

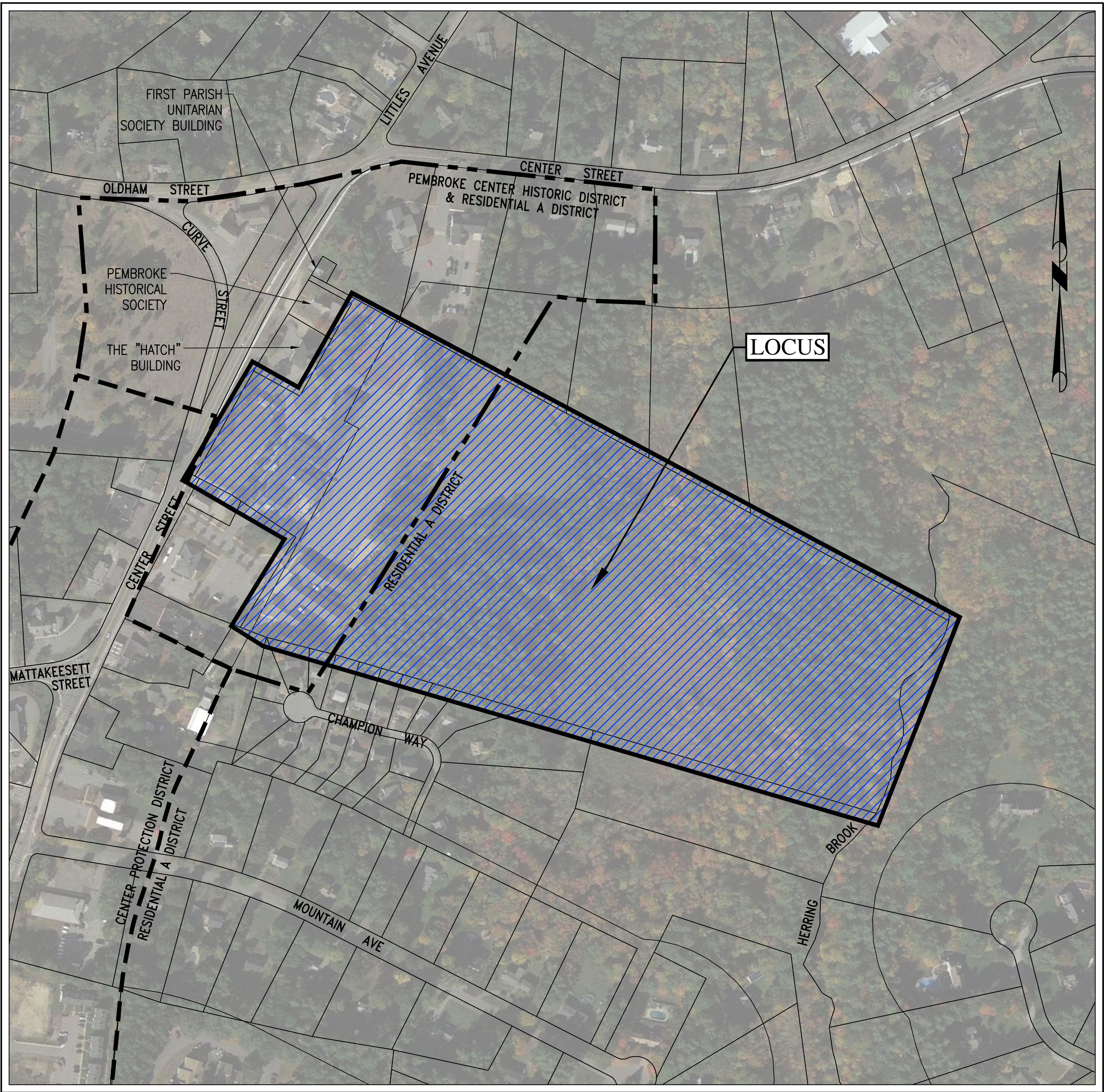
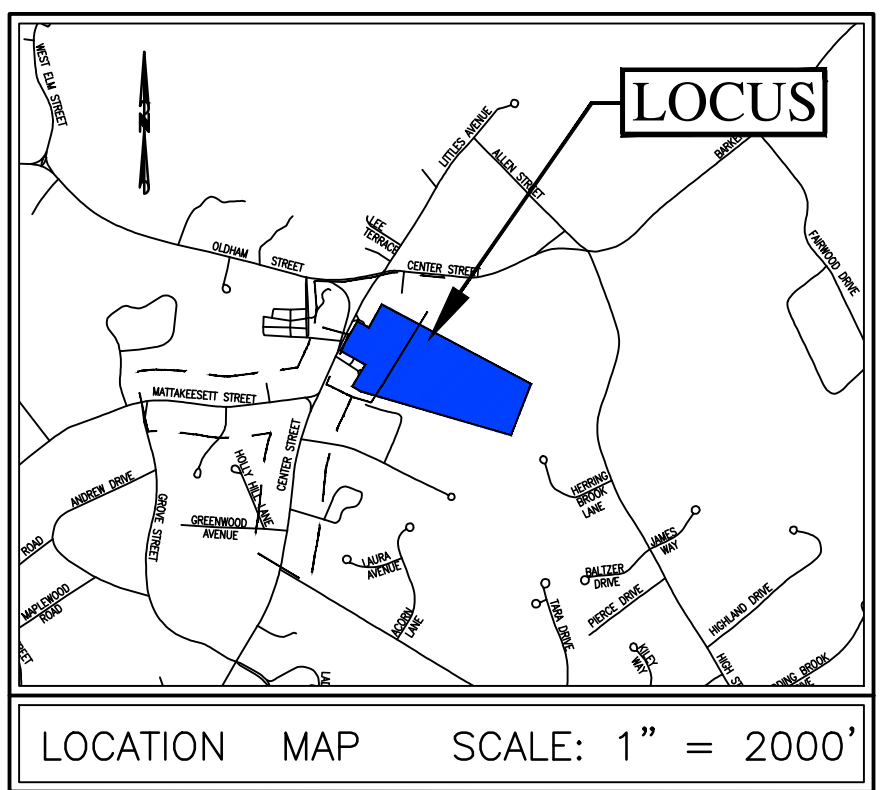
— SITE PLAN —

PEMBROKE COMMUNITY CENTER

128 CENTER STREET

PEMBROKE, MASSACHUSETTS

ASSESSORS MAP D9 LOT 1



— VICINITY MAP —
SCALE: 1"=200'

PLANNING BOARD APPROVAL

THIS SITE PLAN DOES NOT NECESSARILY INDICATE
COMPLIANCE WITH THE ZONING BY-LAW.

DATE APPROVED: _____

PEMBROKE TOWN CLERK

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE PLANNING BOARD HAS BEEN
RECEIVED AND RECORDED AT THIS OFFICE AND NO
APPEAL WAS RECEIVED DURING THE NEXT TWENTY
DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____

TOWN CLERK, TOWN OF PEMBROKE

RECORD OWNER:

PARCEL ID #D9-1
128 CENTER STREET

TOWN OF PEMBROKE
128 CENTER STREET
PEMBROKE, MASSACHUSETTS 02359
DEED BOOK 1664 PAGE 47

ARCHITECT

bh+a

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Boston, MA 02210
(617) 350 0450

PROJECT NAME

**Pembroke
Community Center**
128 Center Street
Pembroke, MA, 02359

CLIENT

**Town of
Pembroke, MA**
100 Center Street
Pembroke, MA, 02359

PROJECT TEAM

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Merrill Engineers & Land Surveyors
427 Columbia Road
Hanover, MA, 02339
(781) 826-9200

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(978) 352 8500

Elevator Consultant

B Squared Engineering
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(203) 989-9029

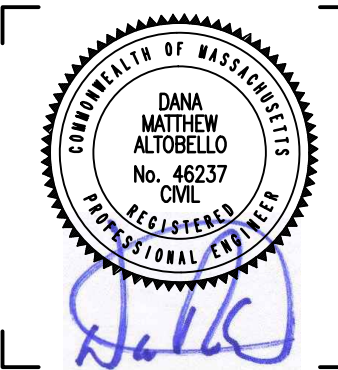
REVISIONS

DATE: _____

DRAWING TITLE

Vicinity & Index

DRAWING INFORMATION



May 6, 2022

DATE OF ISSUE

Site Plan Review

DESCRIPTION

As Noted

SCALE

PROJECT #

3403.00

FILE NAME

Pembroke

DRAWING NUMBER

C101

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128 Center Street
Pembroke, MA, 02359

**Town of
Pembroke, MA**
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Pembroke, MA, 02359

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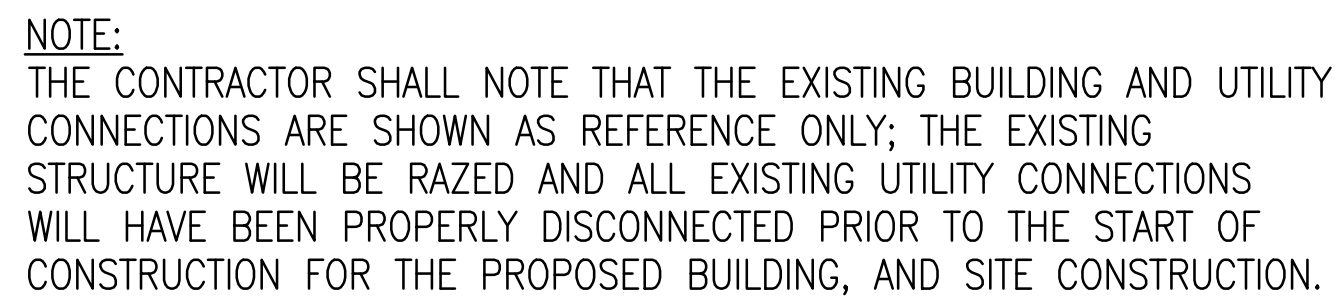
Existing Conditions

DESCRIPTION

C201

V.2.1





PROJECT NAME
embroke
Community Center
8 Center Street
embroke, MA, 02359

**own of
embroke, MA**
0 Center Street
embroke, MA, 02359

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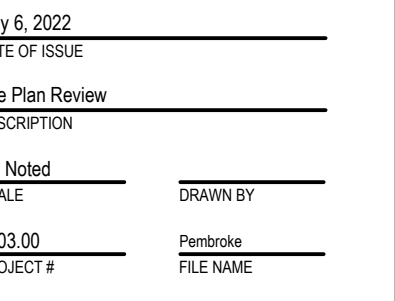
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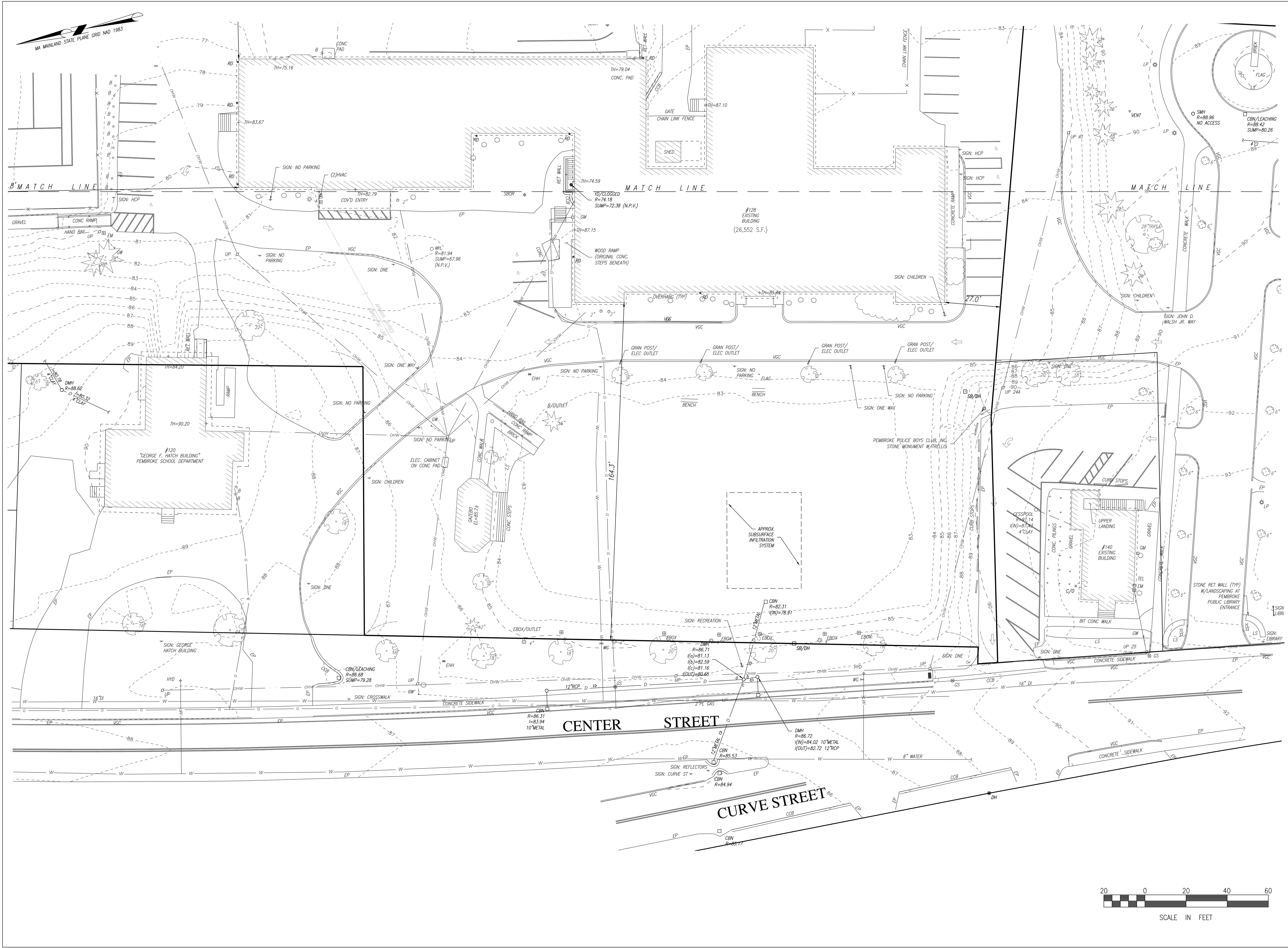
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DRAWING NUMBER

