

PEMBROKE MA PLANNING BOARD:

NAME:

DATE:



CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581

SITE NAME:  
**PEMBROKE\_5\_MA**  
LOCATION CODE:  
**430514**

SITE ADDRESS:  
**85 WASHINGTON ROAD  
PEMBROKE, MA 02359**



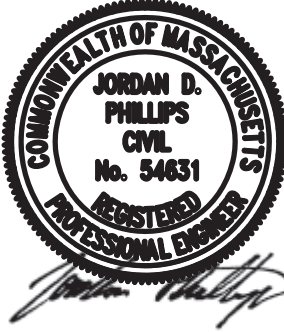
ZONING DRAWINGS

PREPARED BY:

A&E OFFICE:  
300 APOLLO DRIVE , 2ND FLOOR  
CHELMSFORD, MA 01824

APPLICANT:

CELLCO PARTNERSHIP  
d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581



Digitally signed by Jordan D Phillips PE  
DN: cn=Jordan D Phillips, o=Nexus Solutions, Inc., ou=Engineering, cn=Jordan D Phillips PE  
Location: Silver Lake, MI  
Reason: I am the author of this document  
Contact Info: (248) 769-3642  
Date: 2021.05.26 16:13:12-0400

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DRAWING SCALES ARE INTENDED FOR 24"x36" SIZE PRINTED MEDIA ONLY. ALL OTHER PRINTED SIZES ARE DEEMED "NOT TO SCALE".

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
0	03/19/20	PRELIMINARY ZONING DRAWINGS	MLB
1	10/20/20	REVISED ZONING	JM
2	11/10/20	REVISED ZONING	JM
3	01/08/21	REVISED ZONING	JM
4	02/22/21	REVISED ZONING	JM
5	05/13/21	REVISED ZONING	AA
6	05/26/21	REVISED TOWER	JM

SITE INFO:

SITE NAME:  
**PEMBROKE\_5\_MA**

LOCATION CODE:  
**430514**

SITE ADDRESS:  
**85 WASHINGTON ROAD  
PEMBROKE, MA 02359  
PLYMOUTH COUNTY**

SHEET TITLE:	
TITLE SHEET	
NEXIUS PROJ. NO: <b>VZ11509</b>	SHEET NUMBER:  <b>T-1</b>
CHECKED BY: JP	
CHECKED BY DATE: 05/26/21	

GENERAL NOTES AND APPLICABLE CODES

1. THIS IS AN UNMANNED TELECOMMUNICATION FACILITY AND NOT FOR HUMAN HABITATION.
- 1.1. HANDICAPPED ACCESS IS NOT REQUIRED.
- 1.2. POTABLE WATER OR SANITARY SERVICE IS NOT REQUIRED.
- 1.3. NO OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES REQUIRED.
2. CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT/ENGINEER PLACES THE RESPONSIBILITY ON THE CONTRACTOR TO CORRECT THE DISCREPANCIES AT THE CONTRACTOR'S EXPENSE.
3. DEVELOPMENT AND USE OF THE SITE WILL CONFORM TO ALL APPLICABLE CODES, ORDINANCES AND SPECIFICATIONS.
- 3.1 BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE 780 CMR 9TH EDITION W/ AMENDMENTS TO THE INTERNATIONAL BUILDING CODE (IBC 2015)
- 3.2 ELECTRICAL CODE: NATIONAL ELECTRIC CODE 2017
- SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS.
- 3.4 AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- 3.5 AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION.
- 3.6 TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA)
- 3.6.1 TIA 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA SUPPORTING STRUCTURES AND ANTENNAS WITH ADDENDUM.
- 3.6.2 TIA 607, GENERIC TELECOMMUNICATIONS BONDING AND GROUNDING (EARTHING) FOR CUSTOMER PREMISES.
- 3.7 INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE)
- 3.7.1 IEEE 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUNDING SYSTEM.
- 3.7.2 IEEE 1100 (2005) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT.
- 3.7.3 IEEE C62.41.1, RECOMMENDED PRACTICES ON CHARACTERIZATION OF SURGES IN LOW VOLTAGE (1000V OR LESS) AC POWER CIRCUITS.
- 3.8 TELCORDIA, GR-1275, GENERAL INSTALLATION REQUIREMENTS.
- 3.9 TELCORDIA, GR-1503, COAXIAL CONNECTORS.
- 3.10 ANSI T1.311, TELECOMMUNICATIONS – DC POWER SYSTEMS – TELECOMMUNICATIONS ENVIRONMENT PROTECTION.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

SHEET INDEX

SHEET NUMBER	SHEET DESCRIPTION
T-1	TITLE SHEET
C-1	ABUTTERS PLAN & EXISTING CONDITIONS
C-2	TREE SURVEY
Z-1	OVERALL SITE PLAN
Z-2	ENLARGED SITE & GRADING PLAN
Z-3	TOWER ELEVATION & DETAILS
Z-4	DETAILS
ES-1	SOIL EROSION & SEDIMENTATION CONTROL PLAN & NOTES
ES-2	SOIL EROSION & SEDIMENTATION CONTROL DETAILS & NOTES

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

LEASING/SITE ACQUISITION: \_\_\_\_\_ DATE: \_\_\_\_\_

LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

VZW CM: \_\_\_\_\_ DATE: \_\_\_\_\_

VZW RF: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE INFORMATION

SITE NAME: PEMBROKE\_5\_MA

LOCATION CODE: 430514

SITE ADDRESS: 85 WASHINGTON ROAD  
PEMBROKE, MA 02359

COUNTY: PLYMOUTH COUNTY

LATITUDE: 42° 06' 11.79" N (NAD83)

LONGITUDE: 70° 48' 14.99" W (NAD83)

GROUND LEVEL: 74' A.M.S.L. (NAVD88)

PROPERTY OWNER: CIRCLE PEMBROKE RETAIL  
19 CRAIG ROAD  
ACTON, MA 01720

PARCEL ID: D14-38

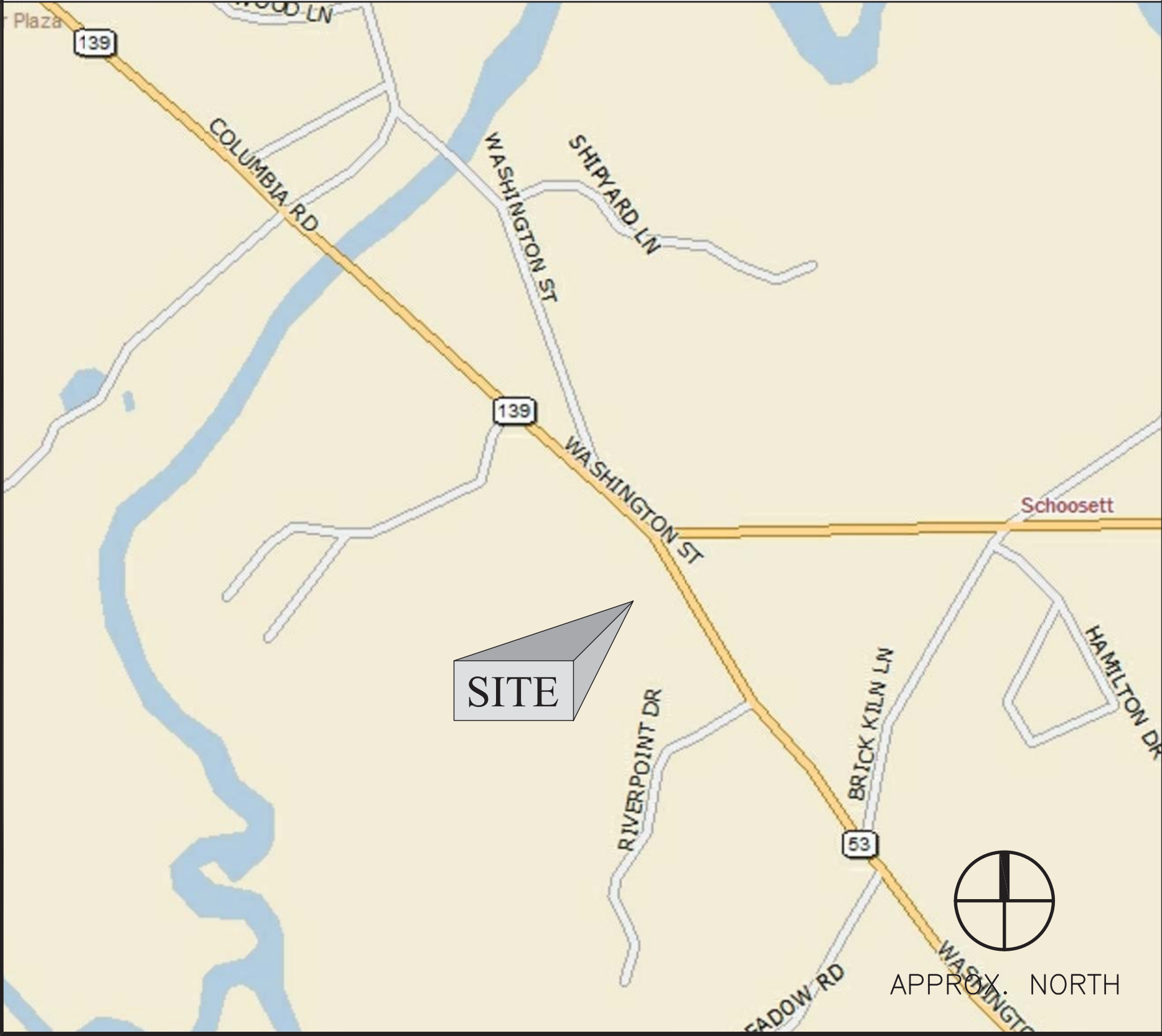
STRUCTURE TYPE: PROPOSED CONCEALMENT TOWER

STRUCTURE HEIGHT: 110'-0"± A.G.L.

