

CAMP PEMBROKE YURT VILLAGE

306 OLDHAM STREET PEMBROKE, MASSACHUSETTS (Plymouth County)

FOR REGISTRY USE ONLY

APPLICANT/PROJECT OWNER

Eli and Bessie Cohen Camps
888 Worcester Street, Suite 350
Wellesley, MA 02482

CIVIL ENGINEER/SURVEYOR/ WETLAND SCIENTIST AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.
32 Court Street
Plymouth, Massachusetts 02360-3866

ARCHITECT

Black River Architects
1640 Massachusetts Avenue
Cambridge, MA 02138

I HEREBY CERTIFY THAT:

- 1) THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 2) THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

DATE
1/21/2020

Kenneth Conte, PLS No. 38033

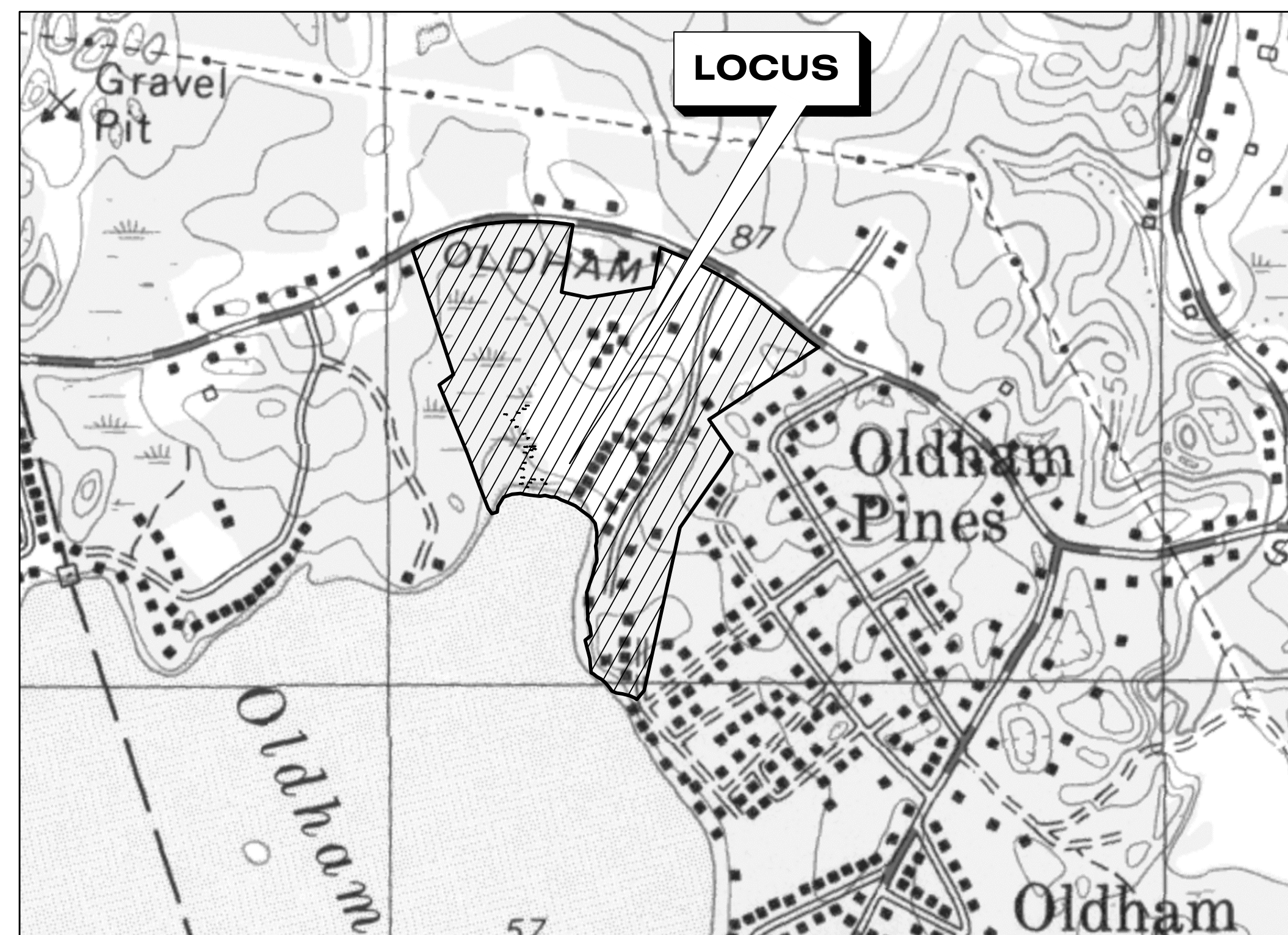


APPROVED BY THE
PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW. I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE



Locus Map
Scale: 1" = 500'



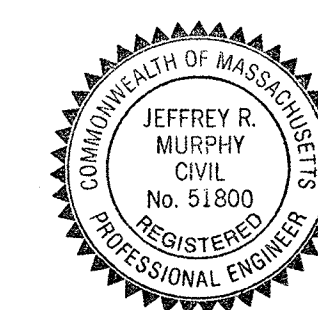
Permit Plan Set - September 18, 2019
Revised - January 21, 2020

SHEET INDEX

	Cover Sheet
TP-1	Compiled Topographic Plan
TP-2	Compiled Topographic Plan
C1.1	Notes, References and Legend Sheet
C2.1	Locus Plan
C3.1	Layout and Materials Plan
C4.1	Grading, Drainage and Utilities Plan
C5.1	Details Sheet

LIST OF REQUESTED WAIVERS (SEE SITE PLAN REVIEW APPLICATION DATED NOVEMBER 1, 2019 AND LETTER DATED JANUARY 3, 2020 FOR MORE DETAIL):

1. PLANNING BOARD RULES AND REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL: SECTION 2.5: WRITTEN PERMISSION FROM OWNER OF PROPERTY IF APPLICANT IS NOT OWNER.
2. PLANNING BOARD RULES AND REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL: SECTION 4.22: REQUIREMENT FOR A TRAFFIC IMPACT STUDY.
