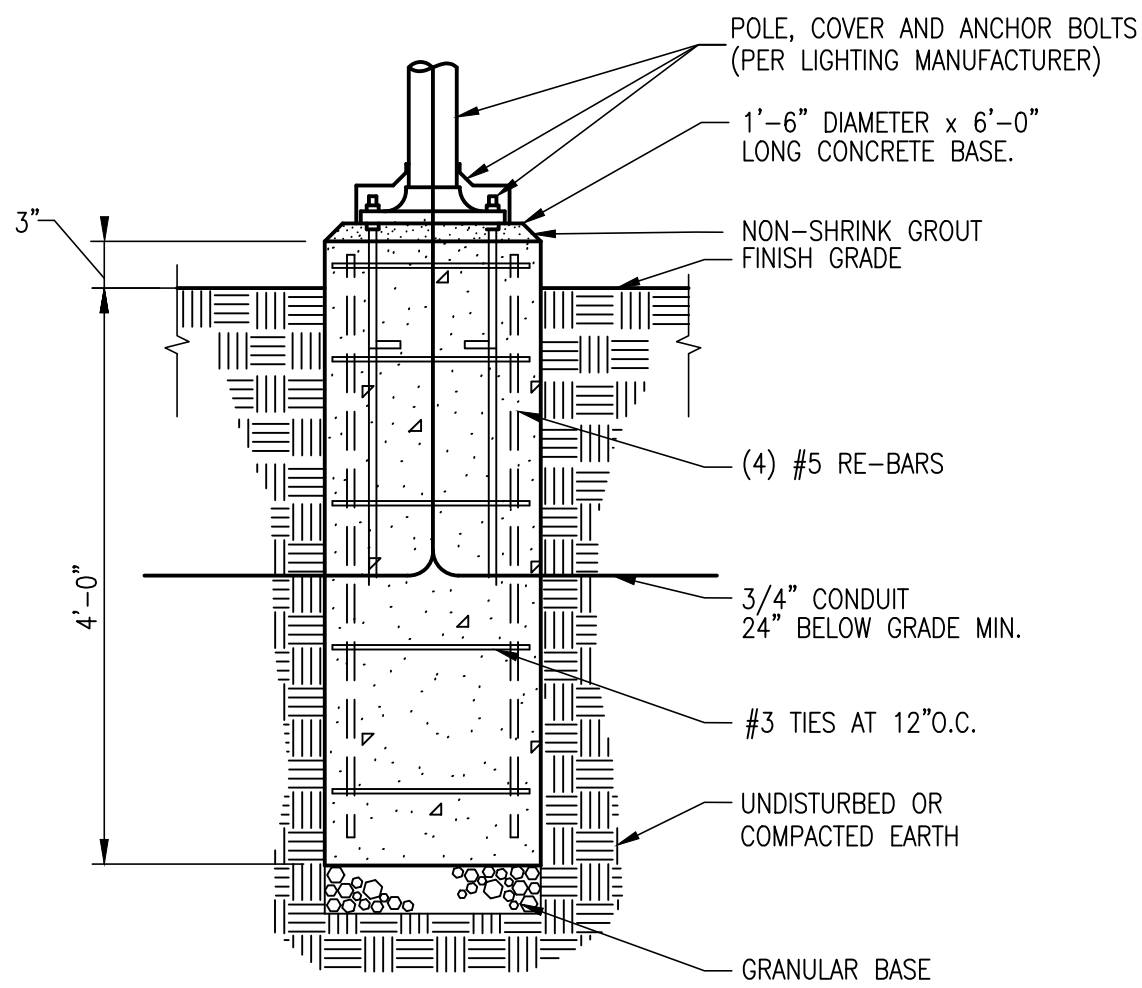
DRAWING NUMBER

C603



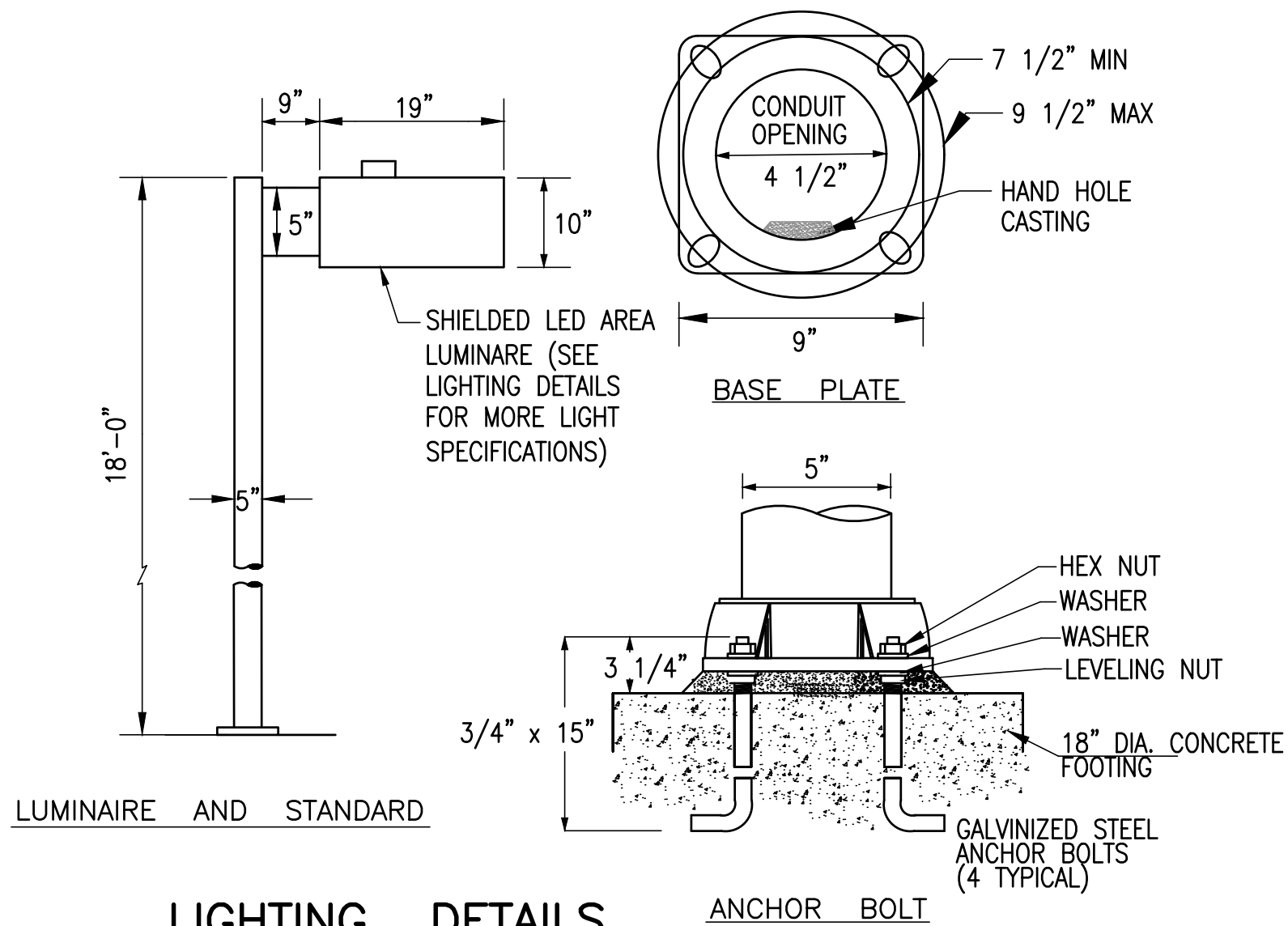
NOTES:
LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

LIGHT POLE FOUNDATION DETAIL
(NOT TO SCALE)



