



2595 North Dallas Parkway Suite 300 - Frisco, TX 75034

October 25, 2021

Mr. Peter Palmieri, P.E.
Director of Engineering
Merrill Engineers and Land Surveyors
427 Columbia Rd #2
Hanover, MA 02339

RE: VZW Pembroke_5_MA – Response to Site Plan Review Comments (dated Oct. 22, 2021)

Dear Mr. Palmieri,

As requested, please see below for itemized responses to the Site Plan Review Comments Review Comments dated October 22, 2021.

ZONING BYLAWS

Section II **Definitions:** No comments to address.

Section IV **Use and Dimensional Regulations:** All comments in this section were reviewed at the 1/11/2021 Planning Board Public Hearing.

Section V **Special Provisions, Standards, and Procedures:** Site plan application to Plymouth County is currently planned to be submitted upon receipt of approval from Town of Pembroke, MA. Approval from Town of Pembroke, MA (if granted) is expected to be *contingent*, pending Plymouth County review and approval of site plan.

RULES AND REGULATIONS GOVERNING SITE PLAN APPROVAL

Summary of Requested Waivers:

Section IV – Site Plan Content: All requested waivers granted by the Planning Board shall be specified on the cover sheet of the final/approved Site Plans, as recommended.

Section VI – Development Impact Statement: All requested waivers granted by the Planning Board shall be specified on the cover sheet of the final/approved Site Plans, as recommended.

Section IV **Site Plan Content:**

- 4.1 No further revisions required.
- 4.2 No further revisions required.
- 4.3 No further revisions required.

Section IV Site Plan Content (cont.):

- 4.4 No further revisions required.
- 4.5 Please see attached for the revised drawings. The requested statement has been added to the remaining sheets, as requested.
- 4.6 Please see attached for the revised drawings. The proposed grading within the Compound Area has been added to the plans, as requested.

The proposed elevation 74 contour has been called-out on the proposed grading plans.

No construction activities within 15'-0" of the existing gravel pit are currently anticipated. Accordingly, no impacts to the existing leaching system are anticipated.

- 4.7 The three (3) trees adjacent to the parking lot (along the SE parcel boundary line) proposed to be removed will be replaced "in-kind" at an acceptable, agreed-upon location. Proposed location(s) to be discussed with Owner of adjacent parcel D14-37.
- 4.8 No further revisions required.
- 4.9 No further revisions required.
- 4.12 No further revisions required.
- 4.13 No updates to provide at this time. Meeting with Pembroke Fire Department forthcoming.
- 4.14 Response to Review Comment "**Section IV - Site Plan Content**" and "**Section VI - Development Impact Statement**" (please see above) is applicable to this Review Comment, as well.
- 4.15 Response to Review Comment "**Section IV - Site Plan Content**" and "**Section VI - Development Impact Statement**" (please see above) is applicable to this Review Comment, as well.
- 4.16 No further revisions required.
- 4.19 No further revisions required.
- 4.21 Response to Review Comment "**Section IV - Site Plan Content**" and "**Section VI - Development Impact Statement**" (please see above) is applicable to this Review Comment, as well.
- 4.22 Response to Review Comment "**Section IV - Site Plan Content**" and "**Section VI - Development Impact Statement**" (please see above) is applicable to this Review Comment, as well.

Section V Site Plan Content:

- 5.1 Response to Review Comment “**Section IV - Site Plan Content**” and “**Section VI - Development Impact Statement**” (please see above) is applicable to this Review Comment, as well.
- 5.2 Response to Review Comment “**Section IV - Site Plan Content**” and “**Section VI - Development Impact Statement**” (please see above) is applicable to this Review Comment, as well.
- 5.3 Standard 10 – Illicit Discharges: Statement to be signed by Verizon’s Authorized Representative (Project Owner).
- 5.6.1 Pending Planning Board decision.
- 5.6.2 Pending Planning Board decision.

Section VI Development Impact Statement:

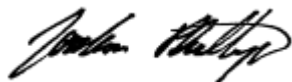
Response to Review Comment “**Section IV - Site Plan Content**” and “**Section VI Development Impact Statement**” (please see above) is applicable to this Review Comment, as well.

ADDITIONAL COMMENTS

- 1. No further revisions required.
- 2. No further revisions required.
- 3. No further revisions required.
- 4. Please note, a sound assessment study is in the process of being obtained. Results of the study will be made available as soon as is reasonably possible.
- 5. Meeting with Pembroke Fire Department forthcoming.
- 6. Noted. Process to obtain permit approval from MassDOT will commence after approval from Town of Pembroke, MA (if granted) is received.
- 7. Please see attached for the revised drawings.

We hope the above (and attached) responses satisfactorily address the most recent round of Review Comments (dated October 22, 2021). If any questions/comments/concerns arise upon review of these responses, please do not hesitate to contact me directly to discuss further.

Best regards,

A handwritten signature in black ink, appearing to read 'Jordan Phillips', with a stylized flourish at the end.

Jordan Phillips, PE