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REVISIONS

DRAWING TITLE

Existing Conditions

DRAWING INFORMATION

COMMONWEALTH OF MASSACHUSETTS

DEANA BOUMITRI

No. 49073

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

May 6, 2022

DATE OF ISSUE

Site Plan Review

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As Noted

SCALE

3403.00

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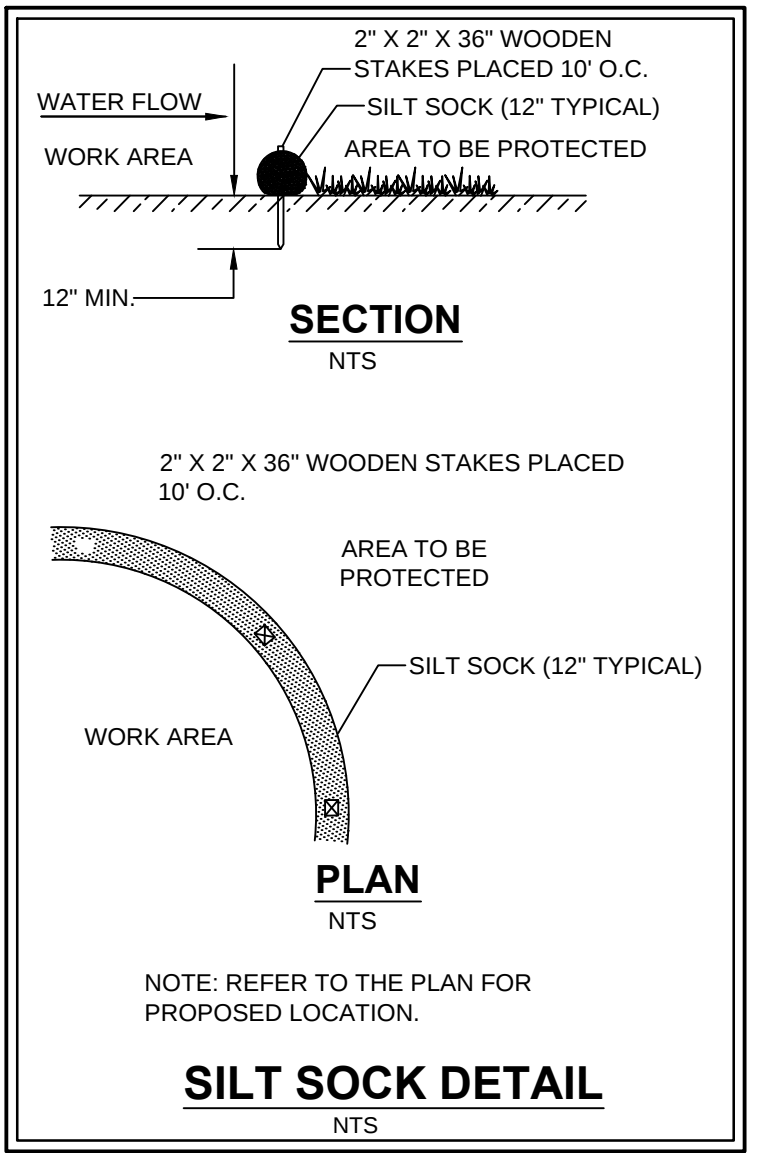
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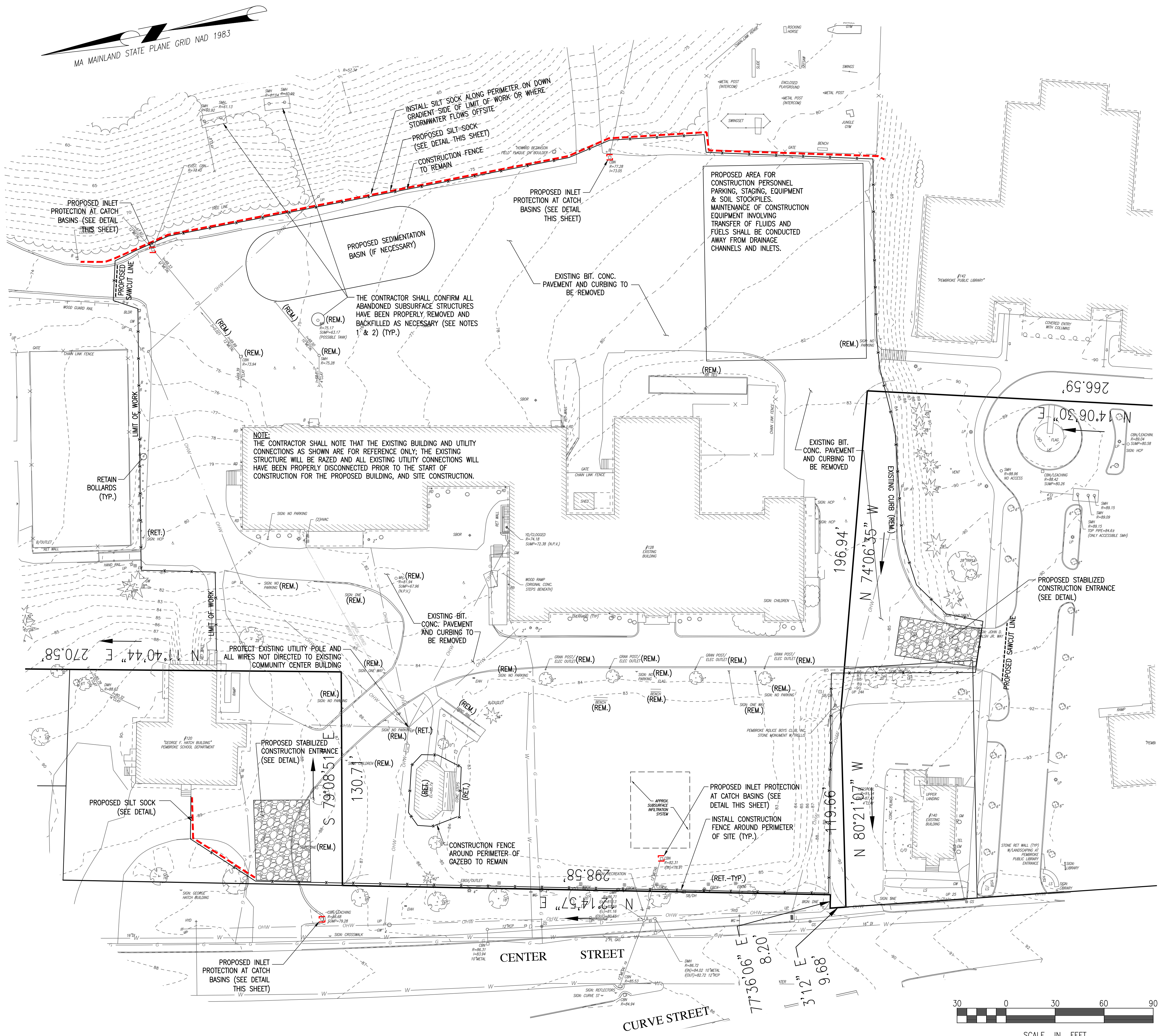
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RETAIN	RET.
REMOVE	REM.
REMOVE & RESET	R+R
SILT SACK	
INLET PROTECTION	
SILT SOCK	
CONSTRUCTION FENCE	
SAWCUT LINE	
UTILITY CUT & CAP	
CONSTRUCTION ENTRANCE	



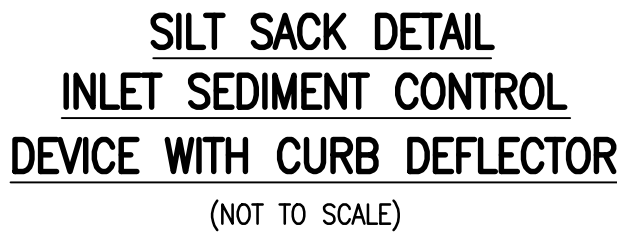
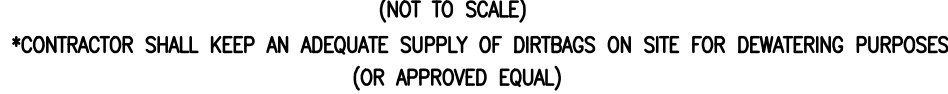
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 14 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM, POND, CATCH BASIN, OR WETLAND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT.
3. PERIMETER SEDIMENT BARRIERS (SILT SOCK, ETC.) SHOULD BE INSTALLED ON DOWNGRADE AREAS PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. EROSION CONTROL MEASURES WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE AND NEW SLOPES ARE STABILIZED.
4. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT; THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
5. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE.
6. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
7. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
8. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED INTO OPEN AREAS.
9. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
10. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE APPROVAL OF THE INSTALLATION OF EROSION CONTROL MEASURES FROM THE TOWN OF PEMBRKE REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
11. THE CONTRACTOR SHALL ALSO MAINTAIN AND/OR REPLACE EROSION CONTROL MEASURES AS DIRECTED BY THE TOWN OF PEMBRKE D.P.W. FOR THE DURATION OF CONSTRUCTION.
12. FINAL STABILIZATION WILL CONSIST OF SEEDING, PLANTING, MULCHING OR PAVING.

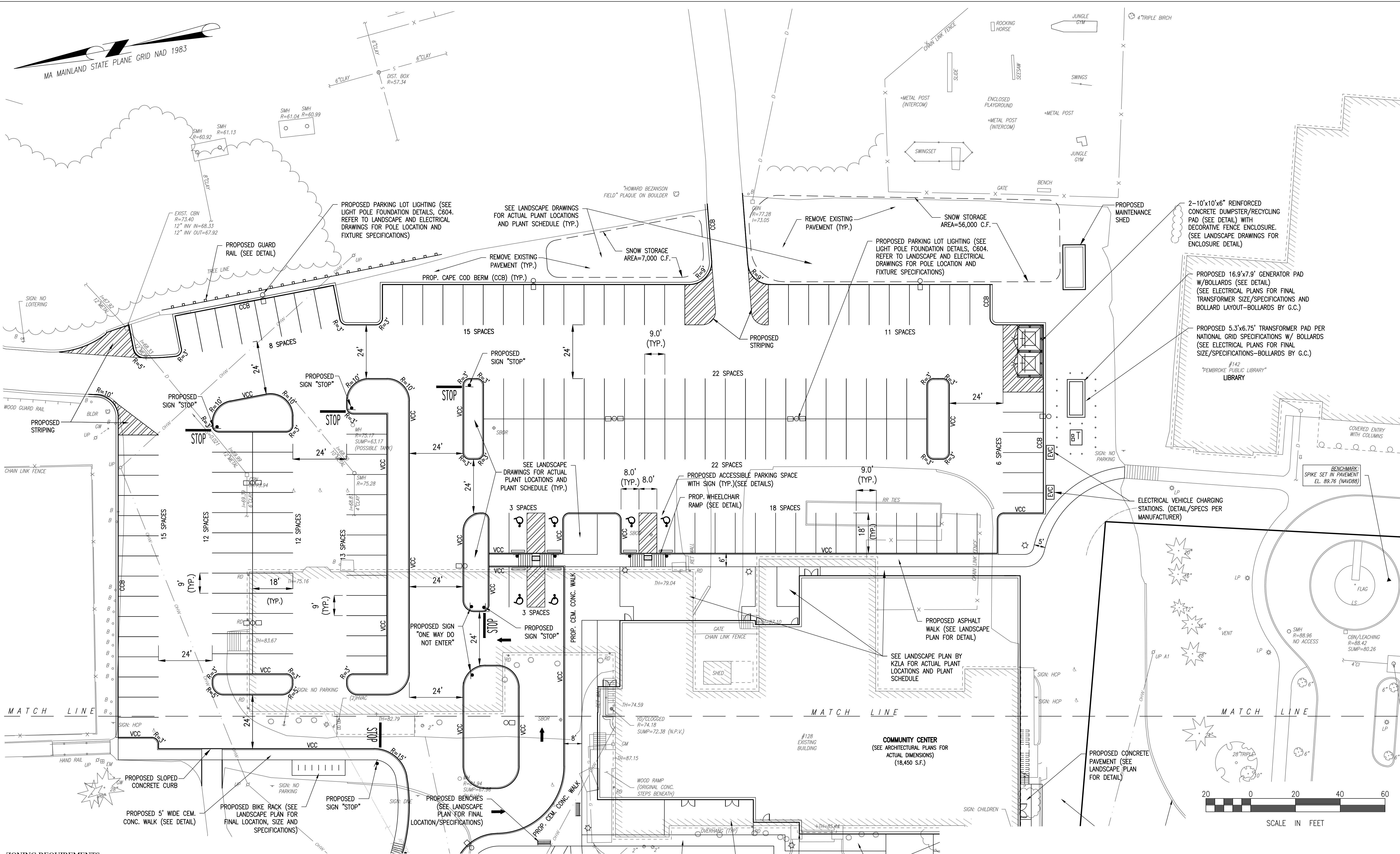
1. FENCE OFF ALL CONSTRUCTION AREAS PRIOR TO DEMOLITION.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
3. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
4. BREAK UP CONCRETE FOUNDATION, UNLESS OTHERWISE DIRECTED BY OWNER REPRESENTATIVES.
5. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
6. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
7. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION ACTIVITIES WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROCKS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR FURTHER DETAIL.
8. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
9. ALL DEMOLITION MATERIAL WILL BE PLACED IN DUMPSTERS ON A DAILY BASIS. COVER AND REMOVE DUMPSTERS WHEN FULL FROM SITE AND DISPOSE OF MATERIALS IN A LAWFULL MANNER. IN A LAWFULL MANNER.
10. ALL DUMPSTERS WILL BE PLACED AWAY FROM EXISTING BUSINESSES.
11. RETAIN AND PROTECT ALL LANDSCAPING TO THE EXTENT PRACTICABLE.
12. ALL GAS CUT AND CAP WORK TO BE PERFORMED BY THE GAS COMPANY. ALL EXCAVATION, REMOVAL AND BACKFILLING OF GAS SERVICE LINES ON SITE SHALL BE PERFORMED BY THE CONTRACTOR.
13. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
14. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MASSDOT. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS AND OTHER ADJACENT FACILITIES. THE CONTRACTOR IS CAUTIONED THAT A STATE HIGHWAY ACCESS PERMIT IS REQUIRED FROM MASSDOT BEFORE ANY WORK CAN BE PERFORMED WITHIN THE STATE HIGHWAY LAYOUT.
15. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG-SAFE" 72 HOURS PRIOR TO ANY EXCAVATION AT 1-888-344-7233.
16. ALL DOMESTIC WATER MUST BE CUT AND CAPPED AT THE PROPERTY LINE. GATE VALVE, FRAME AND COVER AND ALL APPURTENANCES MUST BE REMOVED IN ACCORDANCE WITH THE TOWN WATER DEPARTMENT SPECIFICATIONS AND STANDARD DETAILS.
17. SEE THIS SHEET FOR EROSION CONTROL NOTES.

1. STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ON A WEEKLY BASIS.
2. INSPECTIONS FOR THE STORMWATER MANAGEMENT SYSTEMS SHALL TAKE PLACE WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 1/2".
3. MAINTENANCE TASKS SHALL BE PERFORMED MONTHLY OR AFTER SIGNIFICANT RAINFALL EVENTS OF 1" OF RAIN OR GREATER.