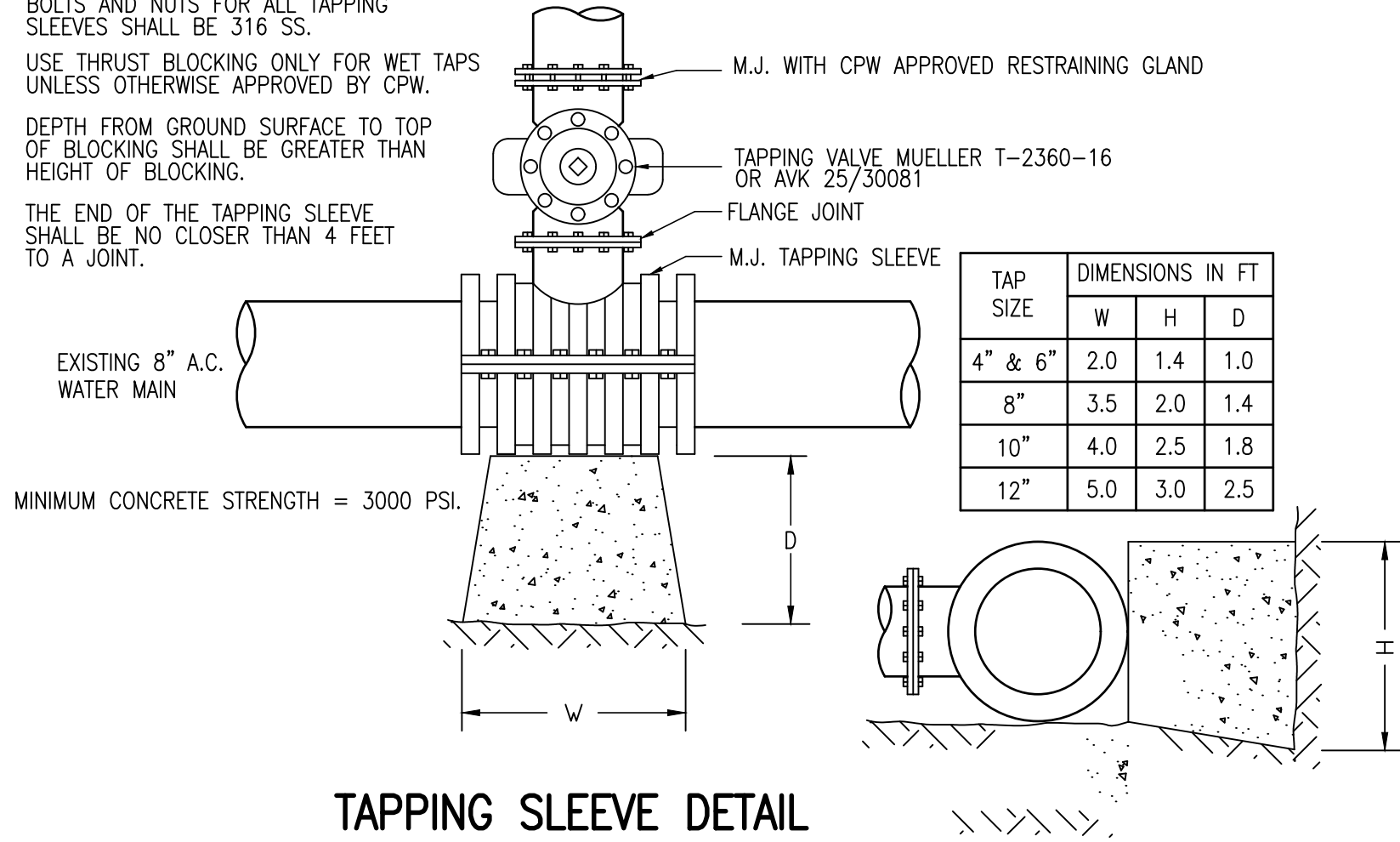
NOTES:
LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

AT-GRADE LIGHT POLE FOUNDATION DETAIL
(NOT TO SCALE)