HIGHEST APPURTENANCE: 114'-0"± A.G.L.  
(4' LIGHTNING ROD)

VZW TOWER EQUIPMENT C.L.: 107'-0"± & 97'-0"± A.G.L.

VICINITY MAP SCALE: 1"=500'





**ZONING INFORMATION**

ZONE: RESIDENCE A  
SINGLE FAMILY DIMENSIONAL REQUIREMENTS:  
MINIMUM AREA: 40,000 S.F.  
MINIMUM FRONTAGE: 150'  
MINIMUM FONT SETBACK: 40'/55'  
MINIMUM SIDE SETBACK: 25'  
MINIMUM REAR SETBACK: 25'

ZONE: BUSINESS B  
SINGLE FAMILY DIMENSIONAL REQUIREMENTS:  
MINIMUM AREA: 40,000 S.F.  
MINIMUM FRONTAGE: 150'  
MINIMUM FONT SETBACK: 40'  
MINIMUM SIDE SETBACK: 25'  
MINIMUM REAR SETBACK: 20'  
MAXIMUM BUILDING COVERAGE: 35%  
MAXIMUM IMPERVIOUS SURFACE: 60%

EXISTING BUILDING COVERAGE: 9.5%  
EXISTING IMPERVIOUS SURFACE: 24.3%  
EXISTING OPEN SPACE: 55.2%

**PROPOSED CENTER OF TOWER**  
LAT: 42°08'11.79"  
LON: 70°48'14.99"  
N: 2863429.11  
E: 844994.09  
GROUND EL: 74' ±

**LOCUS D14-38 N/F**  
CIRCLE PEMBROKE RETAIL  
19 CRAIG ROAD  
ACTON, MA 01720  
AREA = 1.90 AC. ±

**D14-86 N/F**  
SWAN LLC  
75 WASHINGTON STREET SUITE 100  
PEMBROKE, MA 02359

**D14-83 N/F**  
WASHINGTON STREET PEMBROKE LLC  
96 MAIN STREET  
BRIDGEWATER, MA 02324

**D14-84 N/F**  
WASHINGTON STREET PEMBROKE LLC  
96 MAIN STREET  
BRIDGEWATER, MA 02324

**D14-13 N/F**  
TOWN OF PEMBROKE  
100 CENTER STREET  
PEMBROKE, MA 02359

**D14-37 N/F**  
CRK, LLC  
95 WASHINGTON STREET  
PEMBROKE, MA 02359

**D14-36 N/F**  
ALBERONE S. FURTADO  
101 WASHINGTON STREET  
PEMBROKE, MA 02359

**D14-89 N/F**  
NINETY-NINE WASHINGTON STREET  
REALTY TRUST  
288 GROVE STREET STE 128  
BRAINTREE, MA 02184

**C14-3 N/F**  
WILDLANDS TRUST INC.  
675 LONG POND ROAD  
PLYMOUTH, MA 02360

**C14-3 N/F**  
WILDLANDS TRUST INC.  
675 LONG POND ROAD  
PLYMOUTH, MA 02360

**PLANNING BOARD**  
PEMBROKE, MASSACHUSETTS

DATE:

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE

DATE:

40' 0' 40' 80'

1"=200'

LOCUS MAP

EXISTING BUILDING COVERAGE: 9.5%  
EXISTING IMPERVIOUS SURFACE: 24.3%  
EXISTING OPEN SPACE: 55.2%

D14-130  
N/F  
LUCY REALTY TRUST  
PO BOX 633  
PEMBROKE, MA 02359

PLANNING BOARD  
PEMBROKE, MASSACHUSETTS

DATE: \_\_\_\_\_

THIS SITE PLAN APPROVAL DOES NOT  
NECESSARILY INDICATE COMPLIANCE WITH  
THE PEMBROKE ZONING BY-LAW

I, TOWN CLERK OF THE TOWN OF  
PEMBROKE, MA HEREBY CERTIFY THAT  
THE NOTICE OF APPROVAL OF THIS PLAN  
BY THE PLANNING BOARD HAS BEEN  
RECEIVED AND RECORDED AT THIS  
OFFICE AND NO APPEAL WAS RECEIVED  
DURING THE NEXT TWENTY DAYS AFTER  
RECEIPT AND RECORDING OF SAID  
NOTICE

DATE: \_\_\_\_\_

C14-3  
N/F  
WILDLANDS TRUST INC.  
675 LONG POND ROAD  
PLYMOUTH, MA 02360

HISTORIC SITE  
FRIENDS QUAKER MEETING HOUSE  
(1706)

D14-2  
N/F  
PEMBROKE HISTORICAL SOCIETY  
P.O. BOX 122  
PEMBROKE, MA 02359

SCHOOSSETT STREET

D14-83  
N/F  
WASHINGTON STREET PEMBROKE LLC  
96 MAIN STREET  
BRIDGEWATER,MA 02324

D14-84  
N/F  
WASHINGTON STREET PEMBROKE LLC  
96 MAIN STREET  
BRIDGEWATER, MA 02324

WASHINGTON STREET PEMBROKE LLC  
96 MAIN STREET  
BRIDGEWATER, MA 02324

D14-13  
N/F  
TOWN OF PEMBROKE  
100 CENTER STREET  
PEMBROKE, MA 02359

D14-36  
N/F  
ONE S. FURTADO  
WASHINGTON STREET  
ROKE, MA 02359

D14-89  
N/F  
NINETY-NINE WASHINGTON STREET  
REALTY TRUST  
288 GROVE STREET STE 128  
BRAINTREE, MA 02184

ZONE: BUSINESS B  
& HISTORIC OVERLAY  
ZONE: BUSINESS B

C14-3  
N/F  
WILDLANDS TRUST INC.  
675 LONG POND ROAD  
PLYMOUTH, MA 02360

PROPOSED CENTER  
OF TOWER  
LAT: 42°06'11.79"  
LON: 70°48'14.99"  
N: 2863429.11  
E: 844994.09  
GROUND EL: 74'±

LOCUS  
D14-38  
N/F  
CIRCLE PEMBROKE RET  
19 CRAIG ROAD  
ACTON, MA 01720

CONTROL POINT  
-IRON ROD SET  
N: 2863519.79  
E: 845018.60

NO EVIDENCE  
OF CESSPOOL  
FOUND,  
LOCATION PER  
RECORD

D14-86  
N/F  
SWAN LLC  
5 WASHINGTON STREET SUITE 100  
PEMBROKE, MA 02359

WASHINGTON STREET

EDGE OF TRAVEL

VARIABLE WIDTH LAYOUT

42' WIDE PAVEMENT

ONW

EDGE OF TRAVEL

S35°

7,890 S.F. ±  
W/F  
BUILDING

N/F	NOW OR FORMERLY
D14—38	ASSESSOR'S ID
○	TOWER CONTROL POINT
△	CALCULATED POINT
○	CAPPED IRON ROD FOUND
▣	GRANITE BOUND FOUND
⊕	RAILROAD SPIKE FOUND
⚙️	WATER / GAS GATE VALVE
+	GUY WIRE ANCHOR
⌚	UTILITY POLE
⬮	BORING
●	BOLLARD
▣	CATCH BASIN
_____	LOCUS PROPERTY LINE
_____	ABUTTERS PROPERTY LINE (±)
_____ OHW _____	OVERHEAD WIRES
_____ G _____	BURIED GAS LINE
=====	STONEWALL
_____	ZONING LINE
_____	CONTOUR LINE
~~~~~	TREELINE

1. FIELD SURVEY DATE: 2-19-2020

2. HORIZONTAL DATUM: NORTH AMERICAN DATUM  
OF 1983 (NAD83)

3. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM  
OF 1988 (NAVD88)

4. OWNER: CIRCLE PEMBROKE RETAIL LLC  
19 CRAIG ROAD  
ACTON, MA 01720

5. SITE NAME: PEMBROKE\_5\_MA

6. SITE ADDRESS 85 WASHINGTON STREET  
PEMBROKE, MA 02359

7. APPLICANT: CELCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581

8. JURISDICTION: TOWN OF PEMBROKE  
PLYMOUTH COUNTY

9. TAX ID: D14-38

10. DEED REFERENCE: BOOK 35997 PAGE 184

11. PLAN REFERENCE: PLAN BOOK 43 PAGE 42

12. ZONING DISTRICT: HISTORIC/BUSINESS B

13. THE HORIZONTAL DATUM AND VERTICAL DATUM WERE  
DERIVED FROM AN RTK GPS SURVEY.

14. ALL UNDERGROUND UTILITY INFORMATION PRESENTED  
HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND  
PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD  
BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF  
ALL SITE WORK. CALL DIGSAFE 1-800-322-4844 A  
MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.

15. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT  
AGENCY MAPS, THE PROPOSED IMPROVEMENTS ON THIS  
PROPERTY ARE LOCATED IN AN AREA DESIGNATED AS ZONE  
X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE  
0.2% ANNUAL CHANCE FLOODPLAIN.  
COMMUNITY PANEL NO. 25023C0206J  
EFFECTIVE DATE: 07-17-2012

16. FIELD SURVEY BY EDM TOTAL STATION.

**17. THIS IS NOT A BOUNDARY SURVEY.**

18. ALL PROPERTY LINES SHOWN ARE FROM DEEDS AND  
PLANS OF RECORD AND GIS DATA AND ARE APPROXIMATE  
ONLY.

19. BUILDING COVERAGE: 9.5% IMPERVIOUS SURFACE: 16%  
OPEN SPACE: 55.6%.

**nexus**

TRANSFORM YOUR BUSINESS...THROUGH WIRELESS

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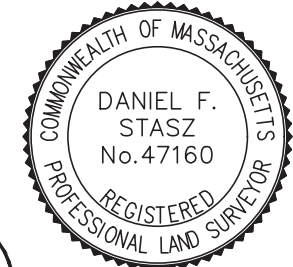
A&E OFFICE:  
300 APOLLO DRIVE, SUITE 7  
CHELMSFORD, MA 01824  
1 (978) 923-7965




CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581

I HEREBY CERTIFY TO THE BEST OF MY  
PROFESSIONAL KNOWLEDGE, INFORMATION AND  
BELIEF THAT:

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO MY KNOWLEDGE, BELIEF AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS;



  
DANIEL F. STASZ PLS #47160

REV	DATE	DESCRIPTION	BY
1	02/24/2020	SUBMITTED FOR REVIEW	JD
2	10/5/2020	SITE PLAN REQ'S	JD
3	1/8/2021	SITE PLAN REQ'S	JD
4	2/2/2021	TREE SURVEY	JD

SITE NAME:  
PEMBROKE\_5\_MA  
LOCATION CODE:

SITE ADDRESS:  
85 WASHINGTON STREET  
PEMBROKE, MA 02359

NEXIUS PROJ. NO: 20161495803	SHEET NUMBER:
---------------------------------	---------------

CHECKED BY:  
BCF

CHECKED BY DATE:  
2/2/2021

C-1





LEGEND:

N/F	NOW OR FORMERLY
D14-38	ASSESSOR'S ID
⊙	TOWER CONTROL POINT
⊗	DECIDUOUS TREE
●	CONIFEROUS TREE
—	LOCUS PROPERTY LINE
- - -	ABUTTERS PROPERTY LINE (±)
- - - - -	CONTOUR LINE
~~~~~	TREELINE