1. CONTRACTOR TO NOTIFY "DIG-SAFE" AND THE TOWN OF PEMBROKE DEPARTMENT OF PUBLIC WORKS WATER DIVISION 4 DAYS PRIOR TO CONSTRUCTION
2. THE EXISTING BUILDING ON PROPERTY IS TO BE COMPLETELY DEMOLISHED AND DEBRIS REMOVED FROM SITE AND PROPERLY DISPOSED OF. THIS INCLUDES BUILDING UTILITY SERVICES, BUILDING FOUNDATIONS, CONCRETE FLOOR SLABS, WALLS AND PAVED AREAS. CONTRACTOR TO ADHERE TO ALL REGULATIONS RELATED TO ASBESTOS ABATEMENT, REMOVAL AND DISPOSAL.
3. CONTRACTOR TO REMOVE ALL OTHER EXISTING ON SITE FACILITIES AS REQUIRED TO COMPLETE PROPOSED CONSTRUCTION DEVELOPMENT TO INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND LIGHTING STRUCTURES, FENCING, TRASH ENCLOSURE, AUTOMOTIVE CURBING, CONCRETE SLABS, ASPHALT, LIGHTS, SIGNS, AND GRAVEL DRIVEWAYS. ALL UTILITY SERVICES WILL BE TURNED OFF, CUT AND CAPPED PER UTILITY COMPANY REQUIREMENTS.
4. ALL EXISTING ASPHALT PAVING TO BE REMOVED, INCLUDING CURBS, AND SHALL BE PROPERLY DISPOSED OF
5. CONTRACTOR TO CLEAR, GRUB AND STUMP AREAS OF THE SITE TO BE DEVELOPED, AS REQUIRED. ALL STUMP AND TREE MATERIALS TO BE PROPERLY DISPOSED OF OFF SITE. NO STUMP, TREES, DEBRIS AND OTHER DEMOLITION MATERIAL IS TO BE BURIED ON SITE.
6. CONTRACTOR TO PERFORM AN ASBESTOS SURVEY PRIOR TO ANY DEMOLITION ACTIVITY. IF ASBESTOS IS FOUND, CONTRACTOR TO REMOVE ALL ASBESTOS AND PROPERLY DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

1. NOTIFY DIG-SAFE.
2. APPLY TO UTILITY PROVIDERS AND TOWN FOR UTILITY SERVICE STUBS-CONNECTORS
3. COORDINATE UTILITY TURN-OFF, CUTTING AND CAPPING WITH UTILITY PROVIDERS.
4. INSTALL TEMPORARY FENCE AROUND CONSTRUCTION AREA.
5. INSTALL EROSION CONTROL MEASURES.
6. DELIVER PORTA-POTTIES (TO BE EMPTIED WEEKLY) TO LOWER PART OF SITE.
7. COMMENCE WITH DEMOLITION-REMOVE WORK.
8. PLACE CONSTRUCTION TRAILER ON SITE.
9. PROCEED WITH FOUNDATION CONSTRUCTION.
10. COMPLETE SUBSURFACE UTILITY AND DRAINAGE WORK.
11. PLACE A LIFT OF DENSE GRADED SUB-BASE ON SITE TO STABILIZE PARKING AREA.
12. CONTINUE WITH BUILDING AND SITE CONSTRUCTION.
13. PERMANENTLY STABILIZE ALL DISTURBED AREAS.





ZONING REQUIREMENTS			
ZONE:	RESIDENTIAL A AND PEMBROKE CENTER HISTORICAL DISTRICT		
USE:	EXISTING: TOWN RECREATION DEPARTMENT PROPOSED: COMMUNITY CENTER		
AREA:	REQUIRED 40,000 S.F.	EXISTING 34.19 AC (1,489,316 S.F.)	PROPOSED NO CHANGE
FRONTAGE:	150 FEET	592'±	NO CHANGE
MINIMUM YARD SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT	40 FEET	172± FEET	166± FEET
SIDE	20 FEET	27± FEET	26± FEET
REAR	25 FEET	1,558± FEET	1,584± FEET
BUILDING HEIGHT:	2.5 STORIES MAX	2	(SEE ARCH. DRAWINGS)
LOT PERIMETER RATIO	>55	269	NO CHANGE
LOT COVERAGE	<65%	12.3±%	9.4±% (OR 90.6±% OPEN SPACE)
LOT WIDTH	170 FEET	525 FEET	NO CHANGE

PARKING REQUIREMENTS

FIRST FLOOR				
USE	PARAMETER	QUANTITY	SPACES	REQUIRED
OFFICE SPACE	1SP/150 S.F.	2,115	14	14
ASSEMBLY	1SP/4 SEATS	252	63	63
GYM	1SP/200 S.F.	10,807	54	54
STORAGE	1SP/300 S.F.	1,039	3.5	4
TOTAL:	TOTAL SPACES REQUIRED FOR BUILDING:			135
ACCESSIBLE PARKING SPACES: 6 FOR 151-200 SPACES (MIN)				

SPACE SIZE: 9'X18' AISLE WIDTH: 24'

PARKING SPACES

EXISTING	REQUIRED	PROPOSED
147	135	160 W/6 ACCESSIBLE S (48 ADD'L SPACES AT HALL AND 59 AT LIBR

LANDSCAPING REQUIREMENTS			
1. 25% OPEN SPACE: 90.6%± PROPOSED			
2. 1 TREE W/ 60 S.F. PERMEABLE LANDSCAPE AREA PER 6 SPACES: 160 SPACES x 1 TREE/6 SPACES = 26.7 TREES (MIN) (SEE LANDSCAPE PLANS FOR ACTUAL TREE COUNT, LOCATIONS AND SPECIES)			
IMPERVIOUS AREA CALCULATIONS			
TOTAL LOT AREA	EXISTING BUILDINGS: 46,338± S.F. (3.1%) PARKING & DRIVES: 118,550± S.F. COURTS: 18,834± S.F.	PROPOSED BUILDINGS: 38,184± S.F. (2.6%) PAVEMENT: 82,452± S.F. COURTS: 18,834 S.F.	
1,489,316± SF	183,722± SF (12.3%±)	139,470± S.F. (9.4%±)	

WASTEWATER GENERATION:	
DESIGN DAILY FLOW: 310 CWR 15.203 = 2,693± GAL/DAY (SEE SEPTIC DESIGN PLANS FOR FINAL DESIGN AND DETAILS)	
WATER CONSUMPTION:	
(ASSUME 80% OF WATER CONSUMPTION IS DISCHARGED AS WASTEWATER) 2,693 GAL/DAY/0.80 = 3,367 GAL/DAY	
STOPPING SIGHT DISTANCE (SSD)	
POSTED SPEED (V) = 25MPH BRAKE REACTION TIME (t ₁) = 2.5 SEC DECELERATION RATE (a) = 11.2 FT/SEC ² SSD=1.47Vt + 1.075V ² /a SSD=151.9 FT (MIN)	

NOTE:
THE CONTRACTOR SHALL NOTE THAT THE EXISTING BUILDING AND UTILITY CONNECTIONS ARE SHOWN AS REFERENCE ONLY; THE EXISTING STRUCTURE WILL BE RAZED AND ALL EXISTING UTILITY CONNECTIONS WILL HAVE BEEN PROPERLY DISCONNECTED PRIOR TO THE START OF CONSTRUCTION FOR THE PROPOSED BUILDING, AND SITE CONSTRUCTION.

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REVISIONS

DRAWING TITLE

Layout & Zoning

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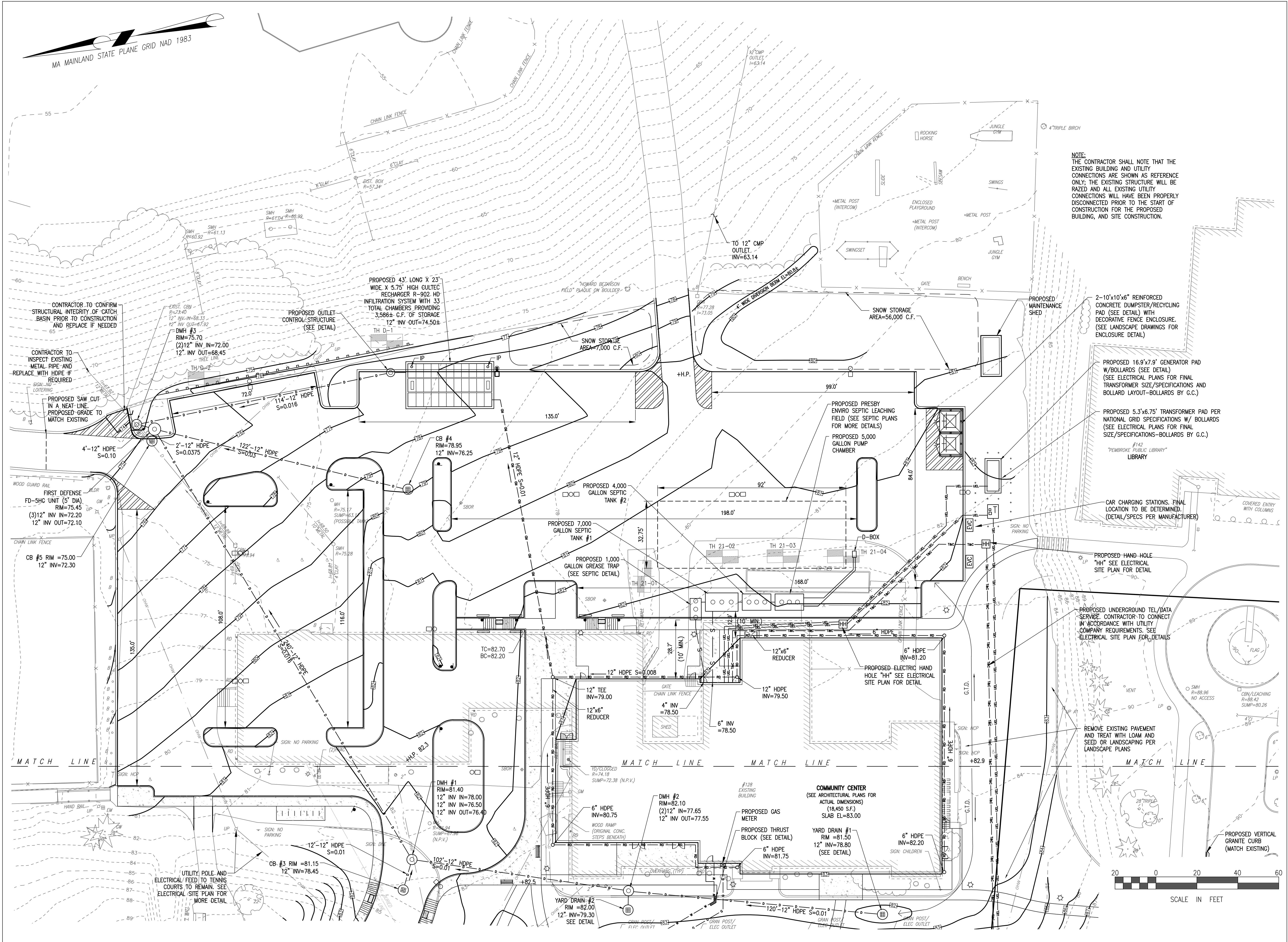
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Pembroke
FILE NAME

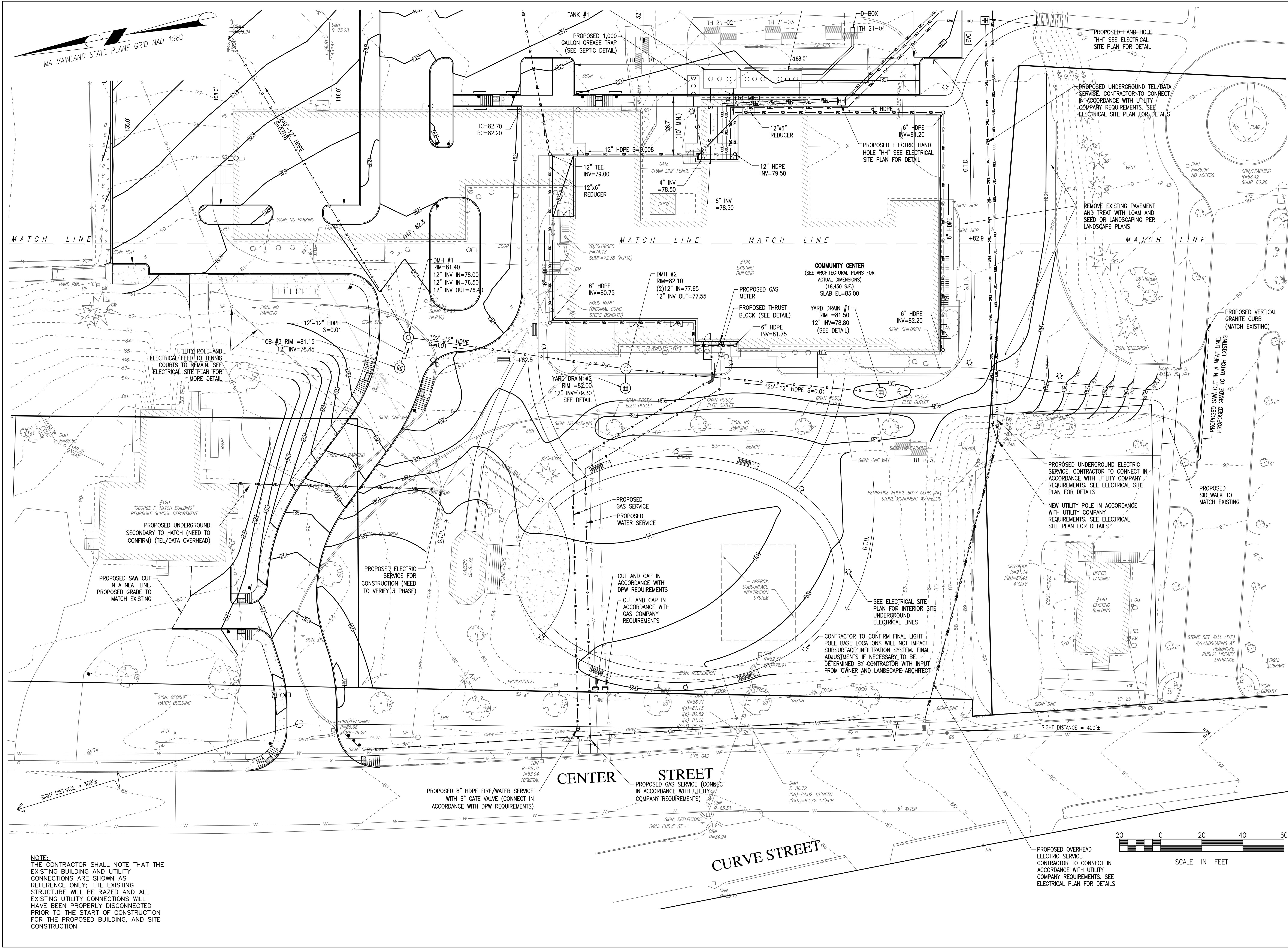
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REVISIONS