3. PLANNING BOARD RULES AND REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL: SECTION 4.7: PREPARATION OF LANDSCAPING PLAN BY LANDSCAPE ARCHITECT.
4. PLANNING BOARD RULES AND REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL: SECTION 5.1.2: REQUIREMENT FOR A 3-FOOT LANDSCAPING STRIP ALONG FOUNDATIONS.



Jeffrey R. Murphy
1/21/2020

Job No.: 1762.11
Plan No.: 176211P013B-001
Sheet 1 of 8

NOTE:
FOR NOTES, REFERENCES, AND LEGEND SEE SHEET TP-2

PREPARED FOR:

**ELI & BESSIE
COHEN CAMPS**

888 WORCESTER STREET
SUITE 350
WELLESLEY, MASSACHUSETTS

RECORD OWNER:

**ELI & BESSIE
COHEN**

MAP B10-15
1718/394

FOR REGISTRY USE ONLY

5	01/21/2020	REVISED PER TOWN COMMENTS	
4	09/18/2019	UPDATE WETLAND, BUFFER ZONES	
3	03/15/2004	ADD DRAINAGE STRUCTURES	
2	01/28/2004	UPDATE WETLAND LINE	
1	01/15/2004	UPDATE WETLAND LINE	
0	10/27/2003	INITIAL ISSUE	
ISSUE DATE		DESCRIPTION	
ATL	JRA	JRA	KCC
FLD	CALC	DWN	CHK'D

**COMPILED
TOPOGRAPHIC PLAN
CAMP PEMBROKE
YURT VILLAGE**

PEMBROKE, MA.
(PLYMOUTH COUNTY)

PREPARED BY:

BEALS + THOMAS

Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.bealsandthomas.com

DATE: OCTOBER 27, 2003

0 10 25 50 METERS
0 30 60 120 180 FEET

SCALE: 1"=60'

B+T JOB NO. 1762.11

B+T PLAN NO.
176211P001F-001

SHEET No. 1 OF 2

TP-1



I HEREBY CERTIFY THAT:

- THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

1/21/2020

DATE

Kenneth Conte

KENNETH CONTE, PLS No. 38033



MATCH LINE
SEE SHEET TP-2

TP-2

GENERAL NOTES

THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND ARCHITECT AS REQUIRED.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND AS INDICATED ON DRAWINGS.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER AND/OR CONSERVATION AGENT.

FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.

ALL EXCAVATORS OR CONTRACTORS MUST REFER TO 520 CMR 14.00 TO OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.

ZONING DISTRICT: RESIDENCE A DISTRICT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH CONDITIONS THAT MAY BE PROMULGATED BY THE PEMBROKE CONSERVATION COMMISSION AND MUNICIPAL AGENCIES.

EROSION CONTROL AND SEDIMENTATION NOTES

AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.

CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.

ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED SURROUNDING THE PROPOSED COMMON HOUSE, PATHWAYS AND GATHERING SPACE SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.

EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.

ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE CONSERVATION AGENT, OWNER OR OWNER'S REPRESENTATIVE.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.

DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE CONSERVATION AGENT, OWNER OR HIS REPRESENTATIVE.

EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE WETLANDS.

ADDITIONAL EROSION CONTROL SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE CONSERVATION AGENT, SITE OWNER OR THEIR REPRESENTATIVE.

CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.

LAYOUT AND MATERIALS NOTES

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.

PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.

GRADING, DRAINAGE AND UTILITY NOTES

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES, ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233 AND THE OWNER TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES AND THE OWNER ARE PROPERLY NOTIFIED IN ADVANCE.

ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS TO BE PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.

ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES, GRADES AND OTHER SPECIFIC REQUIREMENTS OR SPECIFICATIONS FOR THE PROJECT AS SHOWN ON THE PLANS.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

GRADING, DRAINAGE AND UTILITY NOTES (CONT)

GRADE ALL AREAS TO DRAIN.

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, SEWER AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE FINISH GRADE UNLESS OTHERWISE NOTED.

INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY OR DPW STANDARDS, AS APPLICABLE.

CONTRACTOR SHALL PROTECT ALL UNDERGROUND ELECTRIC, DRAINAGE, SEWER OR OTHER UTILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.

THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION AND WETLAND SPECIALIST.

WETLANDS ARE TO REMAIN UNDISTURBED. NO ENCROACHMENT PERMITTED.

PITCH EVENLY BETWEEN SPOT GRADES.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

PLANTING NOTES

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.

ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED PINE BARK MULCH TO A DEPTH OF THREE (3) INCHES.

CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.

PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTING ON ALL STRIPPED PLANTED AREAS INCLUDING SLOPE STABILIZATION, LAWN AREAS AND PLANTING BEDS AFTER FILLS ARE PROPERLY SETTLED AND SUBGRADE HAS BEEN APPROVED BY THE OWNER. THE SETTLED TOPSOIL SHALL BE UP TO THE FINISHED GRADE AS CALLED FOR ON THE DRAWINGS. SCARIFY SUBGRADE TO A DEPTH OF TWO (2) INCHES BEFORE PLACING TOPSOIL.

PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE OWNER.

LOAM AND SEED ALL DISTURBED AREAS.

IF CERTAIN AREAS OF THE SEEDED AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEEDD AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS. THIS PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.

REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

THE LANDSCAPE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.