PREPARED BY:

**nexus**

TRANSFORM YOUR BUSINESS...THROUGH WIRELESS

A&E OFFICE:  
300 APOLLO DRIVE, SUITE 7  
CHELMSFORD, MA 01824  
1 (978) 923-7965


APPLICANT:


**verizon**

CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT:

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO MY KNOWLEDGE, BELIEF AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS;



  
DANIEL F. STASZ PLS #47160

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1	02/24/2020	SUBMITTED FOR REVIEW	JDG
2	10/5/2020	SITE PLAN REQ'S	JDG
3	1/8/2021	SITE PLAN REQ'S	JDG
4	2/2/2021	TREE SURVEY	JDG

SITE INFO:

SITE NAME:  
**PEMBROKE\_5\_MA**

LOCATION CODE:

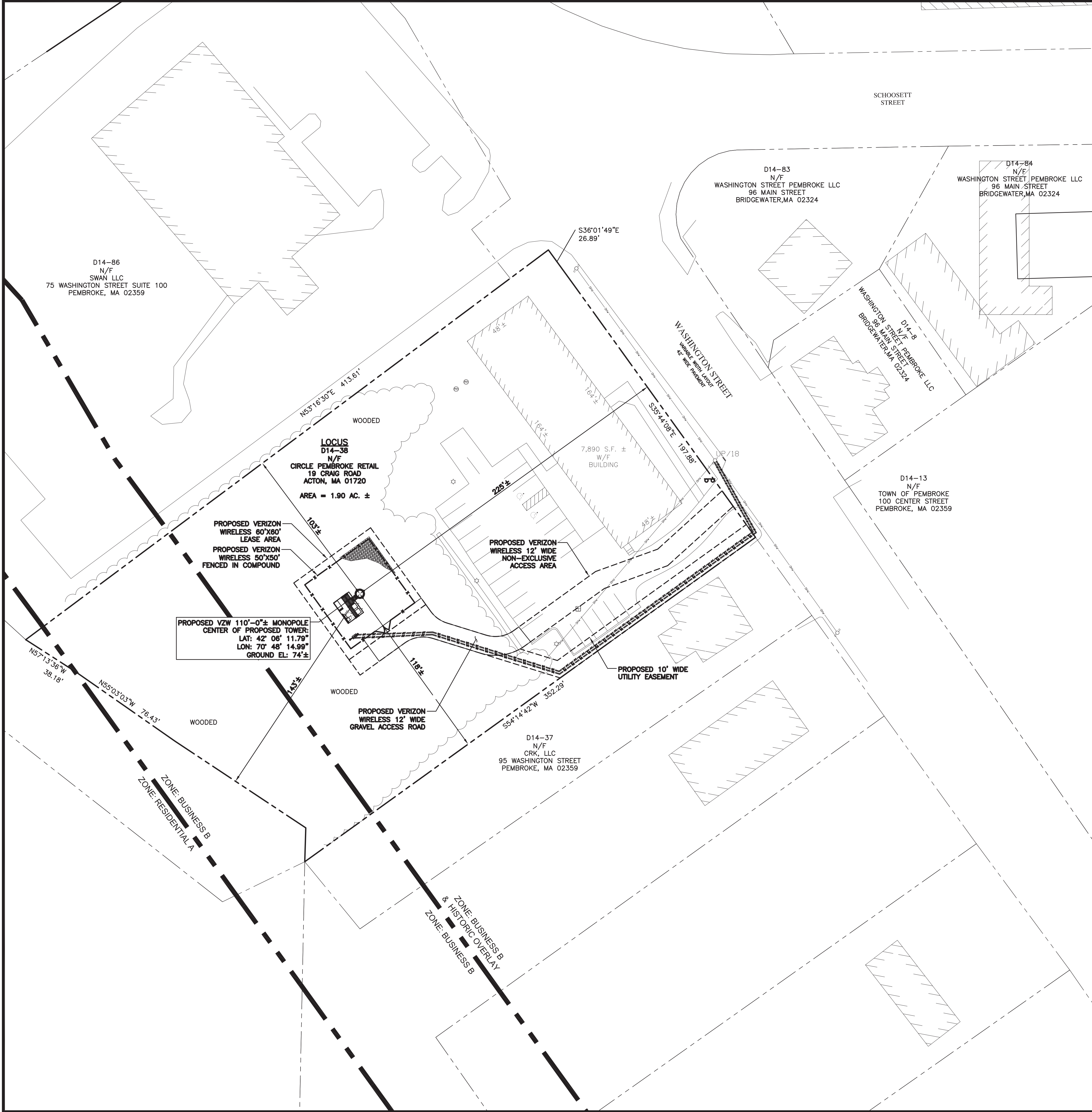
SITE ADDRESS:  
85 WASHINGTON STREET  
PEMBROKE, MA 02359

SHEET TITLE:

**TREE SURVEY**

NEXIUS PROJ. NO: 20161495803	SHEET NUMBER:  <b>C-2</b>
CHECKED BY: BCF	
CHECKED BY DATE: 2/2/2021	





PREPARED BY:

nexus

A&E OFFICE:  
300 APOLLO DRIVE , 2ND FLOOR  
CHELMSFORD, MA 01824

APPLICANT:

verizon

CELLCO PARTNERSHIP  
d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581

APPROX. NORTH

1

OVERALL SITE PLAN

SCALE: 1" = 30'

GRAPHIC SCALE: 1:30 (IN FEET)

ZONING INFORMATION

APPLICANT:  
CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, THIRD FLOOR  
WESTBOROUGH, MA 01581

PROPERTY OWNER:  
CIRCLE PEMBROKE RETAIL  
19 CRAIG ROAD  
ACTON, MA 01720

PARCEL ID: D14-38

BUSINESS B & HISTORIC OVERLAY

<u>DIMENSIONAL REQUIREMENTS</u>	<u>REQUIRED</u>	<u>PROPOSED±</u>
FRONT YARD SETBACK:	40'	225'±
REAR YARD SETBACK:	40'	143'±
SIDE YARD SETBACK:	25'	103'±

NOTES:  
1. BASE MAP WAS DEVELOPED FROM A SURVEY PREPARED BY NORTHEAST SURVEY CONSULTANTS PC DATED 02/02/21, SIGNED BY DAN F. STASZ, PROFESSIONAL LAND SURVEYOR LICENSE NUMBER 47160.  
2. ALL SETBACKS SHOWN ARE FROM CENTER OF THE PROPOSED TOWER TO THE NEAREST PROPERTY LINE.

SUBMITTALS

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0	03/19/20	PRELIMINARY ZONING DRAWINGS	MLB
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OVERALL SITE PLAN