DRAWING TITLE

Grading & Utilities

DRAWING INFORMATION

UNIVERSITY OF MASSACHUSETTS

DNA MATTHEW ALIBOLLO

No. 46237

Civil

PROFESSIONAL ENGINEER

May 6, 2022

DATE OF ISSUE

Site Plan Review

DESCRIPTION

As Noted

SCALE

PAL

DRAWN BY

3403.00

PROJECT #

Pembroke

FILE NAME

DRAWING NUMBER

C502

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V.2.1

GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
2. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HDPE OR REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE.
3. REINFORCED CONCRETE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C76 AND AASHTO DESIGNATION M170, WALL B. REINFORCED CONCRETE MANHOLES & CATCHBASINS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C478 AND AASHTO DESIGNATION M199. ALL CONCRETE PIPES AND STRUCTURES SHALL MEET THE LATEST MASS HIGHWAY DEPARTMENT SPECIFICATIONS AND PEMBROKE SUBDIVISION STANDARDS.
4. CORRUGATED POLYETHYLENE PIPE AND STRUCTURES SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
5. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
6. RIP RAP SPLASH APRONS SHALL BE PROVIDED AT ALL DRAINAGE OUTFALLS AS SHOWN ON THE DRAWINGS.
7. ALL SERVICE CONNECTIONS (I.E. ROOF AND CANOPY DRAINS) SHALL BE INSTALLED TO A POINT OF 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

DRAINAGE INFILTRATION SYSTEM NOTES

DURING CONSTRUCTION OF THE DRAINAGE INFILTRATION SYSTEMS, THE FOLLOWING MEASURES SHALL BE TAKEN:

1. ALL STOCKPILES SHALL BE STORED DOWN GRADIENT OF THE EXCAVATION TO ENSURE ANY POTENTIAL SEDIMENT DOES NOT REACH THE INFILTRATION AREA.
2. ALL EQUIPMENT FOR EXCAVATION AND PLACEMENT OF STONE AND STRUCTURES SHALL BE KEPT OUTSIDE THE AREA OF THE SYSTEM.
3. ALL WATER RESULTING FROM DEWATERING ACTIVITIES SHALL BE DIRECTED AWAY FROM THE INFILTRATION AREAS.
4. NO STORMWATER SHALL BE DISCHARGED INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE FULLY STABILIZED WITH PAVEMENT, VEGETATION OR OTHER PERMANENT TREATMENT.

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY. ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
4. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
5. ALL WATER MAIN FITTINGS, TEES, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
6. ALL HYDRANTS SHALL BE INSTALLED WITH A 6" C.I.D.I. RUNOUT AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE, BOX, AND TEE FITTING. ALL HYDRANTS SHALL BE SUPER 200 CENTURION (OPENS LEFT) WITH BRASS FITTINGS AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL MUNICIPAL REQUIREMENTS.
7. DOMESTIC WATER SERVICES SHALL BE PER PEMBROKE DPW REQUIREMENTS AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE CURB STOP, AND BOX.
8. ALL WATER MAINS 3" AND LARGER SHALL BE HDPE OR CEMENT LINED DUCTILE IRON – CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. ALL GATE VALVES SHALL BE MUELLER, OPEN LEFT.
9. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
10. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
11. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
12. PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
13. ALL GRAVITY SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.) S.D.R. 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
14. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
15. PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACKFILL AND COMPACTION FOR THE GAS LINE.
16. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

GENERAL CONSTRUCTION AND EROSION CONTROL NOTES

1. PROPERTY LINE DATA FROM EXISTING PLANS OF RECORD; TOPOGRAPHIC AND DETAIL SURVEY PERFORMED BY MERRILL ASSOCIATES INC. IN NOVEMBER OF 2021.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
3. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND UTILITY PERMITS AND VERIFY THE PROPOSED LOCATION OF UTILITIES WITH UTILITY COMPANIES.
5. CONTRACTOR TO NOTIFY "DIG-SAFE" AND THE TOWN OF PEMBROKE DEPARTMENT OF PUBLIC WORKS WATER DIVISION (826-3189) 4 DAYS PRIOR TO CONSTRUCTION
6. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT TO A NEAT LINE AND MATCH GRADE.
7. ALL EXISTING TREES, SHRUBS AND GROUND COVER WITHIN 15' OF PROPERTY LINES AND WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
8. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL, EXCEPT 6" OF LOAM SHALL BE USED WITHIN 10' OF EDGE OF ROADWAY.
9. DRAINAGE SYSTEM TO BE AS PER PEMBROKE DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.
10. ALL SUBSURFACE STRUCTURES TO CONFORM TO MASSACHUSETTS HIGHWAY DOT CONSTRUCTION STANDARDS AND SHALL BE SUITABLE FOR H-20 LOADING.
11. THE CONTRACTORS ATTENTION IS DIRECTED TO ALL REQUIREMENTS OF THE PEMBROKE PLANNING BOARD, BOARD OF HEALTH AND DEPARTMENT OF PUBLIC WORKS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
13. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS DATED MARCH 1997, PLANNING BOARD DECISION AND ALL MUNICIPAL REGULATIONS.
14. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
15. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETER WITH STAKED HAYBALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. THE LOCATION OF THE STOCKPILE AREAS MAY BE MODIFIED AS APPROVED BY THE ENGINEER.
16. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
17. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS. AREAS THAT REMAIN DISTURBED BUT INACTIVE FOR AT LEAST THIRTY DAYS SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
18. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE LINE OF STAKED HAYBALES AND SILT FENCE.
19. DURING UTILITY CONSTRUCTION, ALL WATER PUMPED FROM THE EXCAVATED TRENCH SHALL BE DIRECTED TO A "DIRT BAG" PUMPED SEDIMENT REMOVAL SYSTEM (OR APPROVED EQUAL) AS MANUFACTURED BY ACF ENVIRONMENTAL.
20. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY EROSION CONTROL FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
21. SILT BAGS SHALL BE UTILIZED AT ALL EXISTING AND PROPOSED CATCH BASINS/DRAIN INLETS (IF PRESENT) SUBJECT TO STORMWATER RUNOFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
22. EROSION CONTROL SHALL ALSO BE PLACED AROUND CATCH BASINS/DRAIN INLETS (IF PROPOSED) AND ARE REQUIRED DURING CONSTRUCTION.
23. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED/REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT.
24. THE LOCATION OF EROSION CONTROL FENCE SHALL BE FIELD VERIFIED DURING SITE PREPARATION OPERATIONS BY THE CONTRACTOR.
25. ALL PROPOSED SLOPES (EXCLUDING THE RIPRAP SLOPE) STEEPER THAN 3:1 SHALL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSIOR COMPANY (OR APPROVED EQUAL) AND PROTECTED FROM EROSION.
26. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROLS AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER, THE CONSERVATION COMMISSION OR THE PLANNING BOARD TO MITIGATE ANY EMERGENCY CONDITION.
27. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
28. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR UTILITY CONNECTION FEES REQUIRED TO CARRY OUT THE WORK OUTLINED.
29. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL MUNICIPAL REQUIREMENTS.
30. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
31. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
32. THE CONTRACTOR SHALL BE AWARE THAT SOIL AND GRADES AT THIS SITE MAKE IT PARTICULARLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. IT SHOULD BE NOTED THAT THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL AND ARE REPRESENTATIVE OF A SINGLE STAGE OF CONSTRUCTION FOR EACH PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE CONDITIONS CHANGE.
33. THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITION, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
34. THE EROSION CONTROL FENCE BARRIERS SHOWN ON THE DRAWINGS (IF PROPOSED) SHALL ACT AS THE LIMITS OF DISTURBANCE AND THE LIMITS OF CLEARING; NO WORK SHALL OCCUR OUTSIDE THESE LIMITS.
35. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
36. THE CONTRACTOR SHALL AT HIS EXPENSE SURVEY AND MARK OUT IN THE FIELD THE LIMITS OF CLEARING PRIOR TO THE START OF ANY WORK.
37. THE CONTRACTOR SHALL NOTIFY THE PLANNING BOARD AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK.
38. PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL PREPARE A WEEKLY REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND FEDERAL AGENTS UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
39. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR EROSION CONTROLS.
40. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
41. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
42. DUST SHALL BE CONTROLLED ON SITE.
43. ALL STUMPS SHALL BE DISPOSED OF OFF SITE.

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PROJECT NAME

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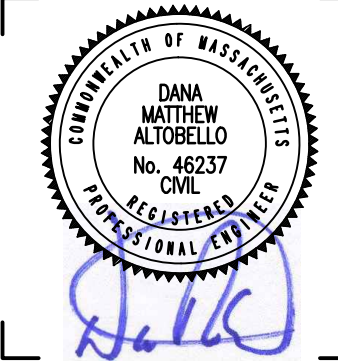
REVISIONS

DATE

DRAWING TITLE

Site Details

DRAWING INFORMATION



May 6, 2022	
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Site Plan Review	
DESCRIPTION	
As Noted	DRAWN BY
SCALE	
3403.00	Pembroke
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C601



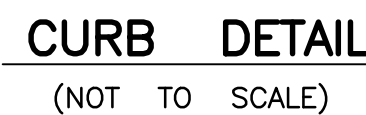
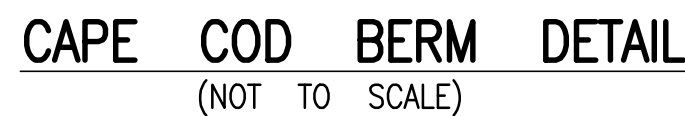
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- A cross-sectional diagram of a pavement structure. From top to bottom, the layers are: a thin top layer labeled 'SURFACE COURSE' with a vertical dimension of $1\frac{1}{2}"$; a thicker layer labeled '2-1/2" BINDER COURSE' with a vertical dimension of $12"$; a layer labeled 'COMPACTED GRAVEL BASE' with a stippled texture; and a bottom layer labeled 'COMPACTED SUBGRADE' with a brick-like pattern. Arrows point from the text labels to their respective layers in the diagram.

BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)

-
- 24" X 24" GAL. STEEL
BAKED ENAMEL R1-1
"STOP" SIGN
- 5'-0"
FROM PAVEMENT
- 5'-0"
FROM PAVEMENT
- 3'-0"
- 1'-6"
- 18" DIA. CONCRETE SIGN
FOOTING, FLUSH AT GRADE
- GALVANIZED STEEL POST
WITH TOP USING
BREAKAWAY SUPPORT ALL
CONFORMING TO MHD
SPECIFICATIONS FOR P-5
TELESCOPIC POST
- FINISHED GRADE