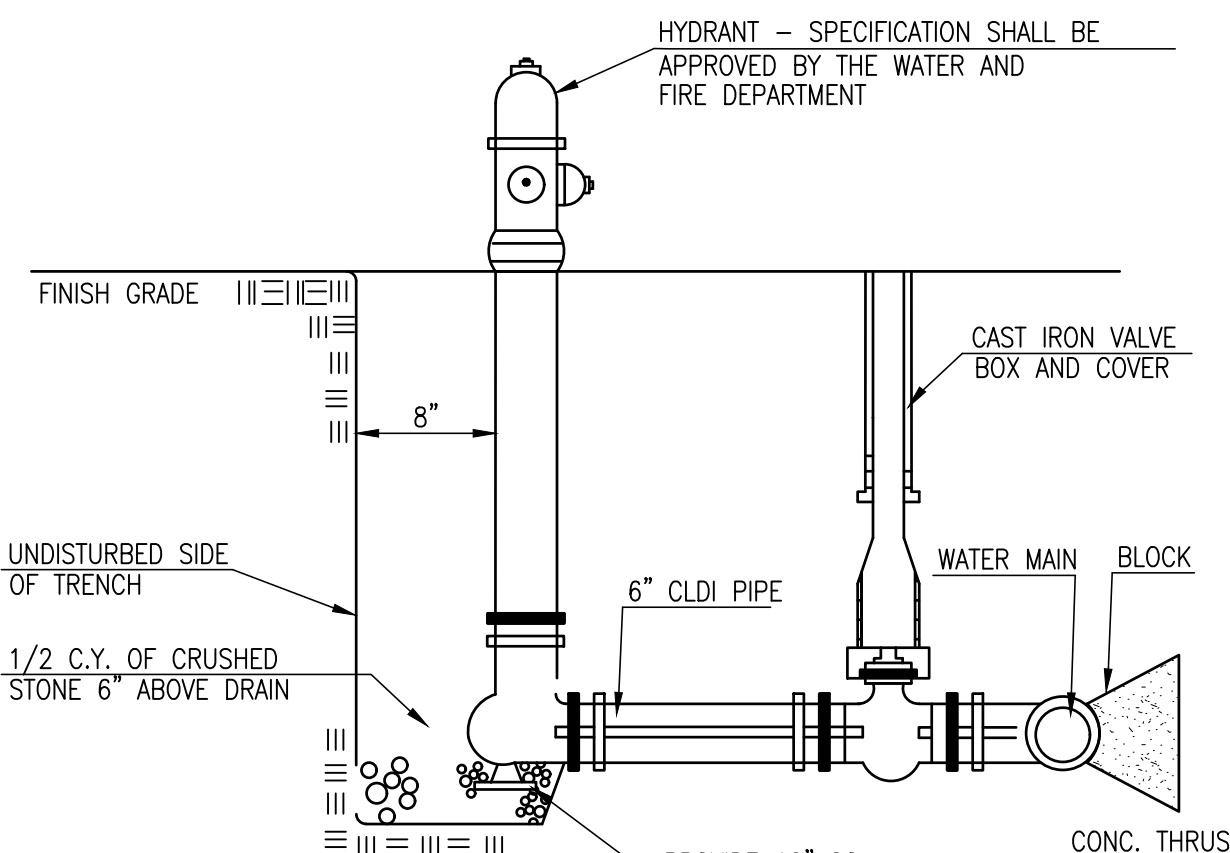
LIGHTING DETAILS
(NOT TO SCALE)

- NOTE:
- TAPPING SADDLES ARE NOT ALLOWED FOR MAIN-ON-MAIN TAPS.
 - USE MUELLER OR AMERICAN DARLING DUCTILE IRON OR 316 STAINLESS STEEL TAPPING SLEEVES FOR TAP SIZES 4" - 24".
 - USE 316 STAINLESS STEEL TAPPING SLEEVES BY DRESSER OR CASCADE FOR TAPS ON MAINS 30" AND GREATER.
 - BOLTS AND NUTS FOR ALL TAPPING SLEEVES SHALL BE 316 SS.
 - USE THRUST BLOCKING ONLY FOR WET TAPS UNLESS OTHERWISE APPROVED BY CPW.
 - DEPTH FROM GROUND SURFACE TO TOP OF BLOCKING SHALL BE GREATER THAN HEIGHT OF BLOCKING.
 - THE END OF THE TAPPING SLEEVE SHALL BE NO CLOSER THAN 4 FEET TO A JOINT.

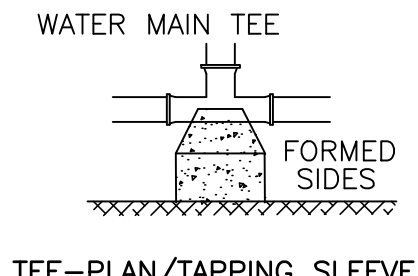
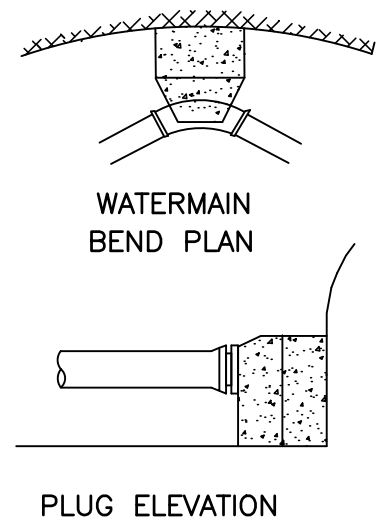