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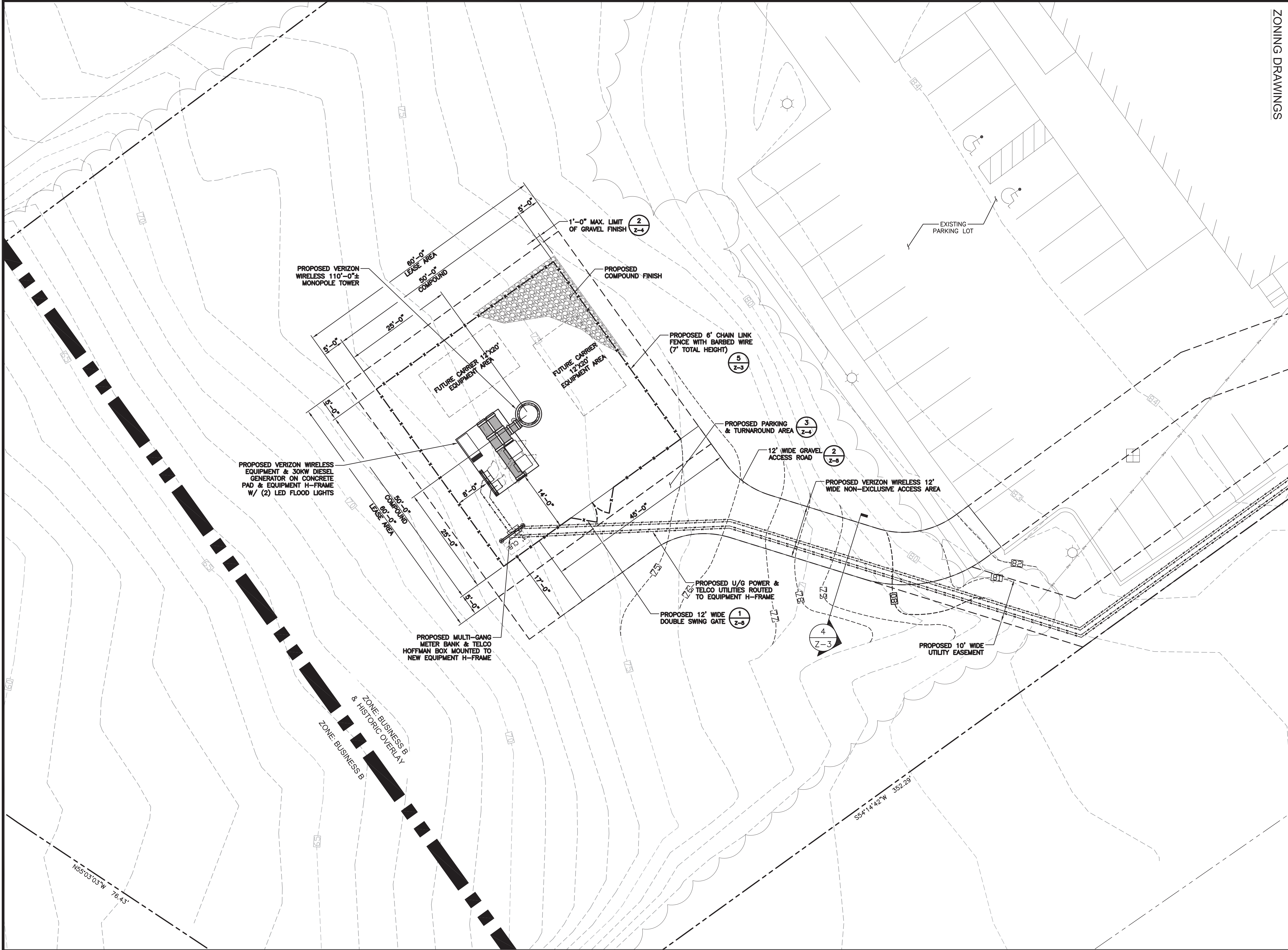
CHECKED BY:  
JP

CHECKED BY DATE:  
05/26/21

SHEET NUMBER:

Z-1





ZONING DRAWINGS

PREPARED BY:

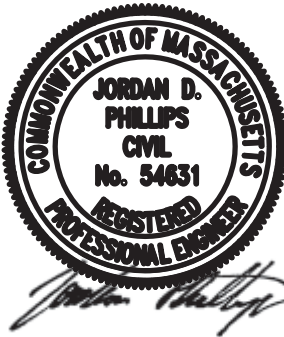
n e x i u s

A&E OFFICE:  
300 APOLLO DRIVE , 2ND FLOOR  
CHELMSFORD, MA 01824

APPLICANT:

verizon

CELLCO PARTNERSHIP  
d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
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SITE NAME:  
**PEMBROKE\_5\_MA**

LOCATION CODE:  
**430514**

SITE ADDRESS:  
**85 WASHINGTON ROAD  
PEMBROKE, MA 02359  
PLYMOUTH COUNTY**

SHEET TITLE:

**ENLARGED SITE & GRADING PLAN**

NEXIUS PROJ. NO:  
**VZ11509**

CHECKED BY:  
JP

CHECKED BY DATE:  
05/26/21

SHEET NUMBER:

**Z-2**



APPROX. NORTH

1

**ENLARGED SITE & GRADING PLAN**

SCALE: 1" = 10'



GRAPHIC SCALE: 1:10 (IN FEET)

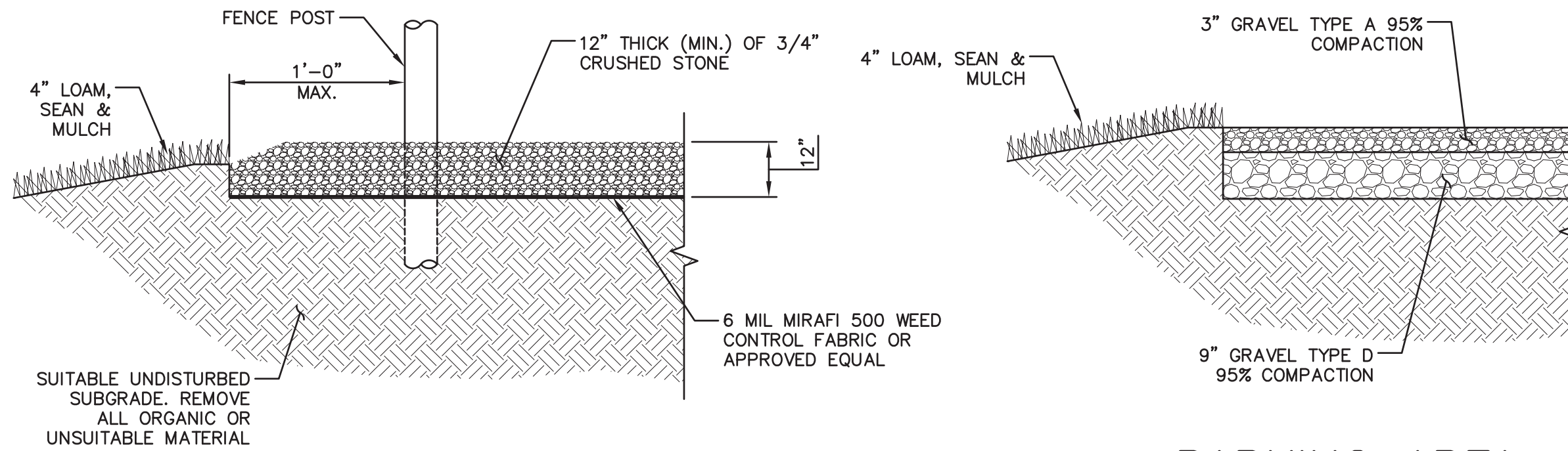


PROPOSED MONOPOLE:

1. NO FAA OBSTRUCTION LIGHTING IS PROPOSED UNLESS IT IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION OR LOCAL MUNICIPALITY.
2. ALL REFERENCES TO THE TOWER AND ITS FOUNDATION ARE TO BE DIRECTED TO THE DESIGN DETAIL DRAWINGS BY THE TOWER SUPPLIER.
3. THERE SHALL BE NO PERMANENT CLIMBING PEGS ON THE TOWER.
4. PROPOSED ANTENNAS SHALL BE INSTALLED IN ACCORDANCE WITH THE SITE SPECIFIC RF ANTENNA DESIGN SHEET SUPPLIED BY THE RF SYSTEMS DESIGN ENGINEER AND IN ACCORDANCE WITH SITE PLAN REVIEW APPROVAL.

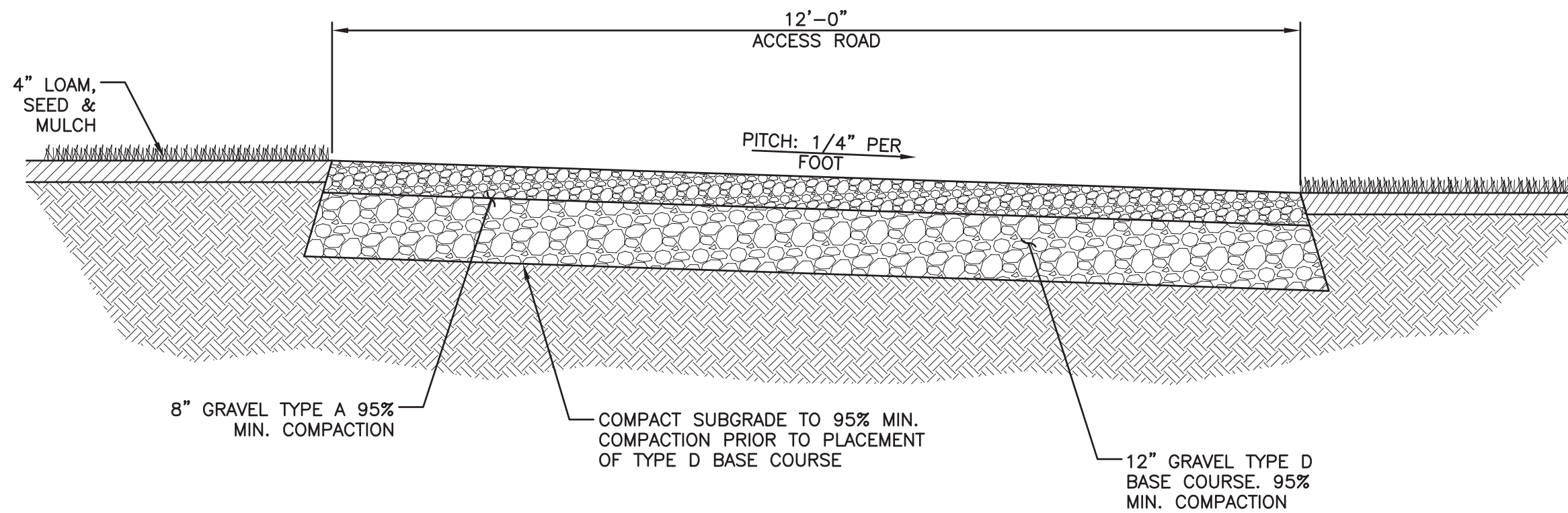
FOR TOWER FOUNDATION & TOWER  
STRUCTURAL STEEL DESIGN:  
(4) TOTAL COLOCATION CENTERLINES WITH  
(3) ANTENNAS EACH.