STOP SIGN DETAIL

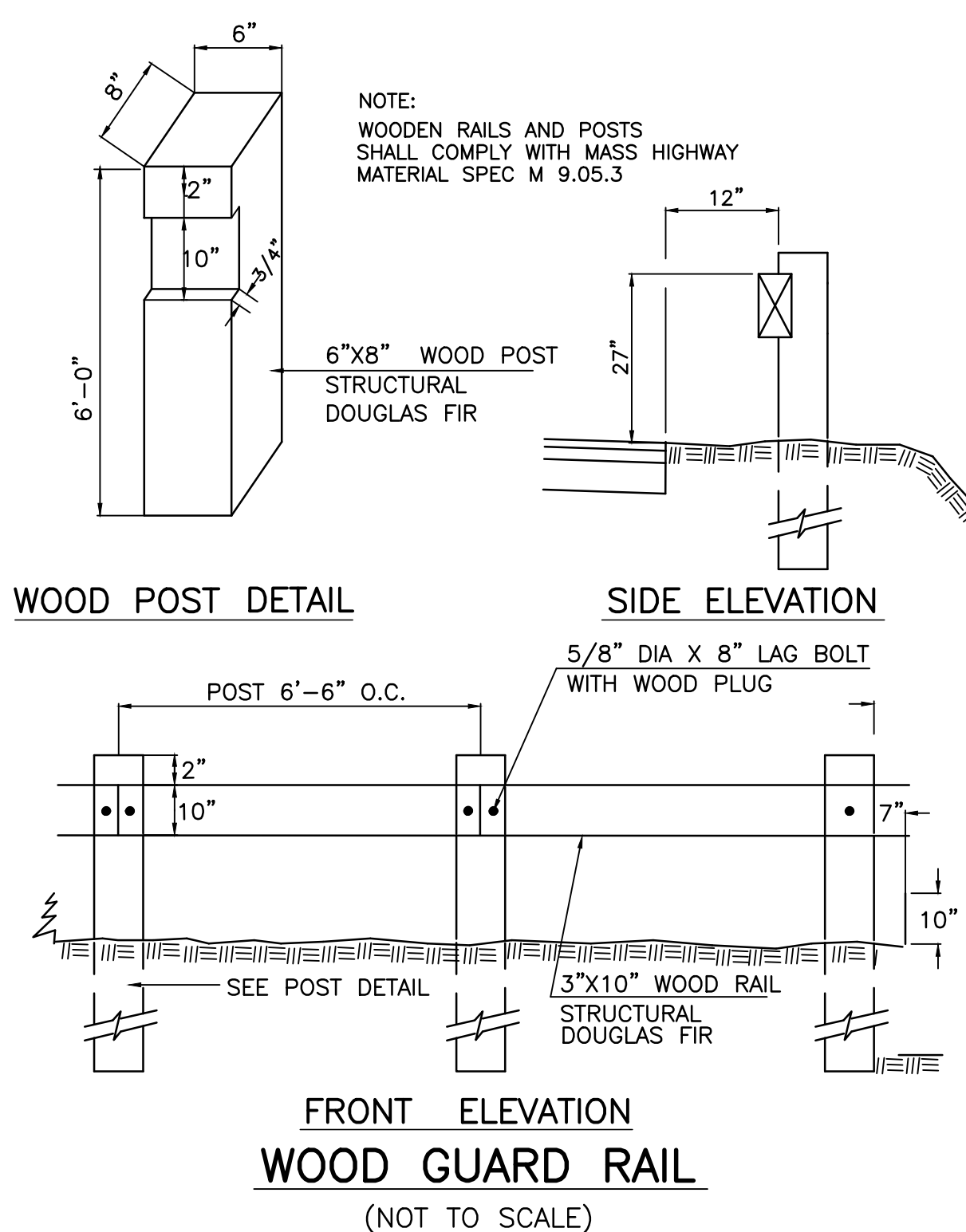
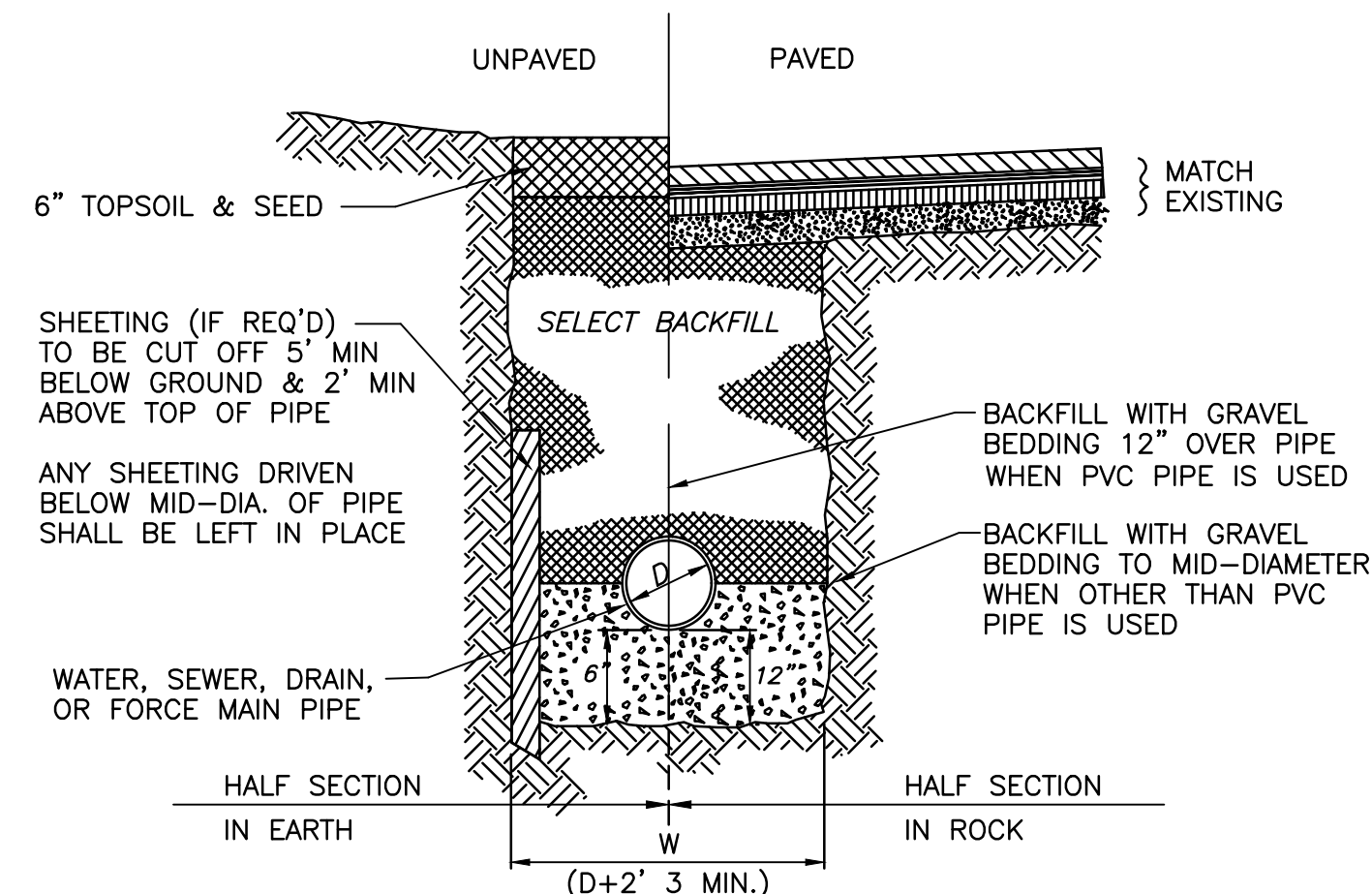
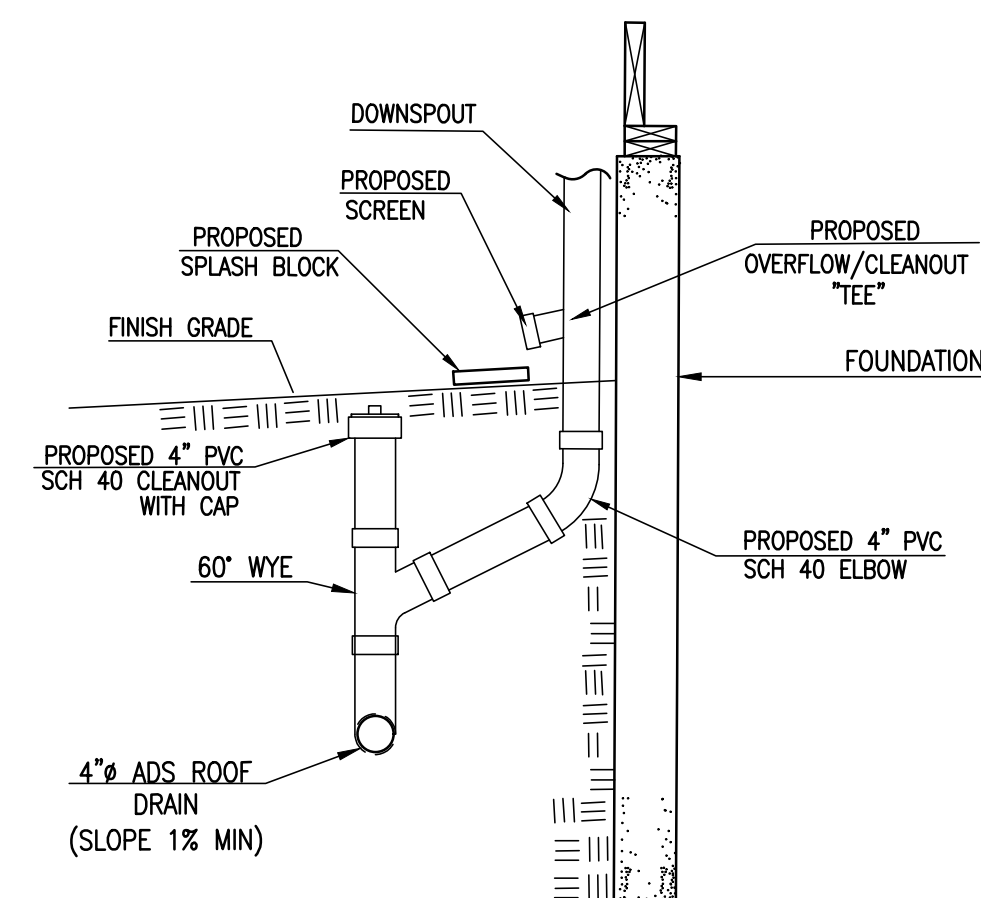
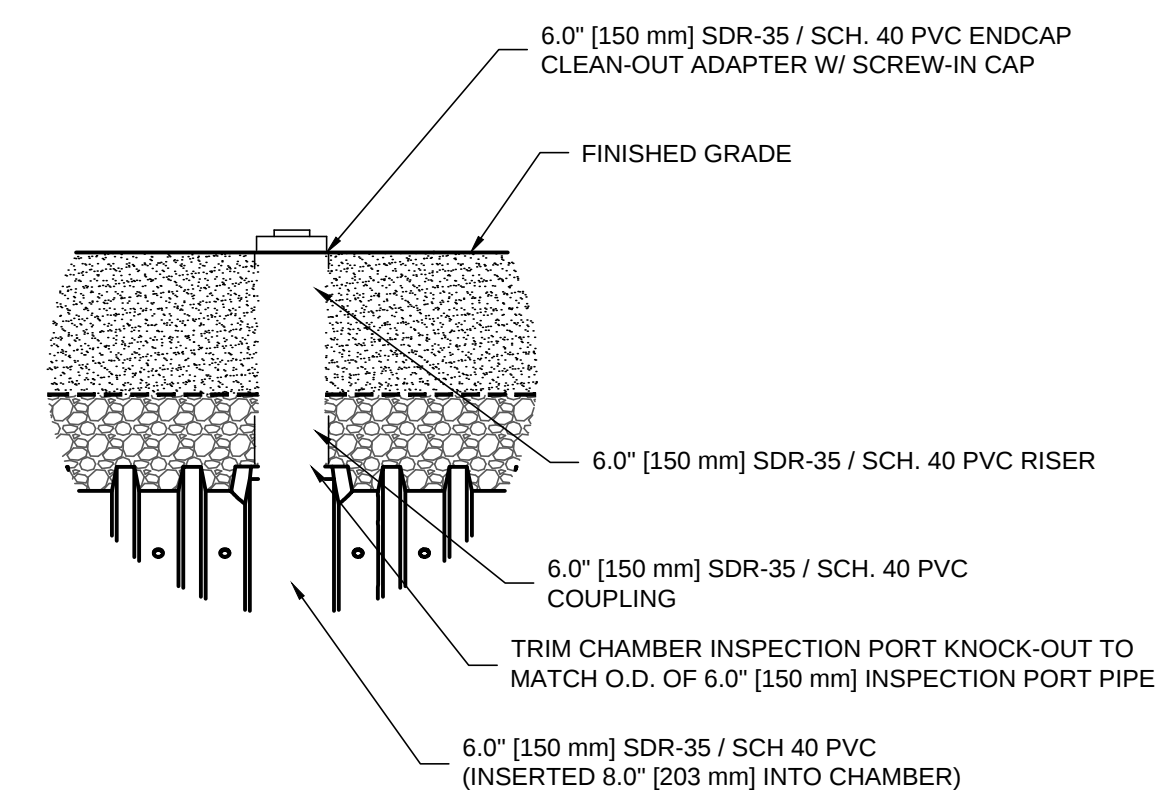
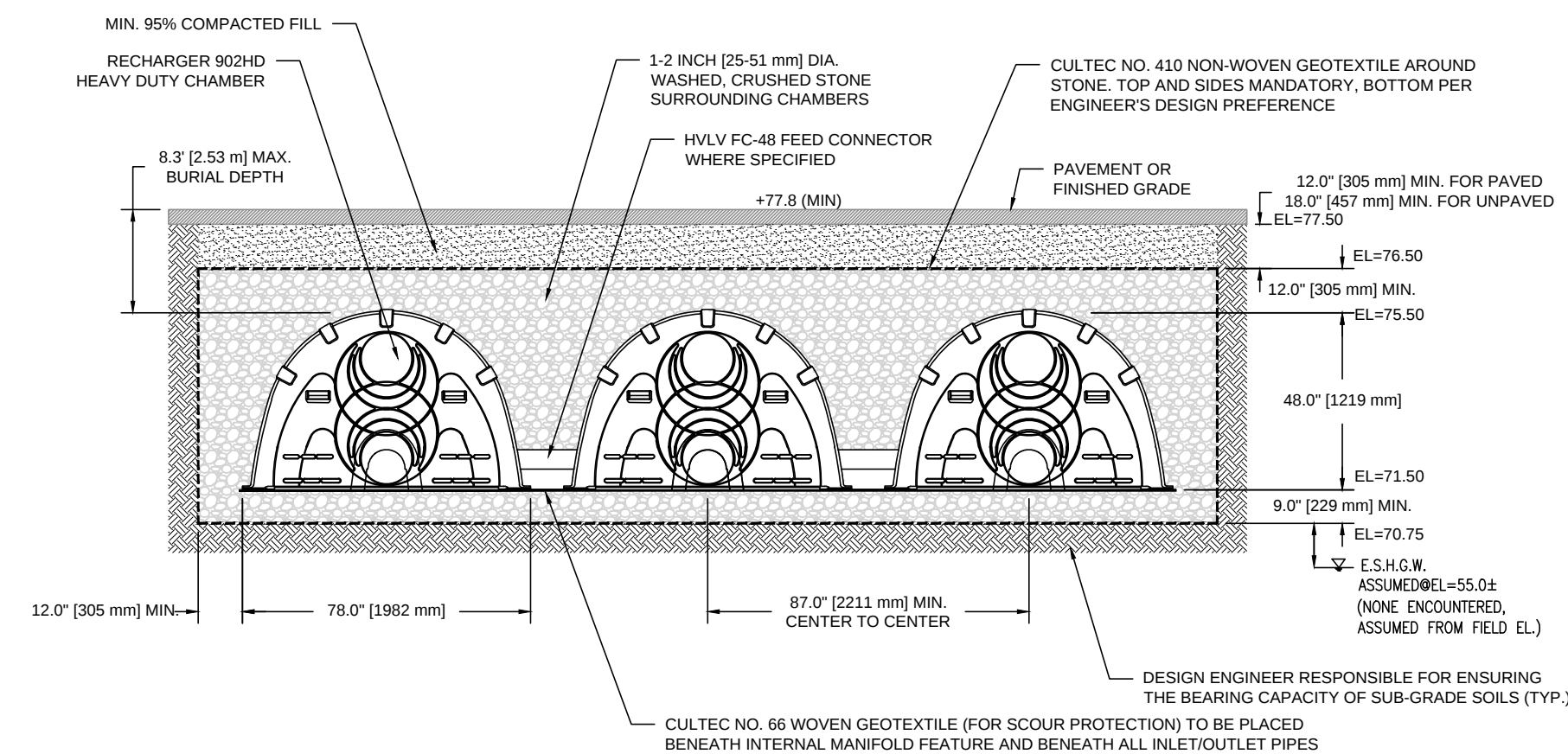
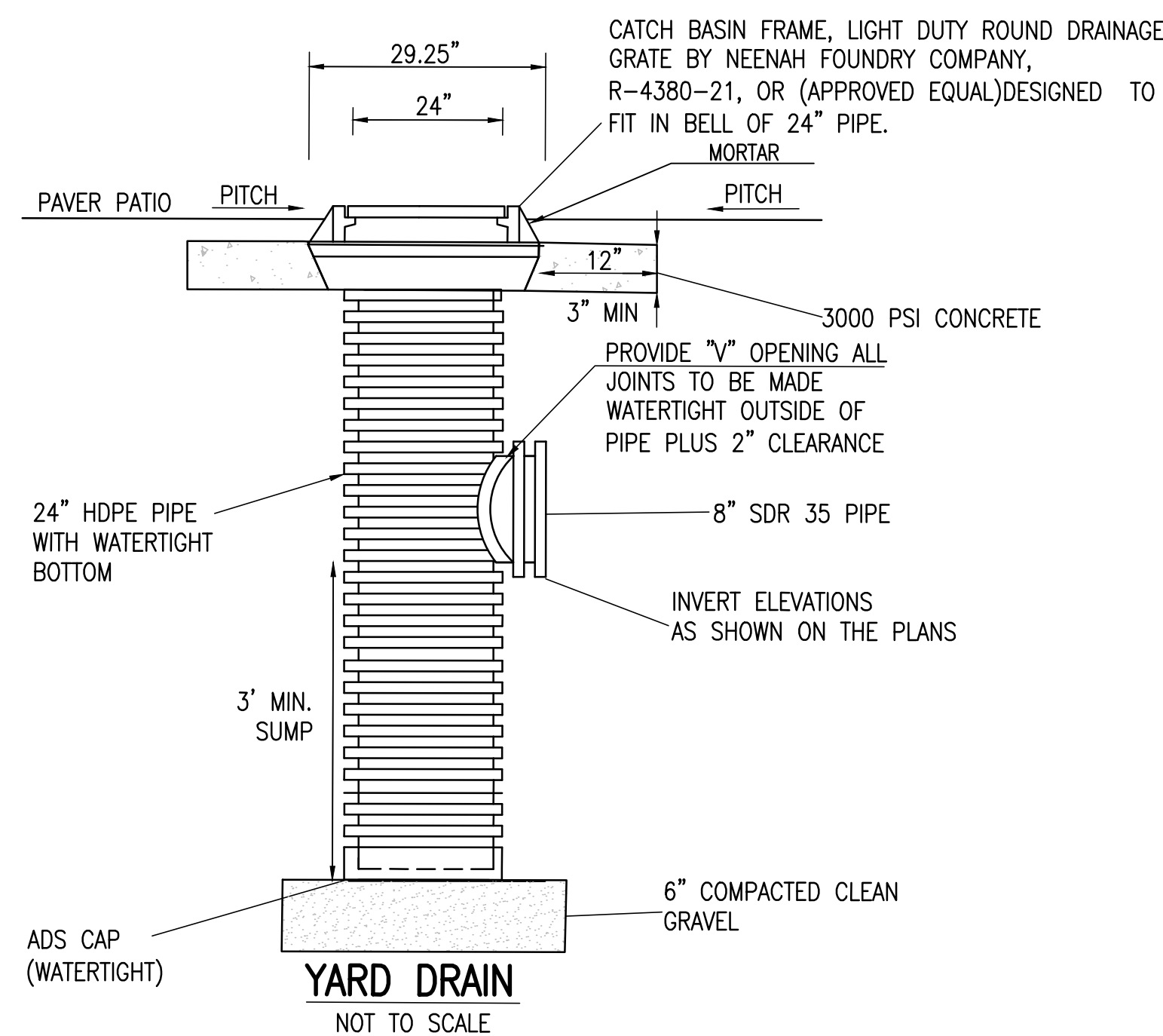
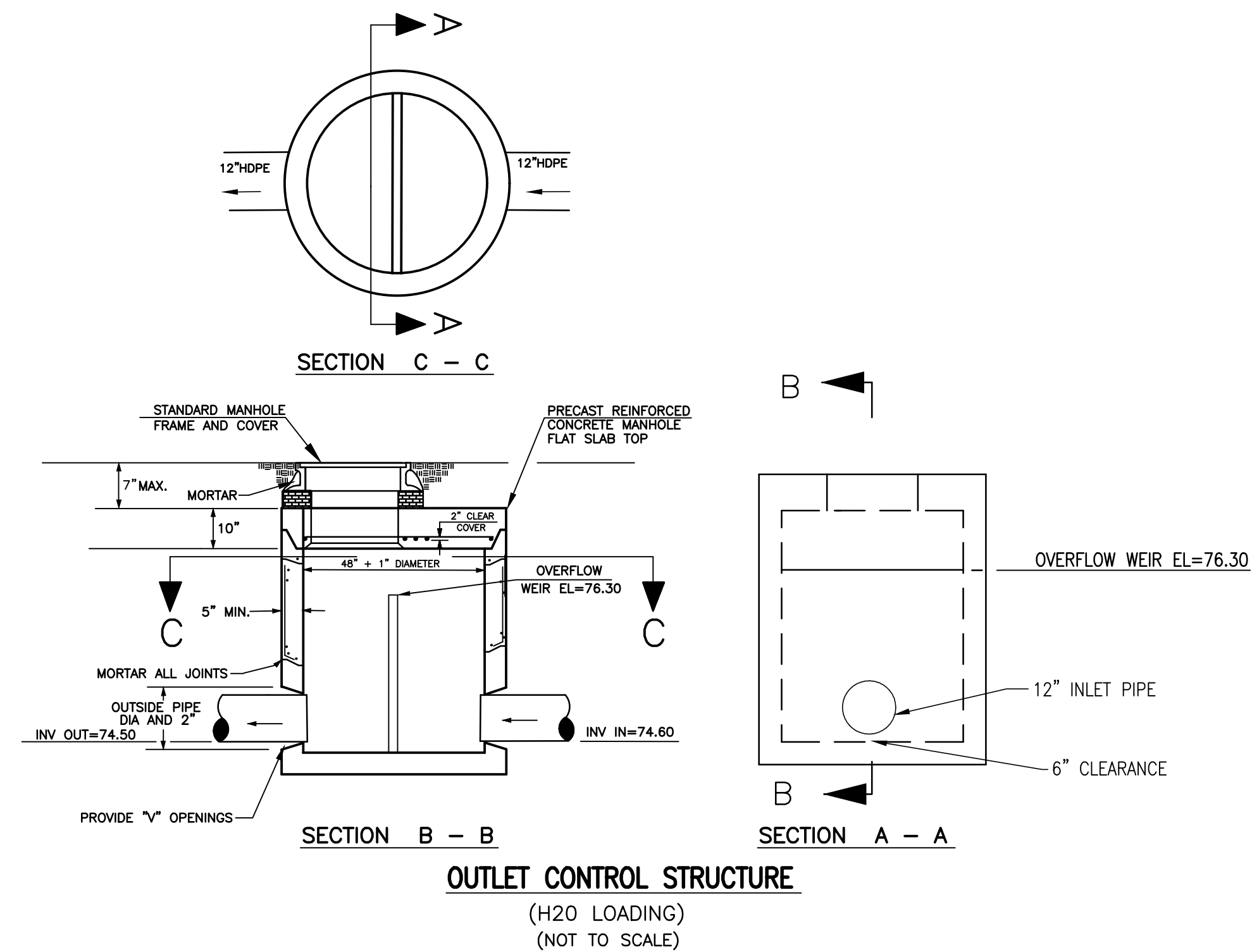
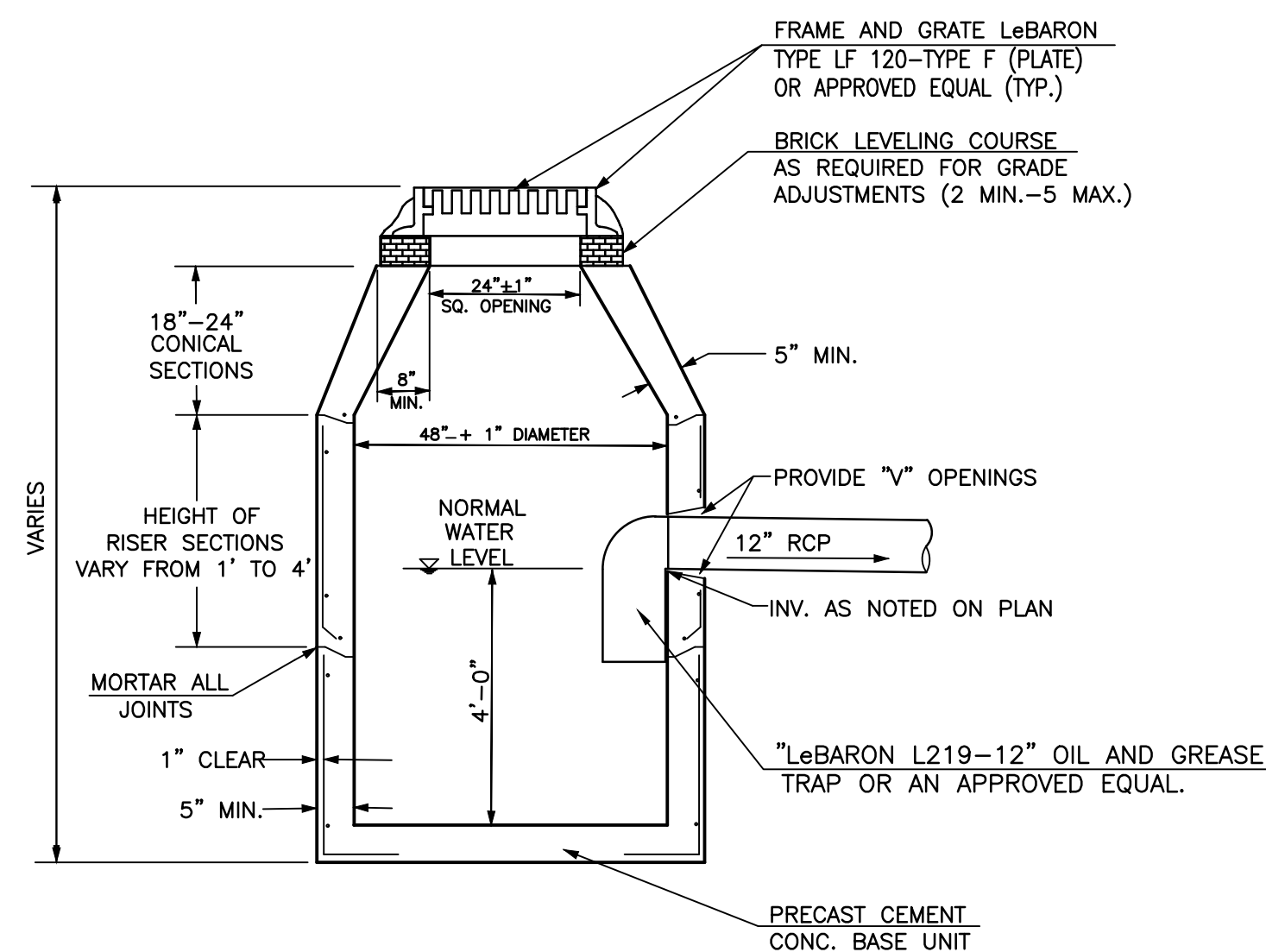