I HEREBY CERTIFY THAT:

- THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

1/21/2020
DATE
Kenneth Conte

KENNETH CONTE, PLS No. 38033



LEGEND AND ABBREVIATIONS

EXISTING	PROPOSED	
		SEWER LINE/MANHOLE
		DRAIN LINE/MANHOLE
		ROOF DRAIN LINE
		CATCH BASIN
		HEAD WALL
		WING WALL
		GAS LINE/GATE
		WATER LINE/GATE
		HYDRANT
		POST INDICATOR VALVE
		ELECTRIC CONDUIT
		OVERHEAD WIRE
		LIGHT POLE
		UTILITY POLE
		GUY WIRE
		SIGN
		PIPE
		CHAIN LINK FENCE
		GRANITE CURB
		TREE
		TREE LINE
		STONE WALL
		RETAINING WALL
		BUILDING
		TOP OF BANK
		BOUNDARY OF BORDERING VEGETATED WETLAND
		APPROXIMATE BOUNDARY OF BORDERING VEGETATED WETLAND
		BOUNDARY OF ISOLATED VEGETATED WETLAND
		BUFFER ZONE
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		EDGE OF WATER
		BITUMINOUS CONCRETE
		CEMENT LINED DUCTILE IRON CONCRETE
		CLEAN OUT (SEWER)
		EROSION CONTROL BARRIER

ZONING TABLE

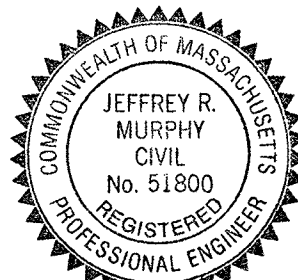
ZONING DISTRICT: RESIDENCE A
OVERLAY DISTRICT: WATER RESOURCE & GROUNDWATER PROTECTION DISTRICT
(WELLHEAD PROTECTION ZONE II)
PROPOSED BUILDING USE: ADMINISTRATIVE USE, ACTIVITY CENTER, LODGING, BATHROOM FACILITIES
ESTIMATED # OF PEOPLE: 20-30 PEOPLE FOR PROPOSED COMMON HOUSE AND YURTS

306 OLDHAM STREET ASSESSOR'S PARCEL B10-15			
	REQ'D	EXISTING	PROPOSED
LOT AREA (sf)	40,000	1,598,783 ±SF	1,598,783 ±SF.
LOT FRONTAGE (ft)	150	1510	1510
FRONT YARD (ft)	40	242±	242±
SIDE YARD (ft)	20	40±	40±
REAR YARD (ft)	25	35±	35±
BUILDING COVERAGE	N/A	9.6%	10.0%
OPEN SPACE	N/A	90.4%	90.0%
BUILDING HEIGHT	2.5 STORIES	VARIES	21'-9"
LOT WIDTH (ft)	N/A	237±	237±
LOT PERIMETER RATIO	N/A		

PREPARED FOR:

ELI & BESSIE
COHEN CAMPS

888 WORCESTER STREET
SUITE 350
WELLESLEY, MASSACHUSETTS



Jeffrey R. Murphy
1/21/2020

FOR REGISTRY USE ONLY

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

PREPARED BY:



BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.btiweb.com

6		
5		
4		
3		
2		
1	01/21/2020	REVISED PER TOWN COMMENTS
0	09/18/2019	ISSUED FOR PERMITTING
ISSUE DATE DESCRIPTION		
JRM	JRM	SHM
JRM	JRM	JRM
DES	DWN	CHK'D
DES	DWN	APP'D

PROJECT:

CAMP PEMBROKE
YURT VILLAGE

PEMBROKE, MA.
(PLYMOUTH COUNTY)