NOTE:  
WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELED AREA WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

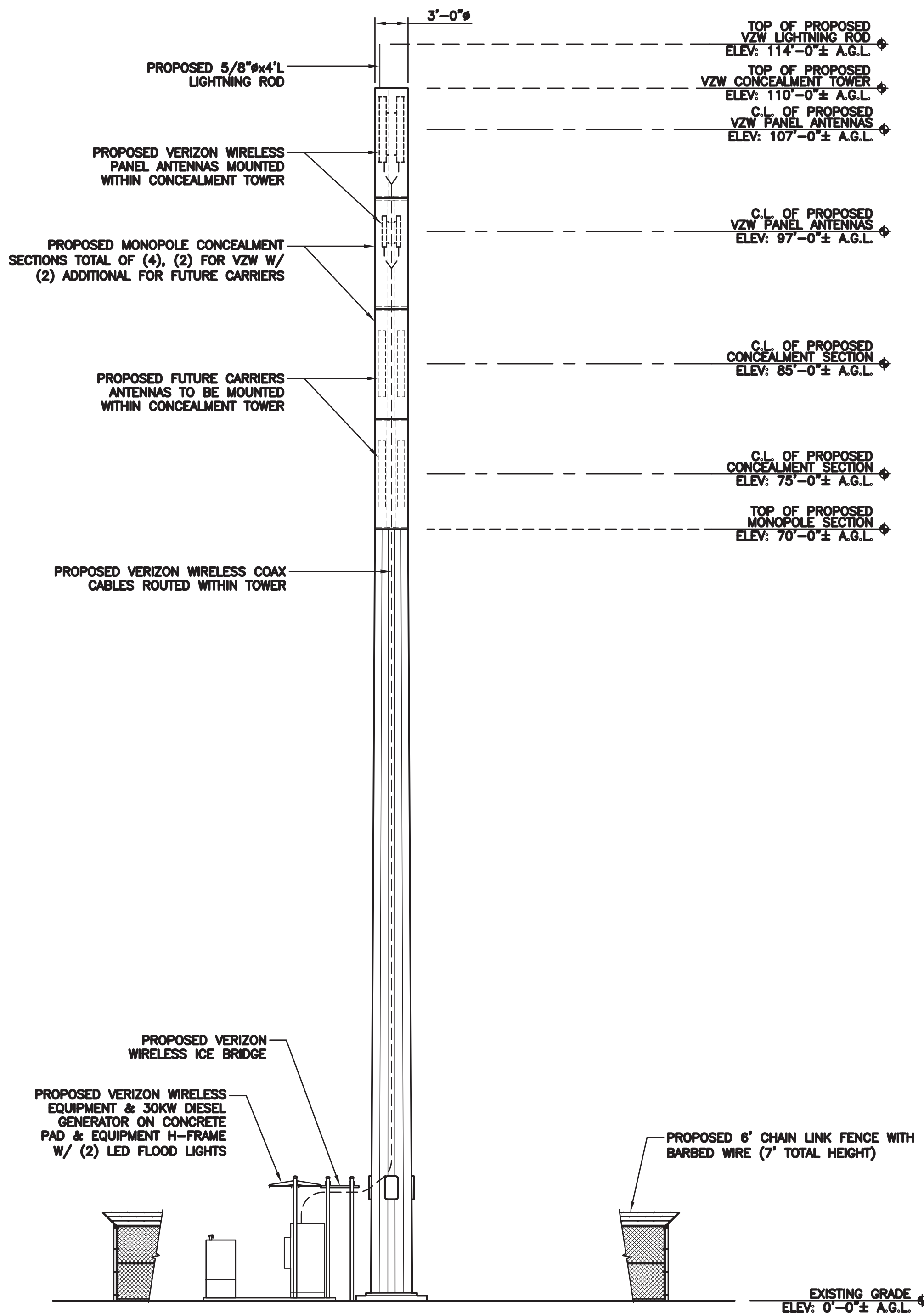


3 PARKING AREA  
FINISH DETAIL  
SCALE: N.T.S.

2 COMPOUND FINISH DETAIL  
SCALE: N.T.S.

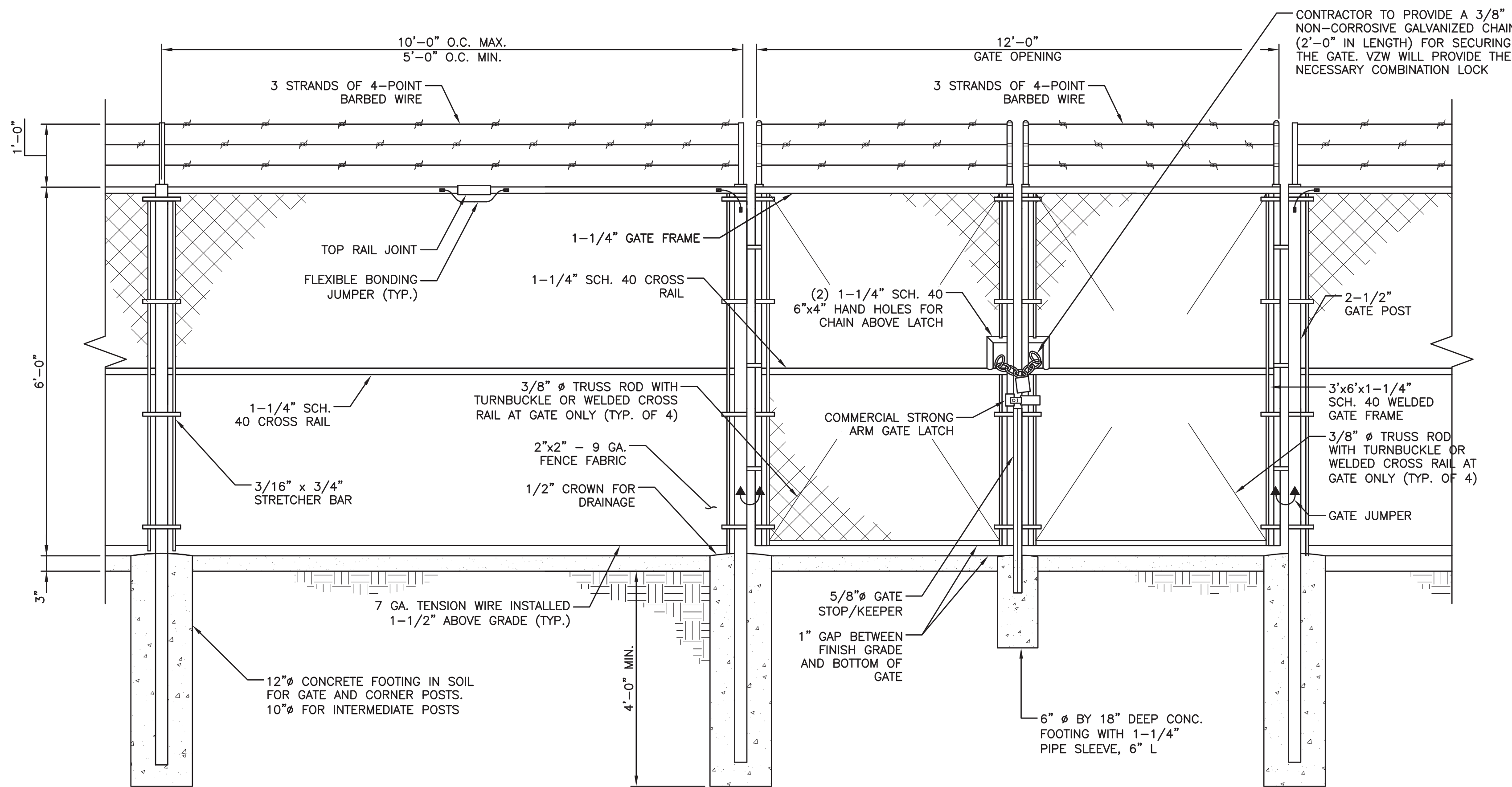


4 ACCESS ROAD DETAIL  
SCALE: N.T.S.



1 TOWER ELEVATION  
SCALE: 1/8" = 1'-0"

GRAPHIC SCALE: 1/8"=1'-0"



5 FENCE DETAIL  
SCALE: N.T.S.

ZONING DRAWINGS

PREPARED BY:

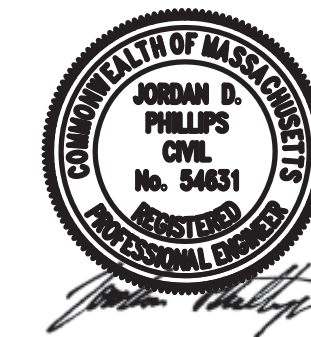
nexus

A&E OFFICE:  
300 APOLLO DRIVE, 2ND FLOOR  
CHELMSFORD, MA 01824

APPLICANT:

verizon

CELLCO PARTNERSHIP  
d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
WESTBOROUGH, MA 01581



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4	02/22/21	REVISED ZONING	JM
5	05/13/21	REVISED ZONING	AA
6	05/26/21	REVISED TOWER	JM

SITE INFO:

SITE NAME:

PEMBROKE\_5\_MA

LOCATION CODE:

430514

SITE ADDRESS:

85 WASHINGTON ROAD  
PEMBROKE, MA 02359  
PLYMOUTH COUNTY

SHEET TITLE:

COMPOUND ELEVATION  
& DETAILS

NEXIUS PROJ. NO:

VZ11509

CHECKED BY:

JP

CHECKED BY DATE:

05/26/21

SHEET NUMBER:

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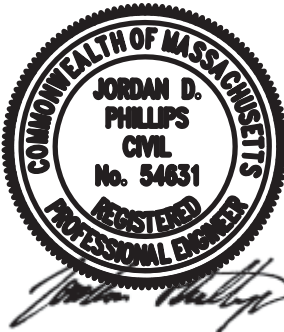
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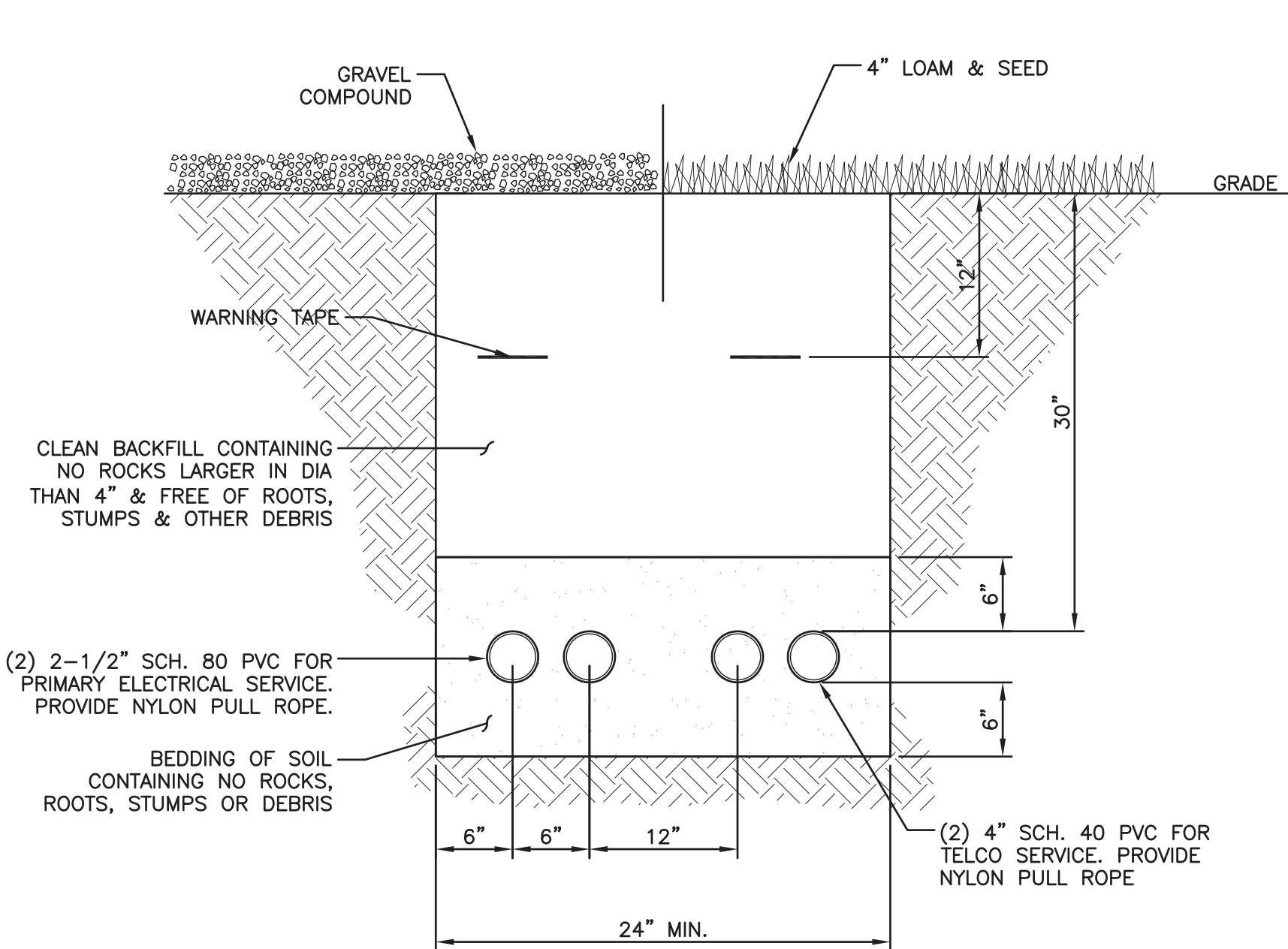
CHECKED BY DATE:

05/26/21

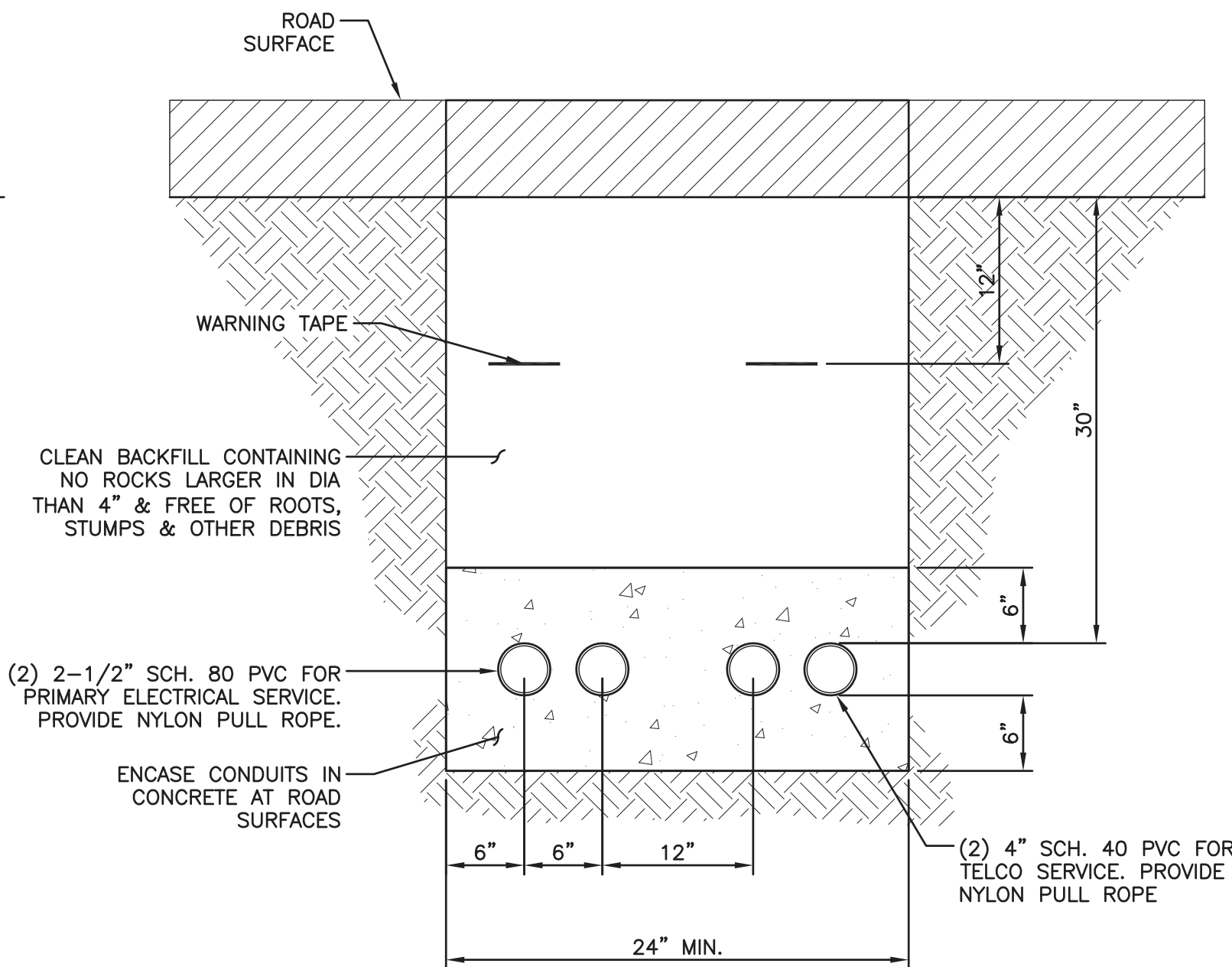
SHEET NUMBER:

Z-4

ZONING DRAWINGS



1 CONDUIT BURIAL DETAIL  
SCALE: N.T.S.



2 CONDUIT BURIAL  
DETAIL BELOW ROAD  
SCALE: N.T.S.



**SITE EROSION/STABILIZATION MAINTENANCE:** THE CONTRACTOR SHALL INSPECT THE AREAS ROUTINELY AND ESPECIALLY AFTER RAIN EVENTS AND SHALL REPAIR THE SEDIMENTATION CONTROLS, AS NECESSARY. THE CONTRACTOR SHALL MAINTAIN THE TEMPORARY AND PERMANENT SITE EROSION AND STABILIZATION CONTROLS UNTIL FINAL ACCEPTANCE OF THE WORK. MAINTENANCE SHALL INCLUDE PROVIDING PROTECTION AGAINST SITE TRAFFIC AND REPAIRING DAMAGES TO CONTROLS RESULTING FROM RAIN, WIND, OR OTHER EVENTS. DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH SOIL CONDITIONS AND GRADES AND SHALL INCLUDE RE-ESTABLISHING THE TEMPORARY OR PERMANENT FERTILIZING, LIMING, SEEDING, MULCHING CONDITIONS OBTAINED PRIOR TO THE DAM AGES.

**TEMPORARY MEASURES FOR EROSION CONTROL:** THESE TEMPORARY MEASURES WILL PROTECT THE AREA UNTIL MORE PERMANENT SITE STABILIZATION MEASURES ARE ESTABLISHED. THE FOLLOWING MEASURES SHALL BE USED FOR TEMPORARY SITE STABILIZATION. REFER TO THE STATES EROSION AND SEDIMENT CONTROL BMP ES-1 AND ES-2 FOR ADDITIONAL INFORMATION ON TEMPORARY MEASURES FOR EROSION CONTROL.

**TEMPORARY SEEDING:** GRADE AND PREPARE AREA AS NEEDED TO PROVIDE FOR SEEDING. APPLY 10-10-10 FERTILIZER AT THE RATE OF 13.8#/1000FT2, APPLY LIMESTONE AT THE RATE OF 138#/1000FT2, APPLY WINTER RYE AT THE RATE OF 2-1/2 #1000FT2. NOTE - SEEDING RATE MUST BE INCREASED BY 103 WHEN HYDRO-SEEDING. AFTER SEEDING, APPLY TEMPORARY HAY OR STRAW MULCHING AS FOLLOWS:

**TEMPORARY MULCHING:** APPLY HAY OR STRAW MULCHING OVER THE EXPOSED AREA AT THE RATE OF 2 BALES/1000FT2 TO COVER 75 TO 903 OF THE GROUND SURFACE. SECURE MULCH BY TRACKING, NETTING, OR PEG AND TWINE, AS NECESSARY, TO PREVENT LOSS OF COVER OVER EXPOSED AREA.