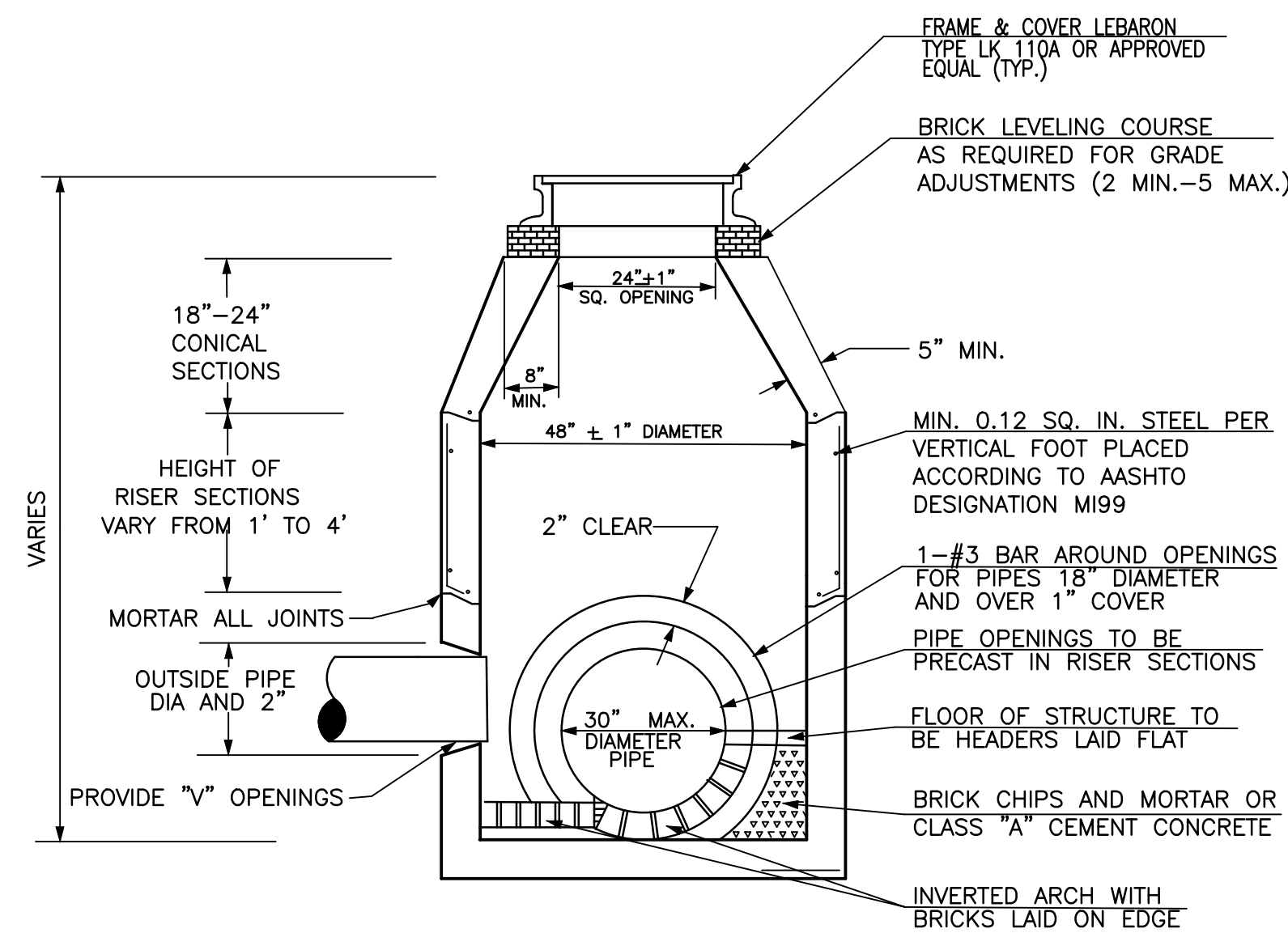
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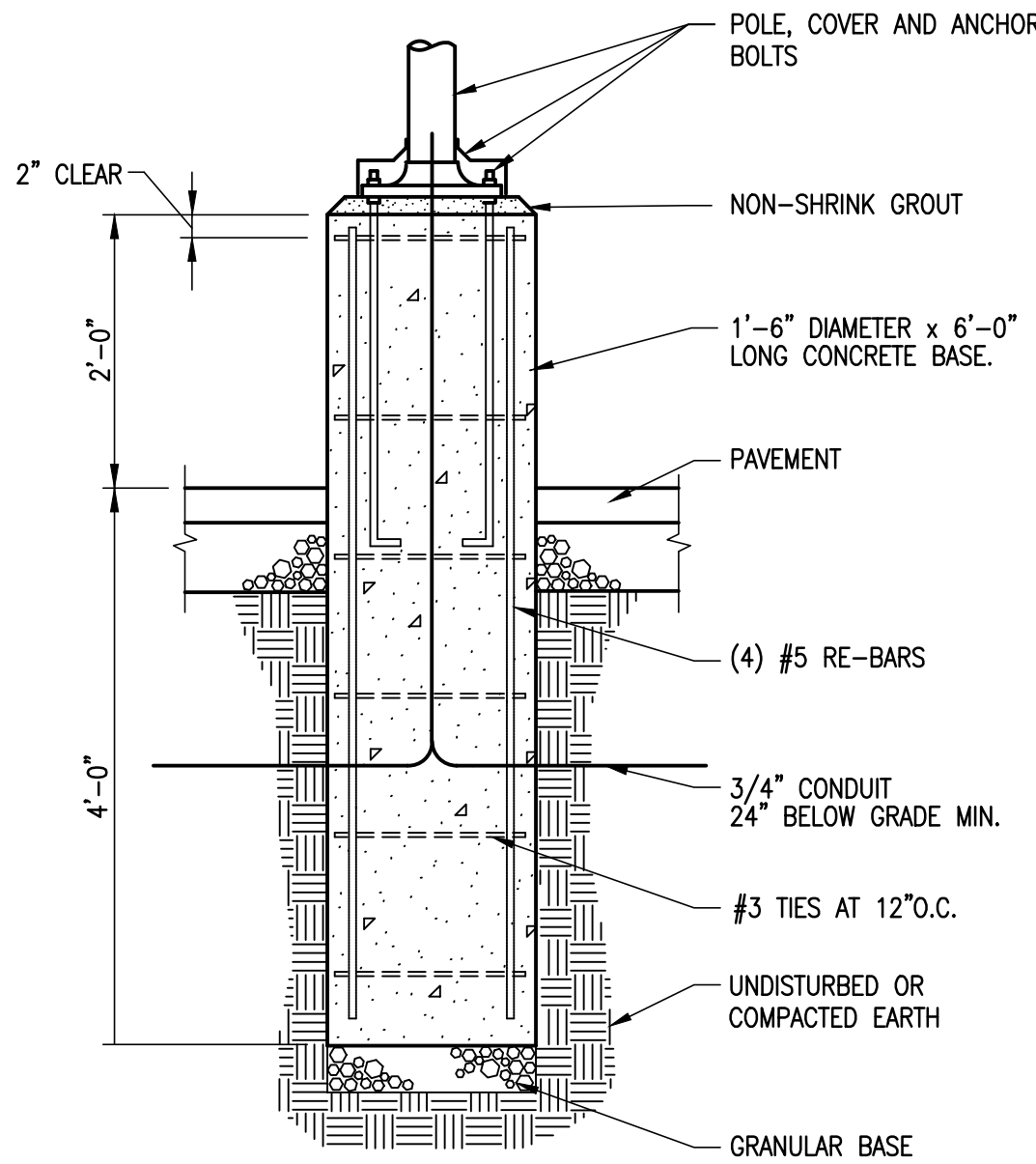
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- A perspective diagram of a channel section with a length of 6'-0". Two vertical dashed lines indicate the positions of "DOWEL HOLES" within the channel's web.