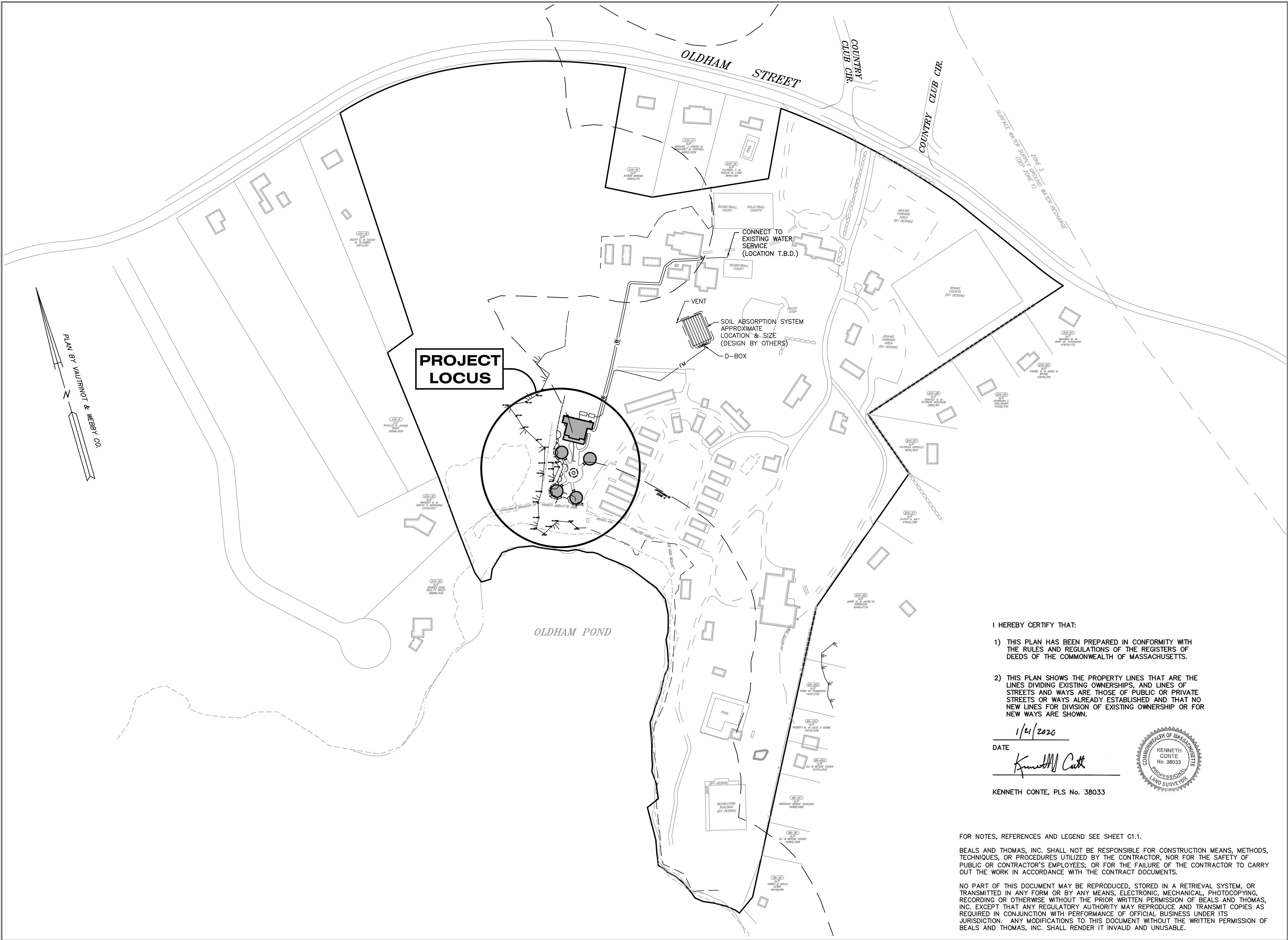
SCALE: N.T.S. DATE: SEPTEMBER 18, 2019

NOTES, REFERENCES
AND LEGEND

B+T JOB NO. 1762-11

B+T PLAN NO.
1762-11P013B--002

C1.1



I HEREBY CERTIFY THAT:

- 1) THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 2) THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

1/21/2020
DATE
Kenneth Conte
KENNETH CONTE, PLS No. 38033



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

PREPARED FOR:
ELI & BESSIE COHEN CAMPS
888 WORCESTER STREET
SUITE 350
WELLESLEY, MASSACHUSETTS



Jeffrey R. Murphy
1/21/2020

FOR REGISTRY USE ONLY

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

PREPARED BY:



BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.btiweb.com

6		
5		
4		
3		
2		
1	01/21/2020	REVISED PER TOWN COMMENTS
0	09/18/2019	ISSUED FOR PERMITTING
ISSUE DATE DESCRIPTION		
JRM	JRM	SHM
DES	DWN	CHK'D
		JRM
		APP'D