**PERMANENT MEASURES FOR EROSION CONTROL:** FOR DISTURBED AREAS WITH SLOPES GREATER THAN 2:1, EROSION CONTROLS AND AREA STABILIZATION SHALL BE PROVIDED AS SHOWN BY THE SITE PLAN.

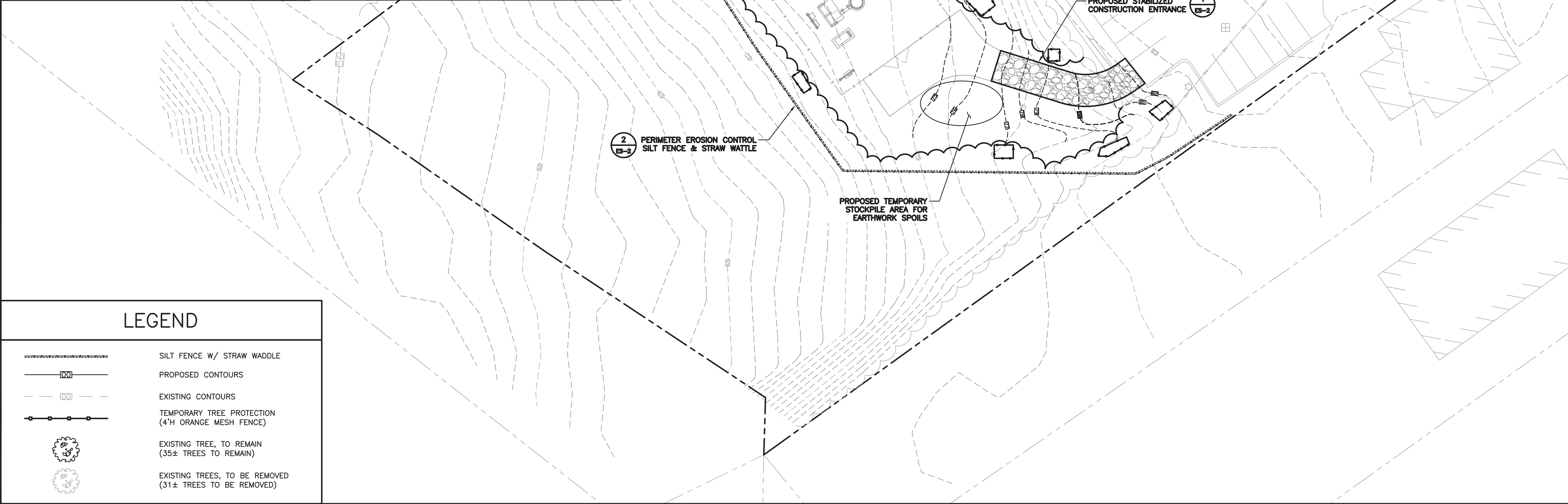
**PERMANENT SEEDING:** PROVIDE PERMANENT SEEDING AS EACH CONSTRUCTION AREA IS BROUGHT TO FINISH GRADE. PREPARE AREA AS NEEDED TO PROVIDE FOR SEEDING. APPLY 10-20-20 FERTILIZER AT THE RATE OF 18.4#/1000FT2, APPLY LIMESTONE AT THE RATE OF 138#/1000FT2, APPLY A MIXTURE OF KEN TUCK Y BLUEGRASS (453), CREEPING RED FESCUE (453), AND PERENNIAL RYEGRASS (10%) AT THE RATE OF 1#/1000FT2. NOTE - SEEDING RATE MUST BE

INCREASED BY 10% WHEN HYDRO-SEEDING. AFTER SEEDING, APPLY TEMPORARY HAY OR STRAW MULCHING.

**TEMPORARY MULCHING:** APPLY HAY OR STRAW MULCHING OVER THE EXPOSED AREA AT THE RATE OF 2 BALES/1000FT2 TO COVER 75 TO 90% OF THE GROUND SURFACE. SECURE MULCH BY TRACKING, NETTING, OR PEG AND TWINE, AS NECESSARY, TO PREVENT LOSS OF COVER OVER EXPOSED AREA.

**CONSTRUCTION SCHEDULE**

- (IN FOLLOWING SEQUENCE, COORDINATE WITH OTHER CONSTRUCTION ACTIVITIES, MAINTAIN CONTINUOUSLY)
1. ALL SOIL AND EROSION CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THE PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
  2. FLAG WORK LIMITS & MARK PROTECTED TREES.
  3. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  4. CLEARING AND GRUBBING.
  5. STRIP AND STOCKPILE TOPSOIL. PROTECT WITH FILTER FABRIC.
  6. ROUGH GRADING INCLUDING SWALES. INSTALL CHECK DAMS IN SWALES AS CONSTRUCTION PROGRESSES CONSTRUCT ACCESS ROAD.
  7. EXCAVATE FOR ELECTRIC AND TELEPHONE, INSTALL CONDUIT AND IMMEDIATELY BACKFILL TRENCH.
  8. EXCAVATE FOR TOWER AND EQUIPMENT BUILDING FOUNDATIONS WITH EXCAVATED MATERIALS STOCKPILED FOR FUTURE FINAL GRADING. ERECT TOWER AND EQUIPMENT SHELTER. ESTABLISH STONE YARD. INSTALL FENCE, AND ROUGH GRADE.
  9. REPLACE TOPSOIL ON DISTURBED AREAS TO BE SEEDED. FINE GRADE AND LIME, FERTILIZE, SEED AND MULCH AREA.
  10. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS REMAINING AFTER 70% UNIFORM VEGETATIVE COVER STABILIZATION IS ACHIEVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY.



LEGEND

SILT FENCE W/ STRAW WADDLE

PROPOSED CONTOURS

EXISTING CONTOURS

TEMPORARY TREE PROTECTION  
(4'H ORANGE MESH FENCE)

EXISTING TREE, TO REMAIN  
(35± TREES TO REMAIN)

EXISTING TREES, TO BE REMOVED  
(31± TREES TO BE REMOVED)



1

SOIL EROSION & SEDIMENTATION CONTROL PLAN

SCALE: 1" = 20'



ZONING DRAWINGS

PREPARED BY:

A&E OFFICE:  
300 APOLLO DRIVE , 2ND FLOOR  
CHELMSFORD, MA 01824

APPLICANT:

CELLCO PARTNERSHIP  
d/b/a VERIZON WIRELESS  
118 FLANDERS ROAD, 3RD FLOOR  
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6	05/26/21	REVISED TOWER	JM

SITE INFO:

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PEMBROKE\_5\_MA

LOCATION CODE:  
430514

SITE ADDRESS:  
85 WASHINGTON ROAD  
PEMBROKE, MA 02359  
PLYMOUTH COUNTY

SHEET TITLE:

SOIL EROSION & SEDIMENTATION CONTROL PLAN & NOTES

NEXIUS PROJ. NO:  
VZ11509

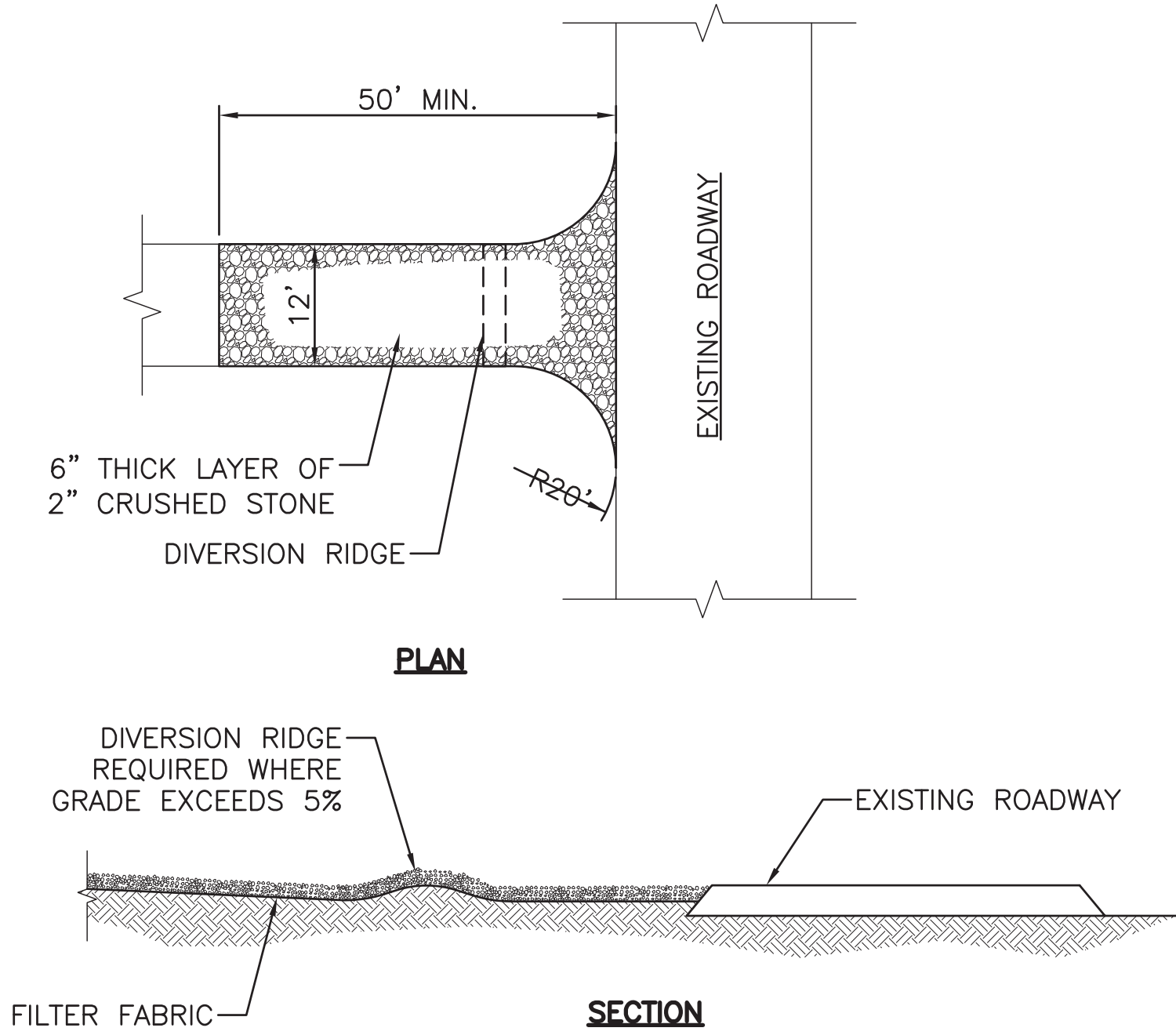
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CHECKED BY DATE:  
05/26/21