BOLLARD DETAIL
(NOT TO SCALE)

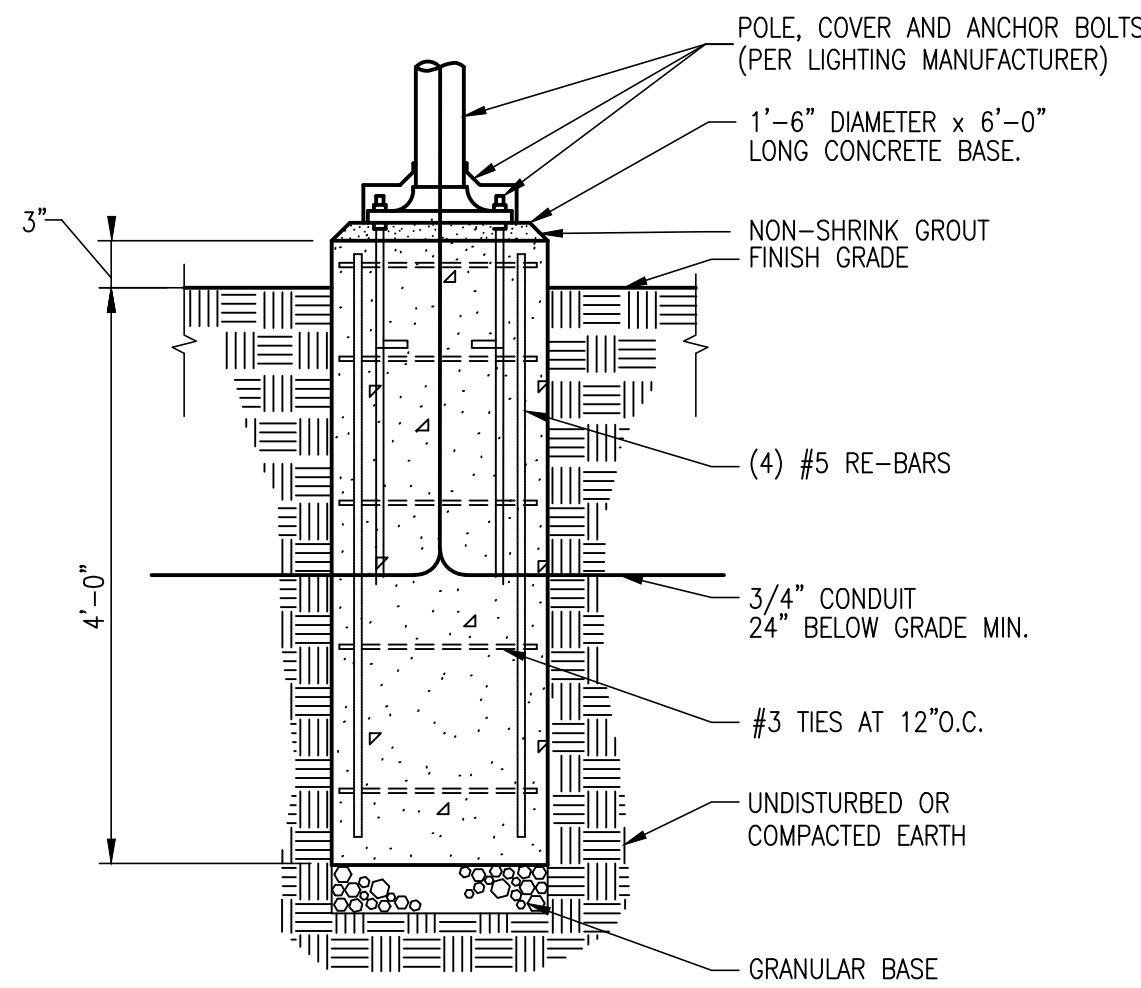


DATE: 12/20/21 TH D-1	DATE: 12/20/21 TH D-2	DATE: 12/20/21 TH D-3																						
EL. <u>74.8</u>	EL. <u>74.2</u>	EL. <u>83.8</u>																						
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NO REDOX. ENCOUNTERED	NO REDOX. ENCOUNTERED	NO REDOX. ENCOUNTERED																						



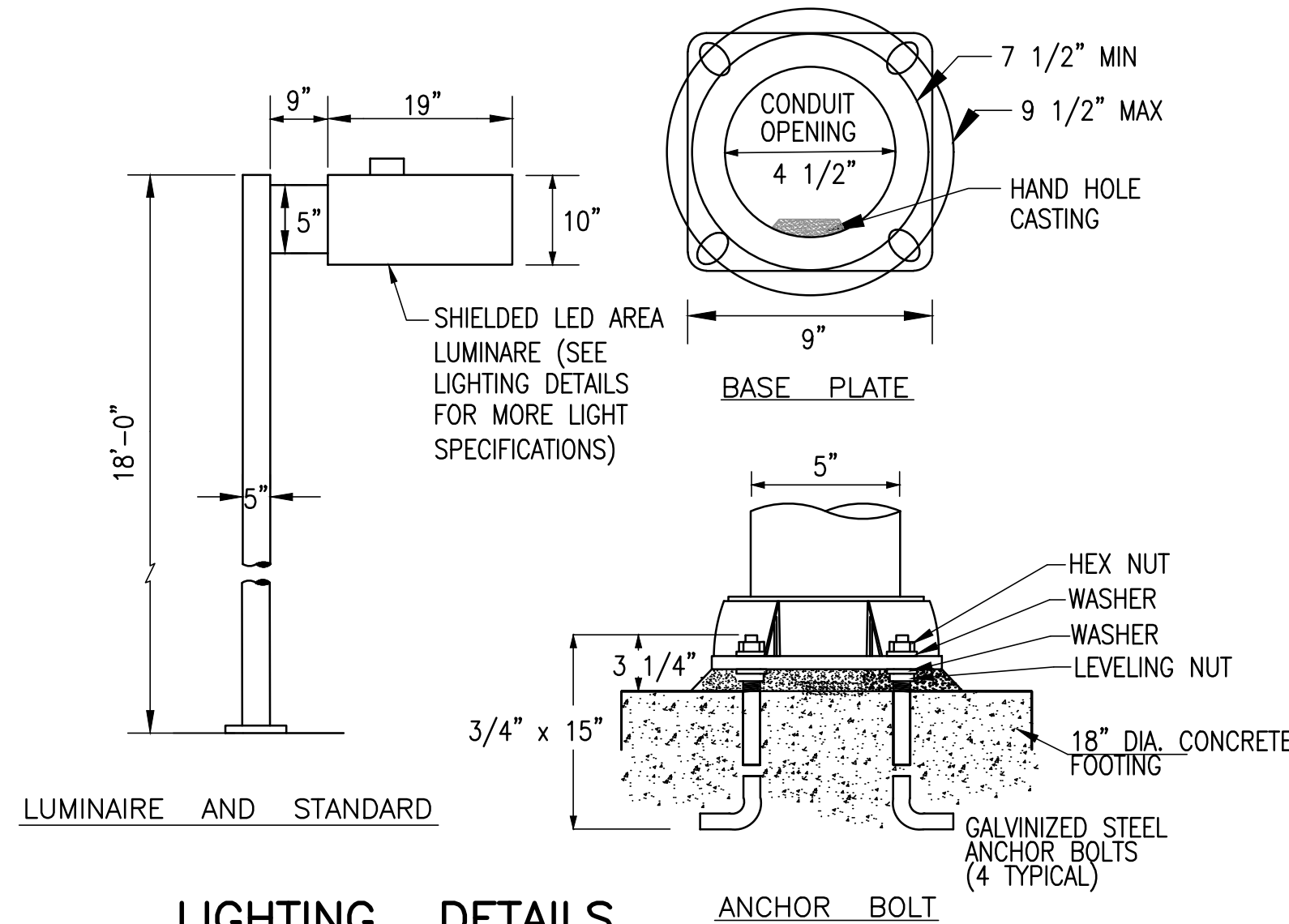
NOTES:
LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO
CHANGE BASED ON FINAL POLE AND FIXTURE
SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

LIGHT POLE FOUNDATION DETAIL
(NOT TO SCALE)



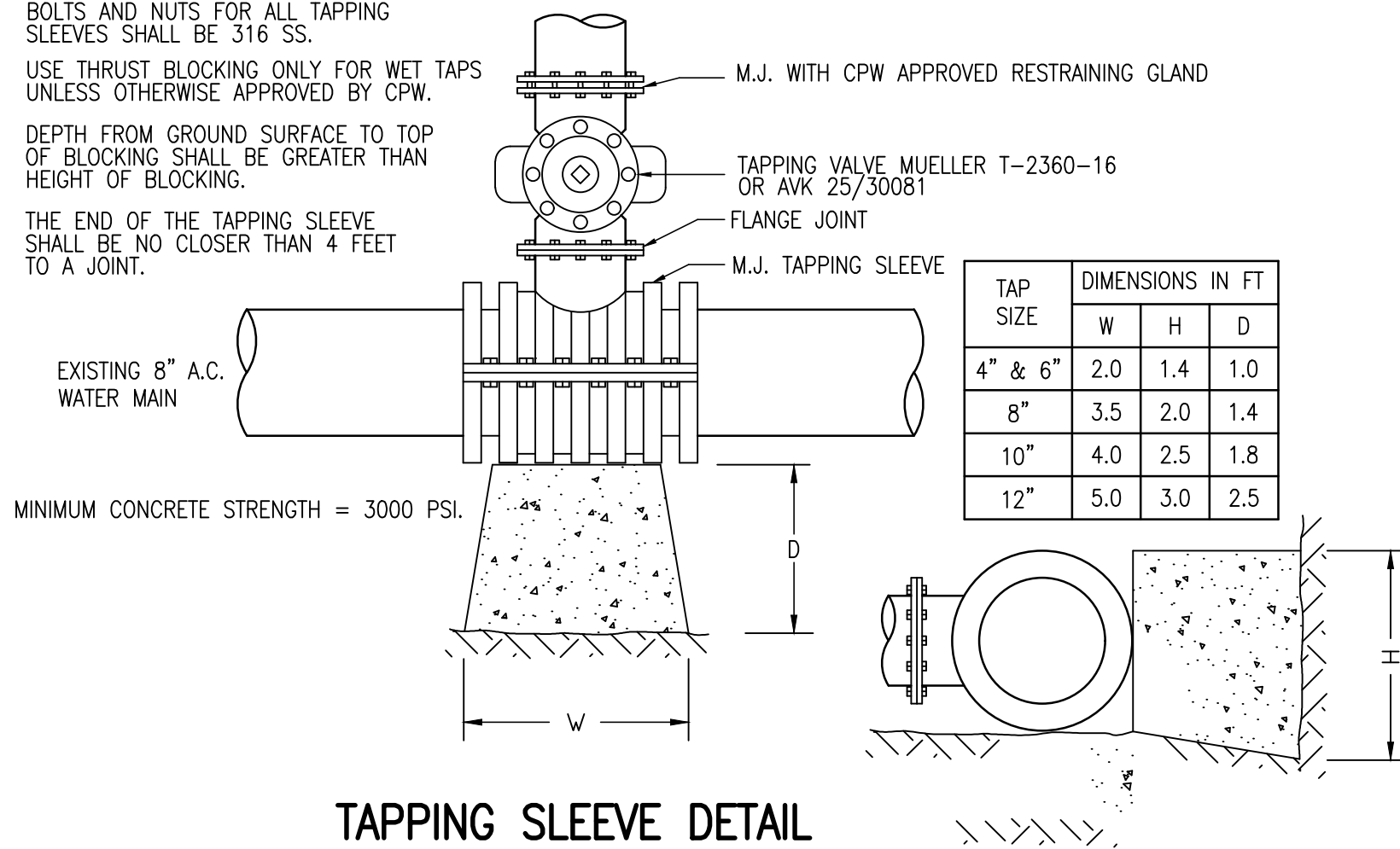
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AT-GRADE LIGHT POLE FOUNDATION DETAIL
(NOT TO SCALE)