PROJECT:
CAMP PEMBROKE YURT VILLAGE
PEMBROKE, MA.
(PLYMOUTH COUNTY)

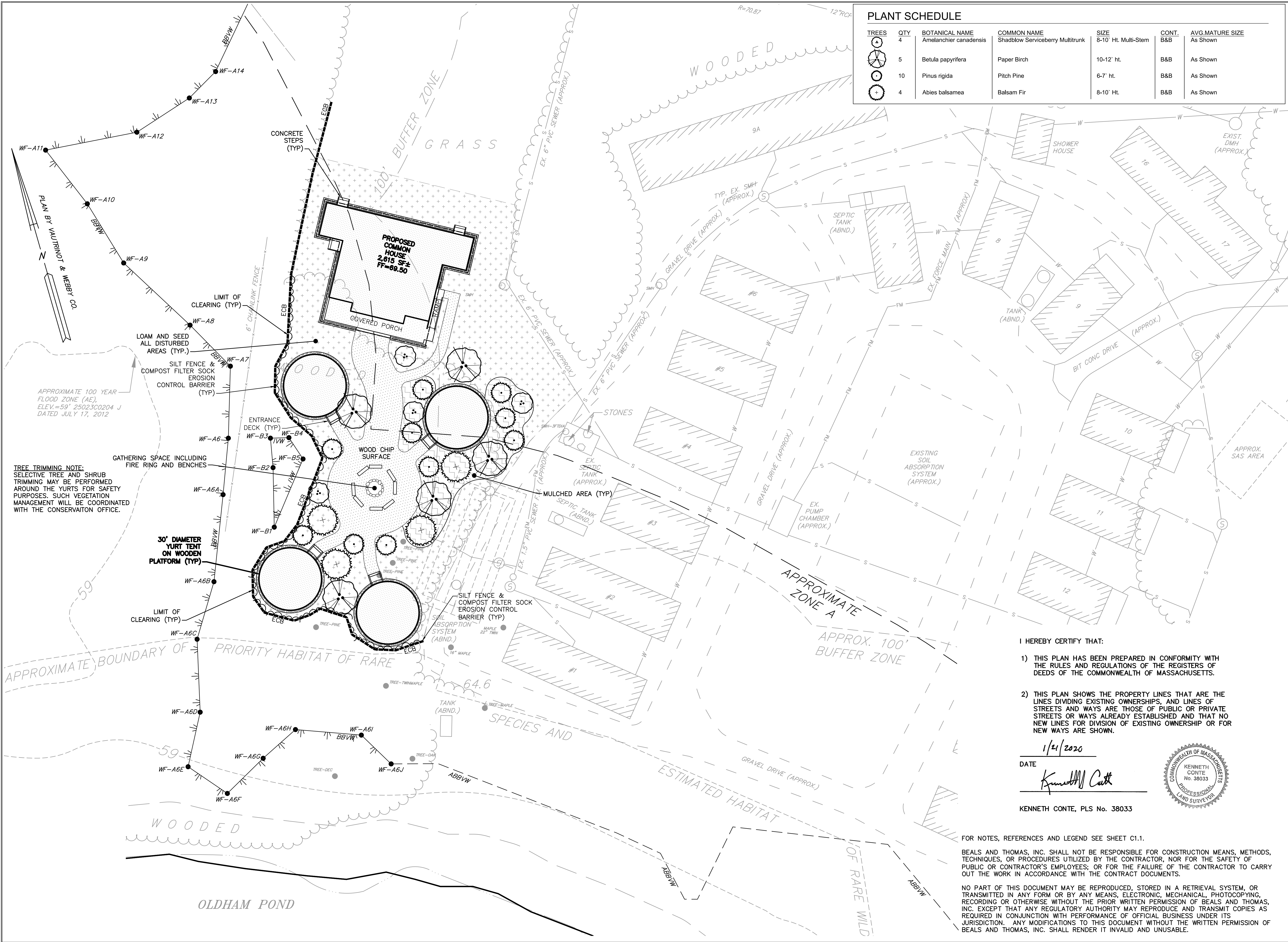
SCALE: 1" = 100' DATE: SEPTEMBER 18, 2019
METERS
0 10 25 50 75
0 50 100 200 300
FEET