TAPPING SLEEVE DETAIL
(NOT TO SCALE)

*CONSULT DPW PRIOR TO PURCHASING ANY WATER MAIN MATERIALS. COMPLETE INSTALLATION IN ACCORDANCE TO DPW REQUIREMENTS



HYDRANT DETAIL
(NOT TO SCALE)



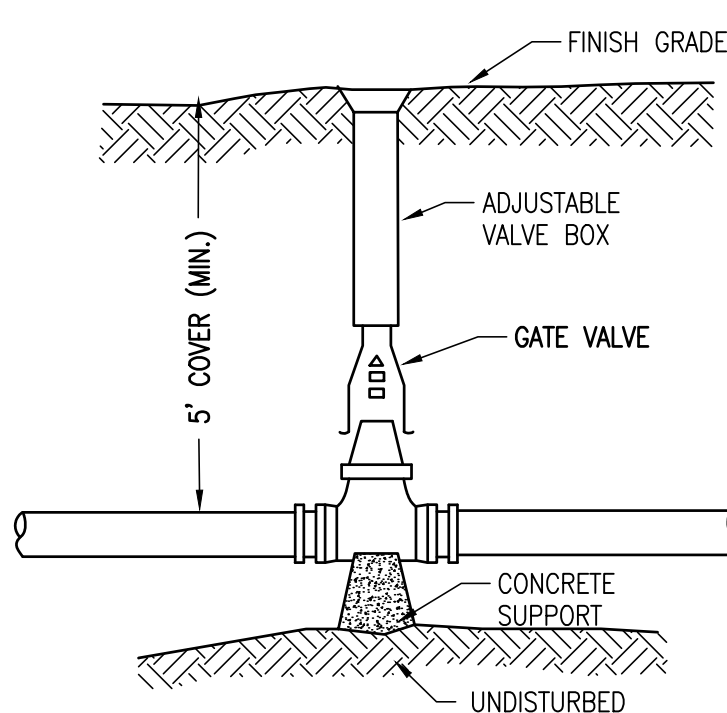
THRUST BLOCK DETAILS
(NOT TO SCALE)

PRECAST CONCRETE BLOCK PLACED AGAINST UNDISTURBED MATERIAL AND OR STONE (LARGE DIAMETER)

NOTE:

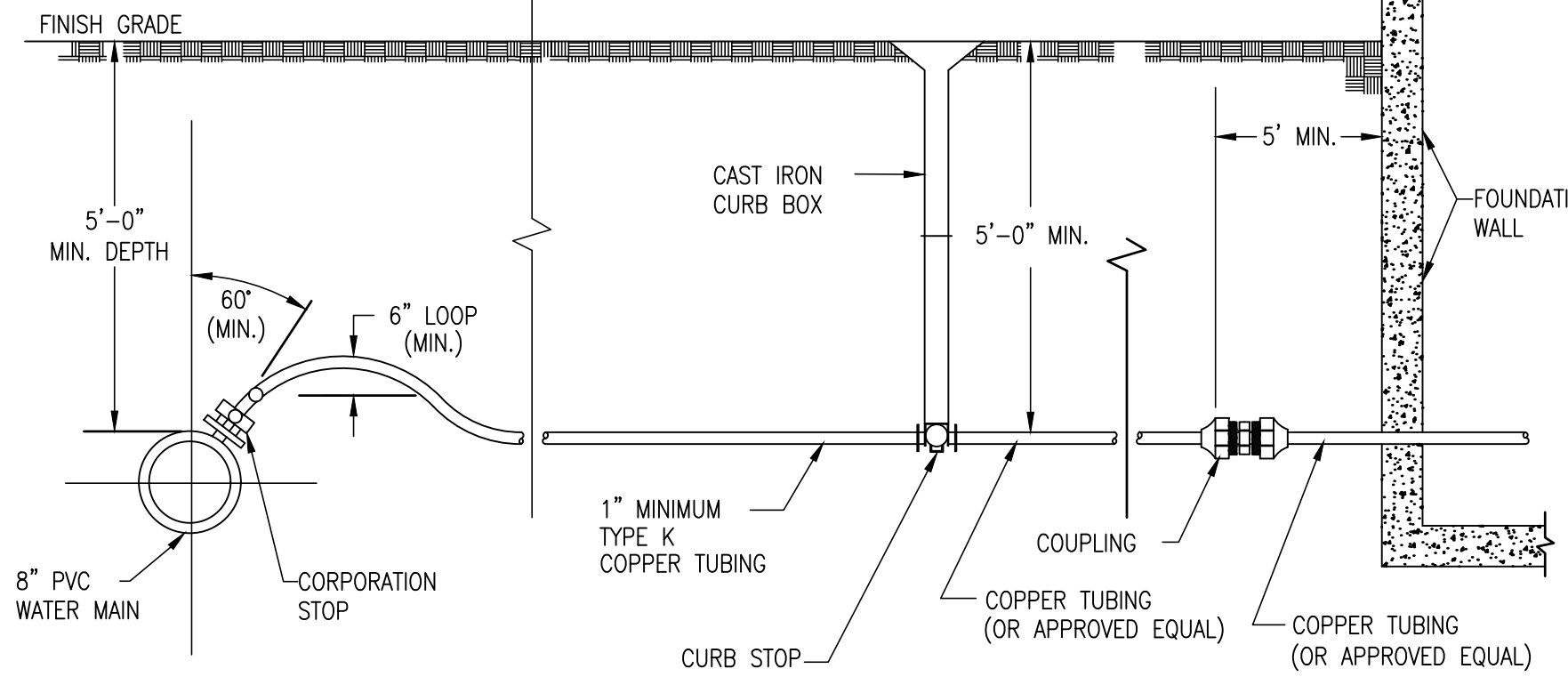
- CONCRETE FOR THRUST BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 P.S.I. AT 28 DAYS
- THRUST BLOCK BEARING AREAS TO BE IN ACCORDANCE WITH TABLE BELOW, UNLESS DETERMINED OTHERWISE BY THE ENGINEER BECAUSE OF SOIL CONDITIONS.
- NO CONCRETE SHALL BE POURED IN PLACE WITHOUT APPROVAL OF ENGINEER.

TABLE OF BEARING AREAS (S.F.)			
SIZE OF MAIN(IN)	90° BEND	TEES & PLUGS	45° BEND
8	5	4	3



NOTE: ALL VALVES SHALL OPEN RIGHT

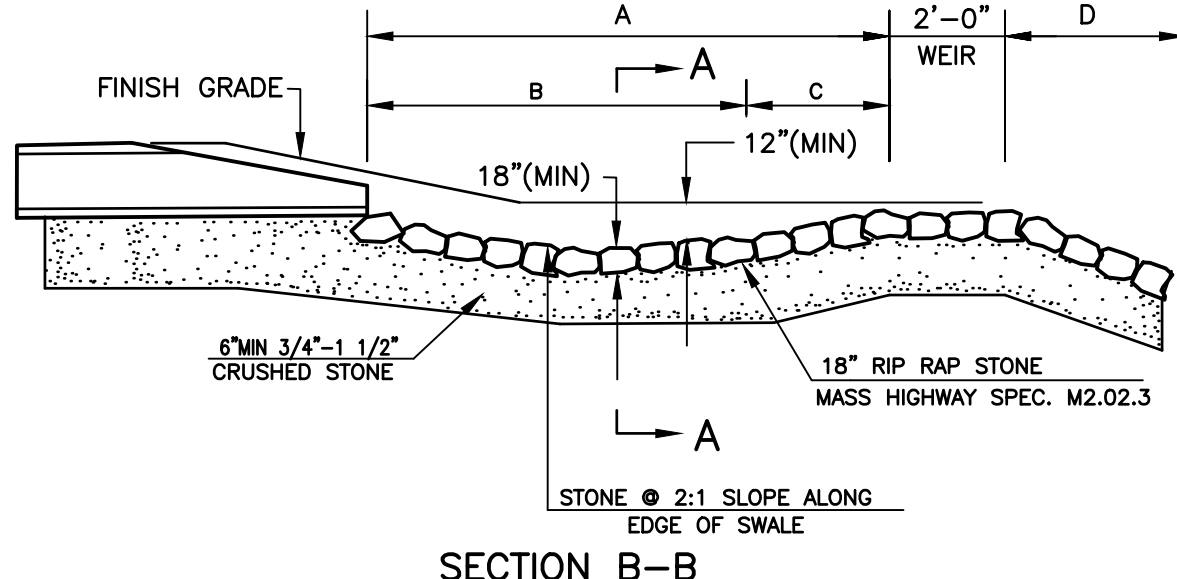
WATER GATE DETAIL
(NOT TO SCALE)