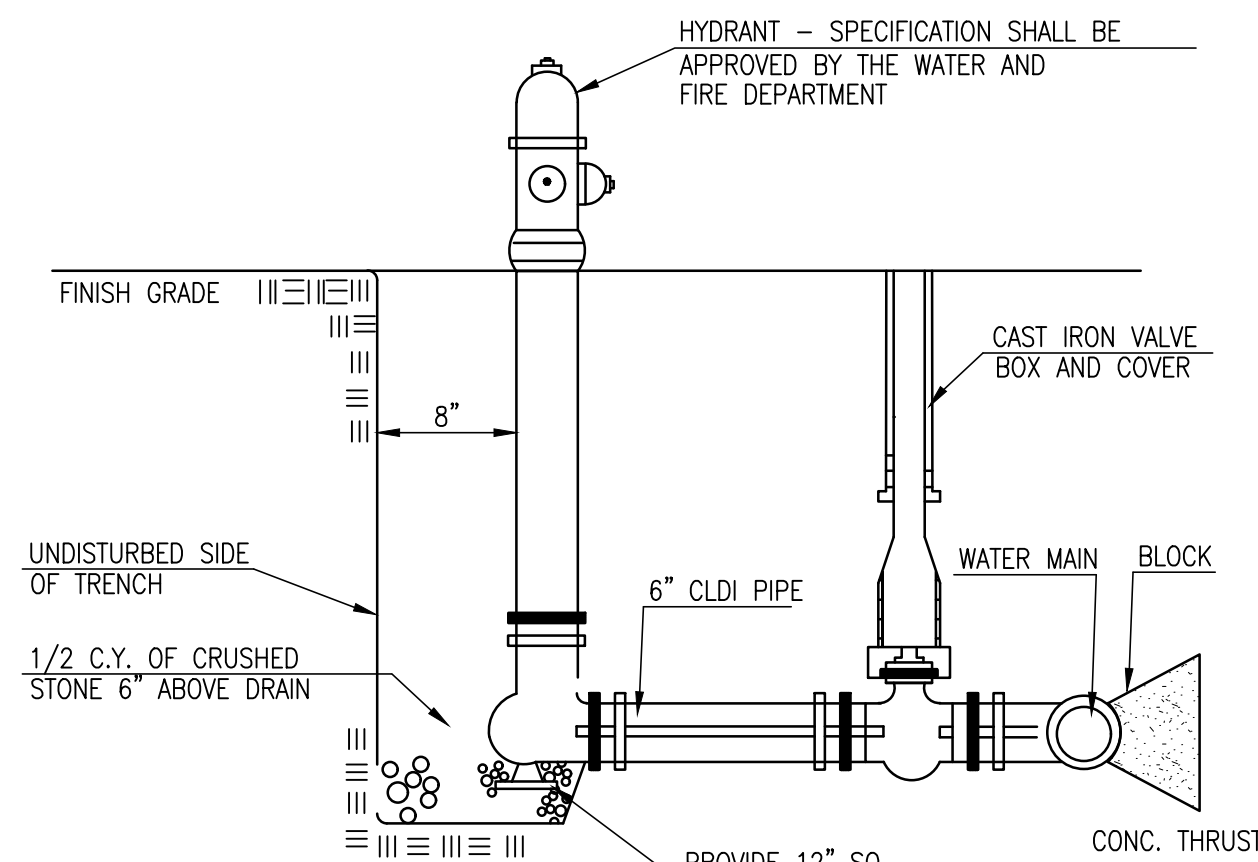
LIGHTING DETAILS
(NOT TO SCALE)

- NOTE:
- TAPPING SADDLES ARE NOT ALLOWED FOR MAIN-ON-MAIN TAPS.
 - USE MUELLER OR AMERICAN DARLING DUCTILE IRON OR 316 STAINLESS STEEL TAPPING SLEEVES FOR TAP SIZES 4" - 24".
 - USE 316 STAINLESS STEEL TAPPING SLEEVES BY DRESSER OR CASCADE FOR TAPS ON MAINS 30" AND GREATER.
 - BOLTS AND NUTS FOR ALL TAPPING SLEEVES SHALL BE 316 SS.
 - USE THRUST BLOCKING ONLY FOR WET TAPS UNLESS OTHERWISE APPROVED BY CPW.
 - DEPTH FROM GROUND SURFACE TO TOP OF BLOCKING SHALL BE GREATER THAN HEIGHT OF BLOCKING.
 - THE END OF THE TAPPING SLEEVE SHALL BE NO CLOSER THAN 4 FEET TO A JOINT.



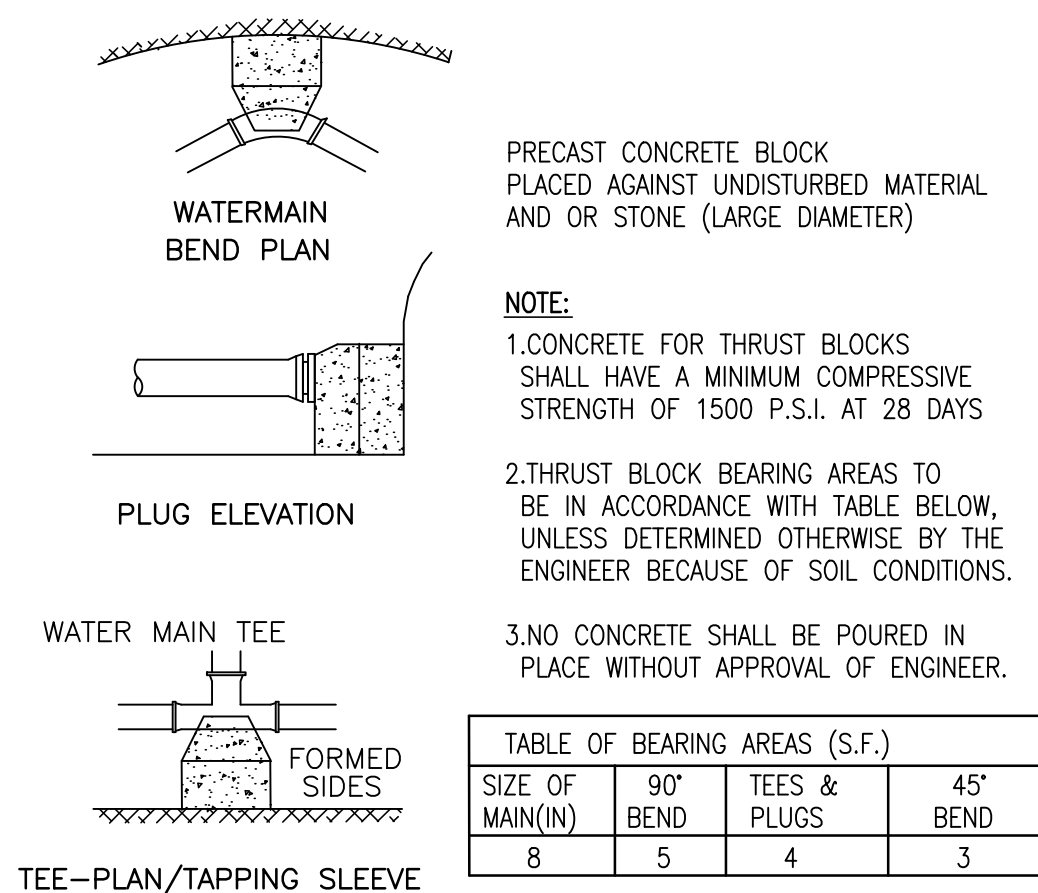
TAPPING SLEEVE DETAIL
(NOT TO SCALE)

*CONSULT DPW PRIOR TO PURCHASING ANY WATER MAIN MATERIALS.
COMPLETE INSTALLATION IN ACCORDANCE TO DPW REQUIREMENTS

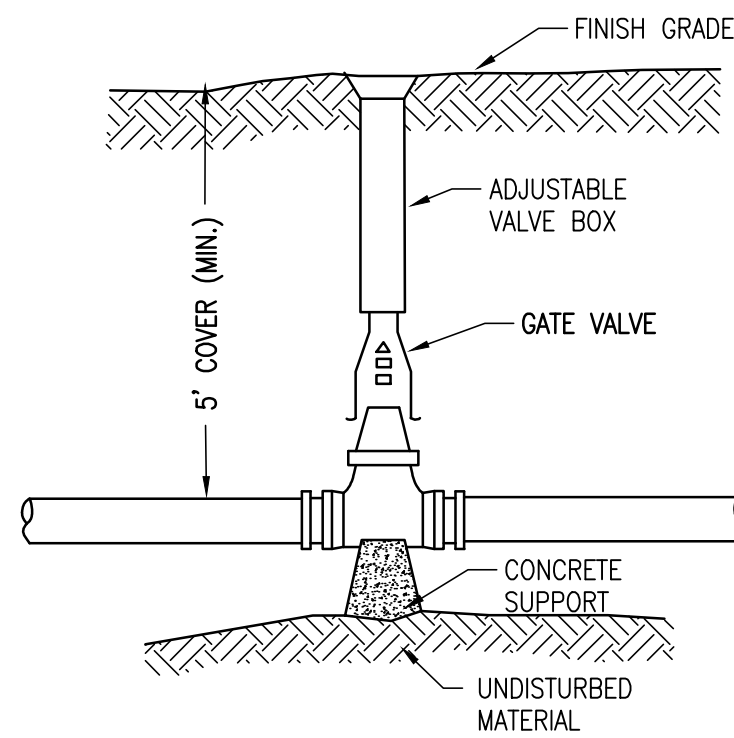


NOTE:
MEGA-LUGS ARE TO BE USED ON ALL
TIE RODS AND MECHANICAL JOINTS

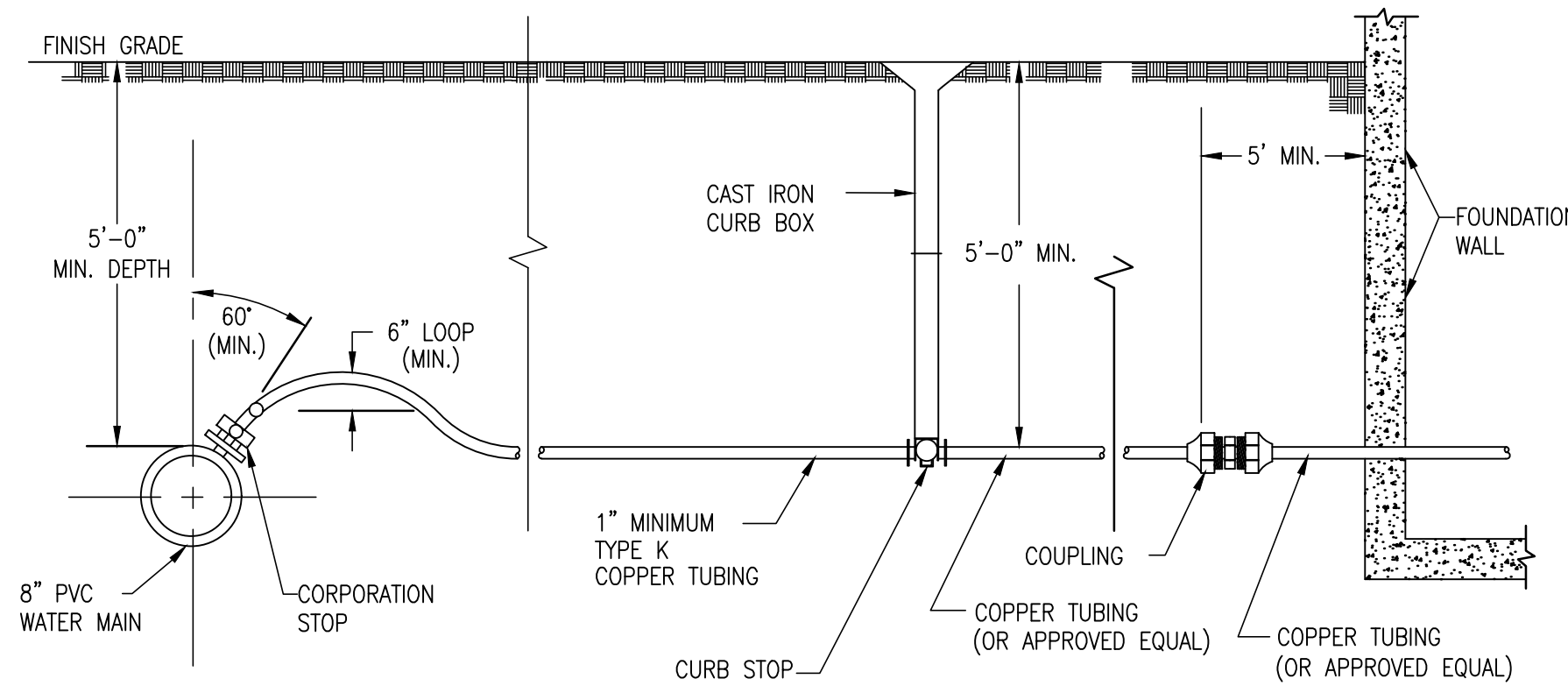
HYDRANT DETAIL
(NOT TO SCALE)



THRUST BLOCK DETAILS
(NOT TO SCALE)



WATER GATE DETAIL
(NOT TO SCALE)



NOTE:
VERIFY MATERIALS AND TAPPING AND INSTALLATION REQUIREMENTS
WITH THE TOWN OF NORWELL WATER DEPARTMENT.

WATER SERVICE DETAIL
(NOT TO SCALE)

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
(617) 350 0450

PROJECT NAME

**Pembroke
Community Center**
128 Center Street
Pembroke, MA, 02359

CLIENT

**Town of
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Pembroke, MA, 02359

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Food Service Consultant
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Georgetown, MA 01833
(978) 352 8500

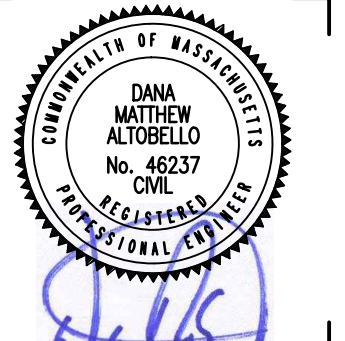
Elevator Consultant
B Squared Engineering
169 Mill Brook Road
Stamford, CT, 06902
(203) 989-9029

REVISIONS

DRAWING TITLE

Site Details

DRAWING INFORMATION



May 6, 2022
DATE OF ISSUE

Site Plan Review
DESCRIPTION

As Noted
SCALE

3403.00
PROJECT #

Pembroke
FILE NAME

DRAWING NUMBER

C604

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V.2.1