SHEET NUMBER:

ES-1

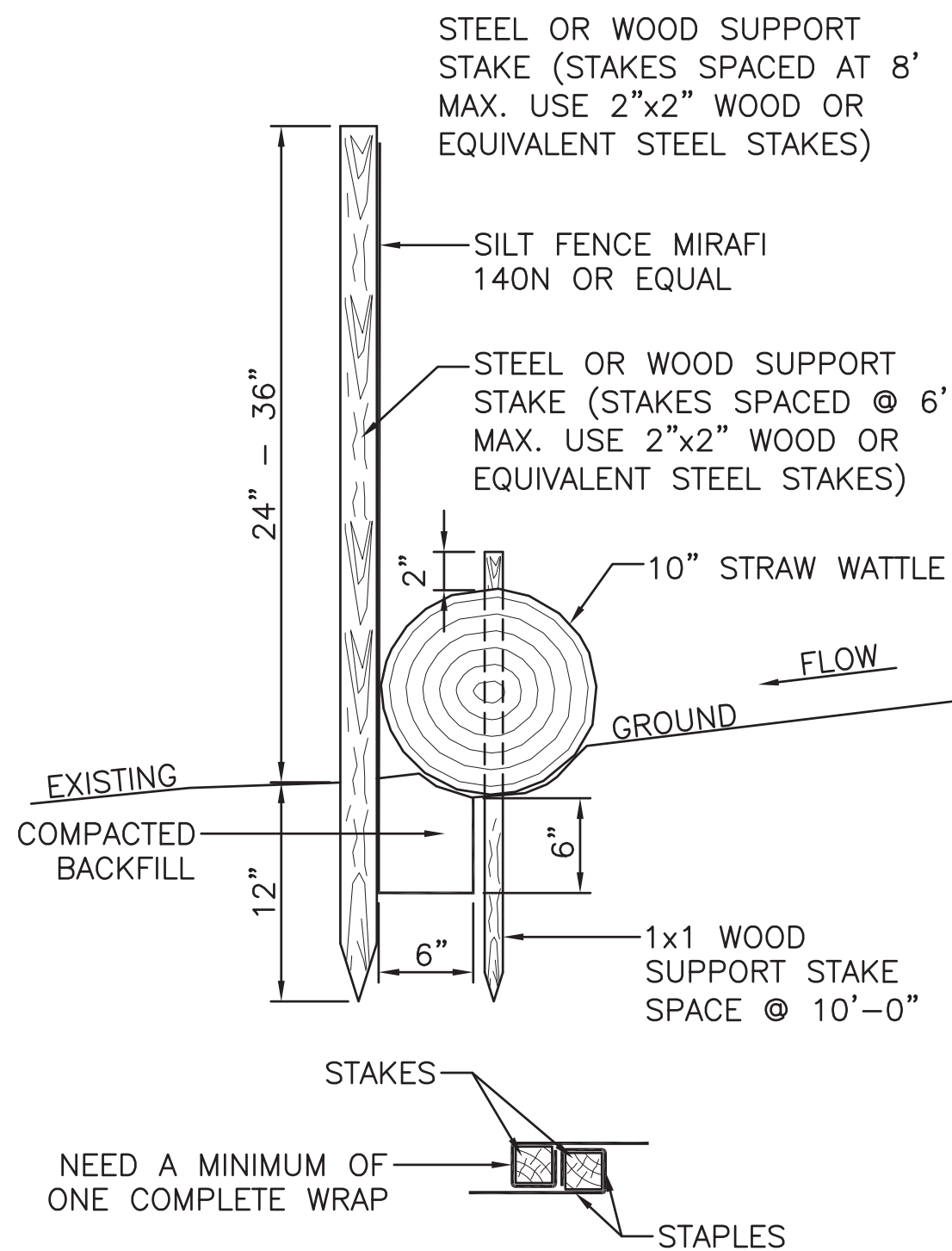




1. THE ENTRANCE/EXIT PAD SHOULD HAVE A LENGTH OF 50 FEET OR MORE AND A 12–FOOT MINIMUM WIDTH (OR AS APPROPRIATE TO CONTAIN THE WHEEL BASE OF CONSTRUCTION VEHICLES PLUS 3 FEET ON EITHER SIDE).
2. THE PAD SHOULD BE 6 INCHES OR MORE THICK WITH ANGULAR AGGREGATE (2–3 INCH DIAMETER). APPROPRIATE RECLAIMED CONCRETE MATERIAL MAY BE USED.
3. THE AGGREGATE SHOULD BE PLACED OVER A GEOTEXTILE FILTER TO PREVENT THE STONES FROM PUSHING INTO THE NATIVE SOIL.
4. AT THE BOTTOM OF SLOPES, A DIVERSION RIDGE SHOULD BE PROVIDED TO INTERCEPT RUNOFF.
5. BERMS MAY BE NECESSARY TO DIVERT WATER AROUND ANY EXPOSED SOIL, AND RUNOFF SHOULD BE DIRECTED TO A SEDIMENT TRAP.
6. THE WHEELS OF CONSTRUCTION EQUIPMENT MAY BE WASHED PRIOR TO EXITING THE SITE. WASHING SHOULD BE PERFORMED IN AN AREA THAT DRAINS TO A SEDIMENT TRAP OR BASIN.
7. THE PAD SHOULD BE INSPECTED WEEKLY, AND BEFORE AND AFTER EACH STORM. THE PAD MAY HAVE TO BE REPLACED IF THE VOIDS BECOME FILLED WITH SEDIMENT. STREET SWEEPING MAY BE NECESSARY.

## 1 STABALIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



### JOINING FENCE SECTIONS

## 2 SILT–FENCE DETAIL

SCALE: N.T.S.

- NOTES:
1. FILTER FABRIC FENCE MUST BE PLACED AT LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.
  2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
  3. ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEE ROCK FILTER OUTLET DETAIL.

### NOTES:

TO PROTECT CONSTRUCTION SITE AREAS AND ADJACENT SENSITIVE LAND AND WATERS OF THE STATE, THE FOLLOWING EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED. THESE MEASURES HAVE BEEN ESTABLISHED TO CONFORM TO STATE OF MAINE EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES (BMP)".

THIS EROSION/STABILIZATION PLAN IS A MINIMUM THAT THE CONTRACTOR MUST DO. GIVEN SITE AND WEATHER CONDITIONS, ADDITIONAL MEASURES MAYBE NEEDED.

SOIL DISTURBANCE: THE CONTRACTOR SHALL LIMIT THE EXTENT OF SOIL EXPOSED DURING CONSTRUCTION TO THE MINIMUM POSSIBLE. EXPOSED AREAS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 15 DAYS AFTER INITIAL DISTURBANCE OF THE SOIL AND WITHIN 7 DAYS OF FINAL GRADING.

ROAD DITCHES;INLET AND OUTLET PROTECTION FOR CULVERTS: EXPOSED AREAS FOR ROAD DITCHING SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 7 DAYS AFTER INITIAL DISTURBANCE OF THE SOIL. INLET AND OUTLET PROTECTION FOR CULVERTS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 24 HOURS OF INSTALLING EACH CULVERT, FIELD INLET OR STORM DRAIN OUTFALL.

SILT FENCING AND/OR HAY BALES: INSTALL SILT FENCES AND/OR HAY BALES AROUND SITE EXPOSED AREAS AS SHOWN ON THE SITE PLAN AND FOR ANY ADDITIONAL AREAS DETERMINED TO BE SUBJECT TO SEDIMENT EROSION AS A RESULT OF SITE CONDITIONS. SILT FENCING AND/OR HAY BALES WILL REMAIN IN PLACE UNTIL EXPOSED AREAS HAVE ACQUIRED STABILIZATION. INSTALL THE SILT FENCING AND/OR HAY BALES IN ACCORDANCE WITH DETAILS PROVIDED BY THE SITE PLAN.

STOCK PILING, HAUL ROADS, BORROW AREAS: THE CONTRACTOR SHALL VERIFY THAT STOCKPILING, HAUL ROAD, AND BORROW AREAS SHALL NOT BE LOCATED IN WETLANDS AND AREAS OF CONCENTRATED FLOWS. SILT FENCES, MULCHING, AND OTHER EROSION CONTROL MEASURES SHALL BE PROVIDED TO PROVIDE SEDIMENTATION CONTROL TO THESE AREAS.

DUST CONTROL: THE EXPOSED SOIL SURFACE SHALL BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.

PREPARED BY:

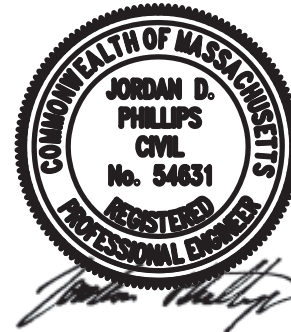
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ES-2