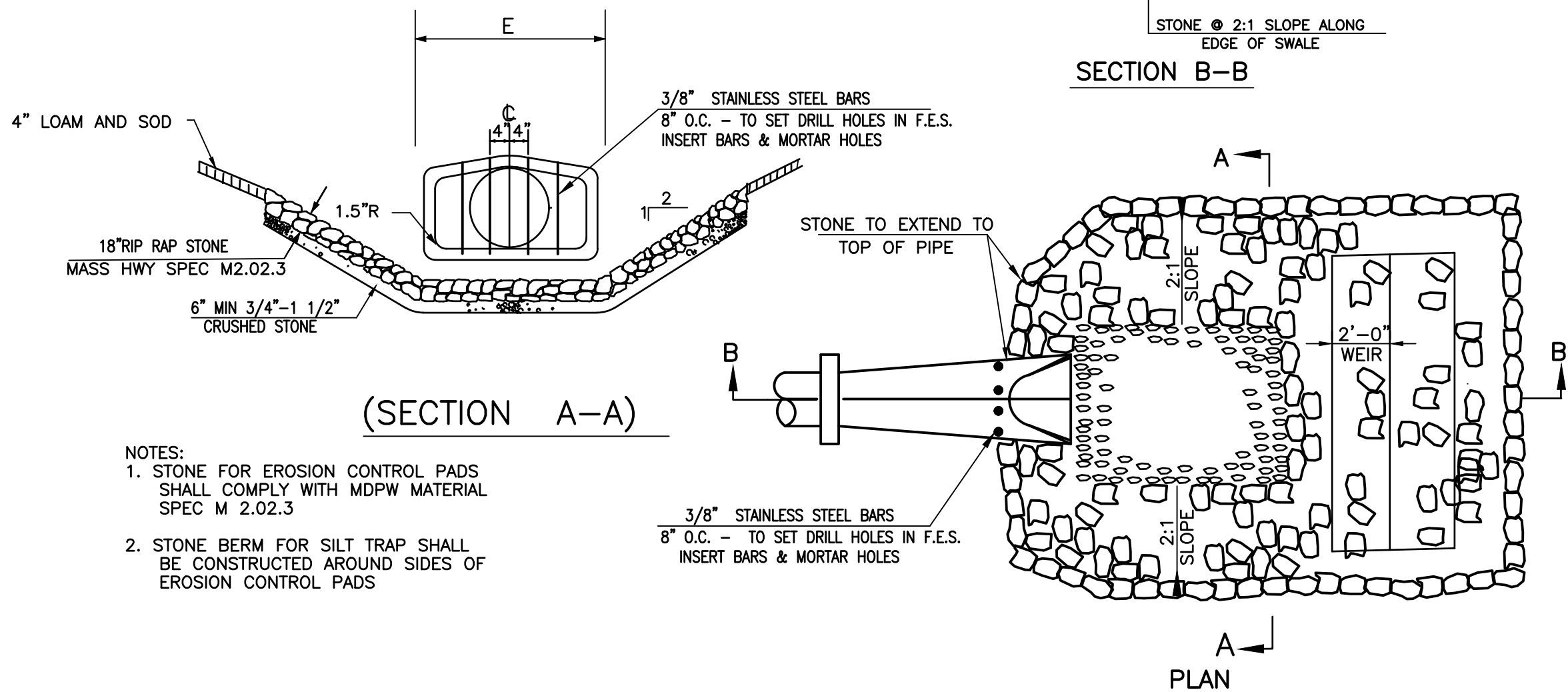
NOTE:
VERIFY MATERIALS AND TAPPING AND INSTALLATION REQUIREMENTS WITH THE TOWN OF NORWELL WATER DEPARTMENT.

WATER SERVICE DETAIL
(NOT TO SCALE)

PIPE DIA.	12"	15"	18"	24"	27"	30"
A	10'-0"	12'-6"	15'-0"	20'-0"	22'-6"	24'-0"
B	7'-6"	9'-6"	11'-3"	15'-0"	17'-6"	19'-0"
C	2'-6"	3'-0"	3'-9"	5'-0"	5'-0"	5'-0"
D	3'-0"	4'-0"	4'-6"	6'-0"	8'-0"	8'-0"
E	4'-0"	5'-0"	6'-0"	8'-0"	9'-0"	10'-0"

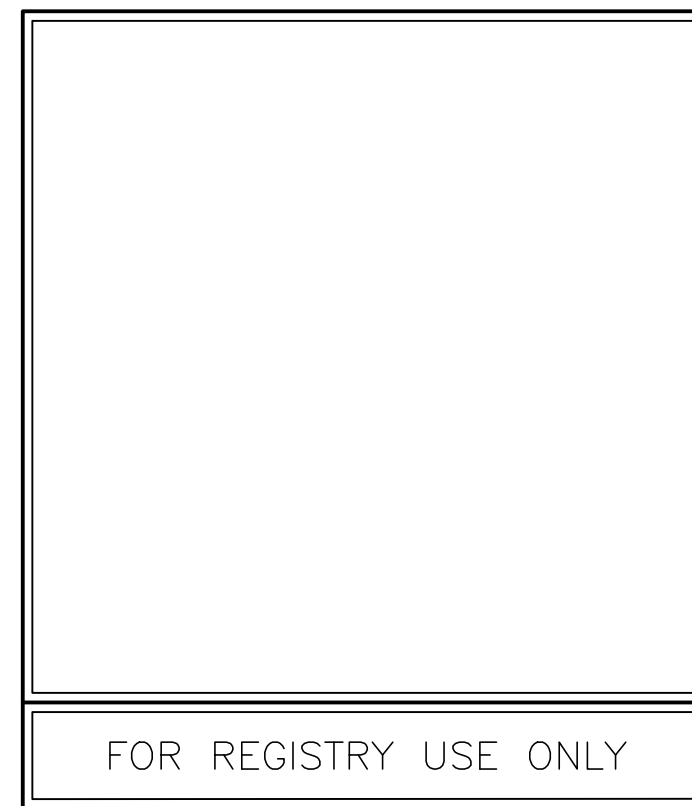


SECTION B-B



- NOTES:
- STONE FOR EROSION CONTROL PADS SHALL COMPLY WITH MDPW MATERIAL SPEC M 2.02.3
 - STONE BERM FOR SILT TRAP SHALL BE CONSTRUCTED AROUND SIDES OF EROSION CONTROL PADS

SILT TRAP EROSION CONTROL PAD WITH INLET PIPE
(NOT TO SCALE)



I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES SHOWING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.



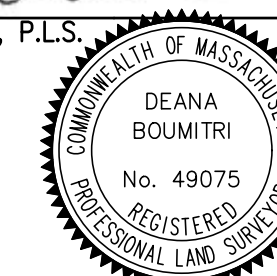
DEANA BOUMITRI, P.L.S.

7/15/2022

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DEANA BOUMITRI, P.L.S.

7/15/2022



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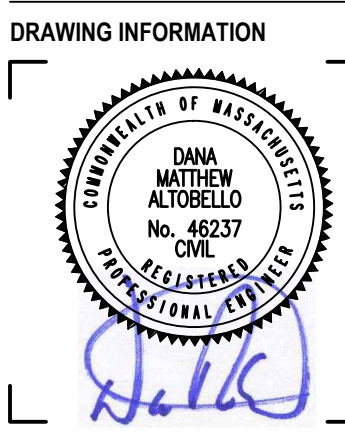
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REVISIONS	
1	P.B. PEER REVIEW COMMENTS
2	AND FINAL PLANS
3	DATE

DRAWING TITLE
Site Details



May 6, 2022
DATE OF ISSUE
Site Plan Review
DESCRIPTION
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3403.00
PROJECT #
Pembroke
FILE NAME

DRAWING NUMBER

C604