LOCUS PLAN

B+T JOB NO. 1762.11

B+T PLAN NO.
176211P013B-003

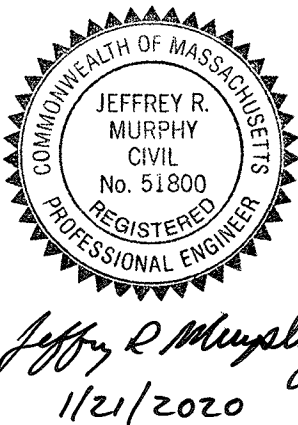
C2.1



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	AVG. MATURE SIZE
	4	Amelanchier canadensis	Shadblow Serviceberry Multitrunk	8-10' Ht. Multi-Stem	B&B	As Shown
	5	Betula papyrifera	Paper Birch	10-12' ht.	B&B	As Shown
	10	Pinus rigida	Pitch Pine	6-7' ht.	B&B	As Shown
	4	Abies balsamea	Balsam Fir	8-10' Ht.	B&B	As Shown

PREPARED FOR:
ELI & BESSIE COHEN CAMPS
888 WORCESTER STREET
SUITE 350
WELLESLEY, MASSACHUSETTS



FOR REGISTRY USE ONLY
COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

PREPARED BY:
BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.btiweb.com

6		
5		
4		
3		
2		
1	01/21/2020	REVISED PER TOWN COMMENTS
0	09/18/2019	ISSUED FOR PERMITTING
ISSUE DATE DESCRIPTION		
JRM	JRM	SHM
DES	DWN	CHK'D APP'D

PROJECT:
CAMP PEMBROKE YURT VILLAGE
PEMBROKE, MA.
(PLYMOUTH COUNTY)

SCALE: 1" = 20'
DATE: SEPTEMBER 18, 2019
METERS
0 5 10 15
FEET
0 10 20 40 60

LAYOUT AND MATERIALS PLAN

B+T JOB NO. 1762.11
B+T PLAN NO. 176211P013B-004
C3.1

I HEREBY CERTIFY THAT:

- THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

1/21/2020

DATE

Kenneth Conte

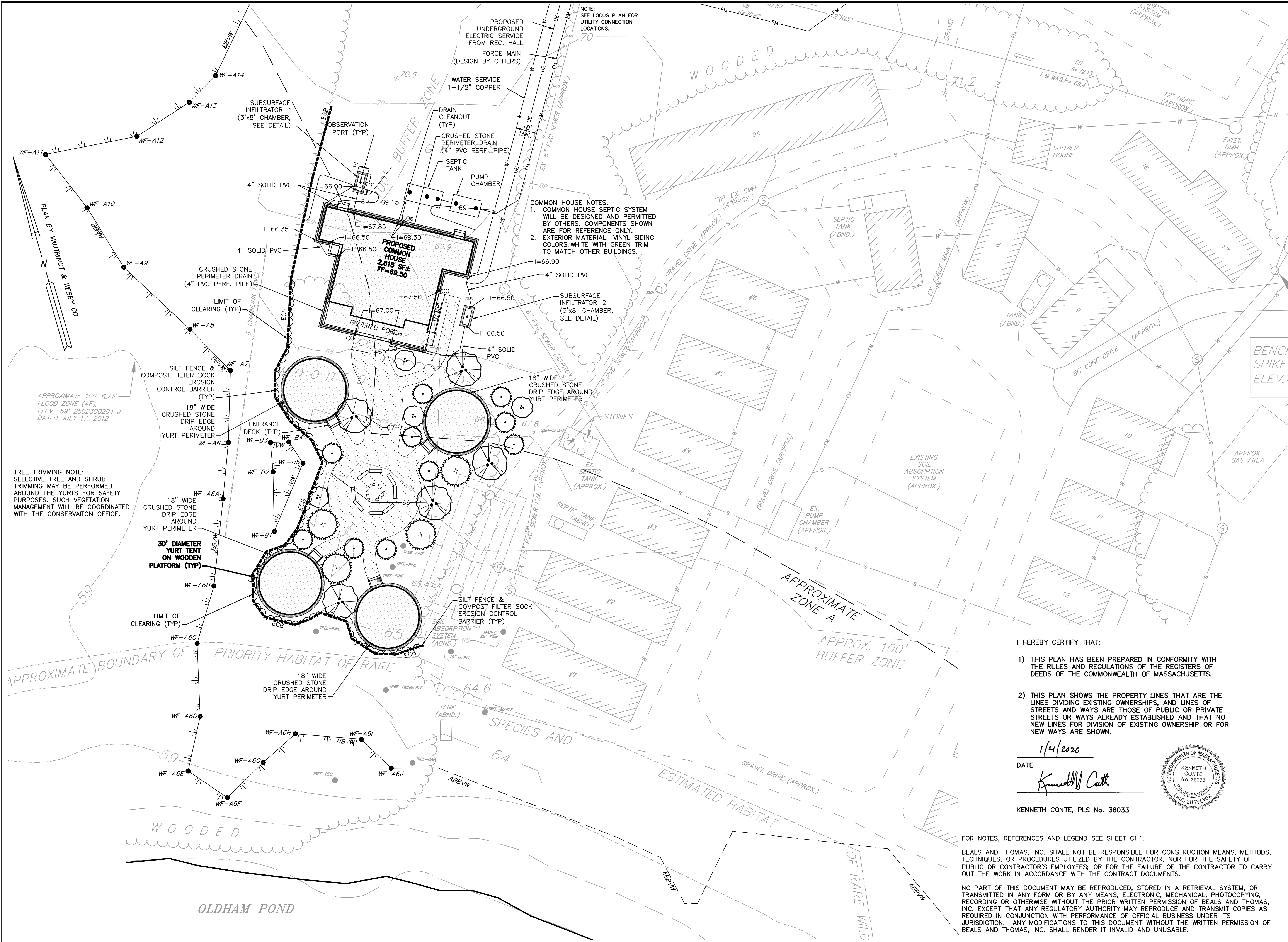
KENNETH CONTE, PLS No. 38033



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

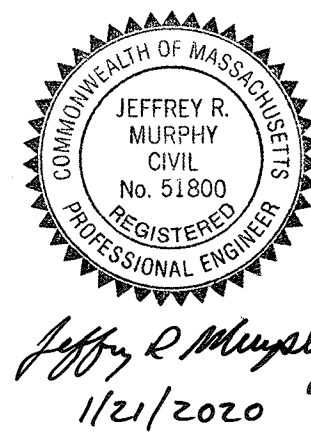
BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



PREPARED FOR:

ELI & BESSIE COHEN CAMPS
888 WORCESTER STREET
SUITE 350
WELLESLEY, MASSACHUSETTS



FOR REGISTRY USE ONLY
COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

PREPARED BY:
BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.btiweb.com

6		
5		
4		
3		
2		
1	01/21/2020	REVISED PER TOWN COMMENTS
0	09/18/2019	ISSUED FOR PERMITTING
ISSUE DATE DESCRIPTION		
JRM	JRM	SHM
DES	DWN	CHK'D APP'D

PROJECT:
CAMP PEMBROKE YURT VILLAGE
PEMBROKE, MA.
(PLYMOUTH COUNTY)

SCALE: 1" = 20'
DATE: SEPTEMBER 18, 2019
METERS
0 5 10 15
FEET
0 10 20 40 60

GRADING, DRAINAGE AND UTILITIES PLAN

B+T JOB NO. 1762.11
B+T PLAN NO. 176211P013B-005

C4.1

I HEREBY CERTIFY THAT:

- 1) THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 2) THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

1/21/2020

DATE

Kenneth Conte

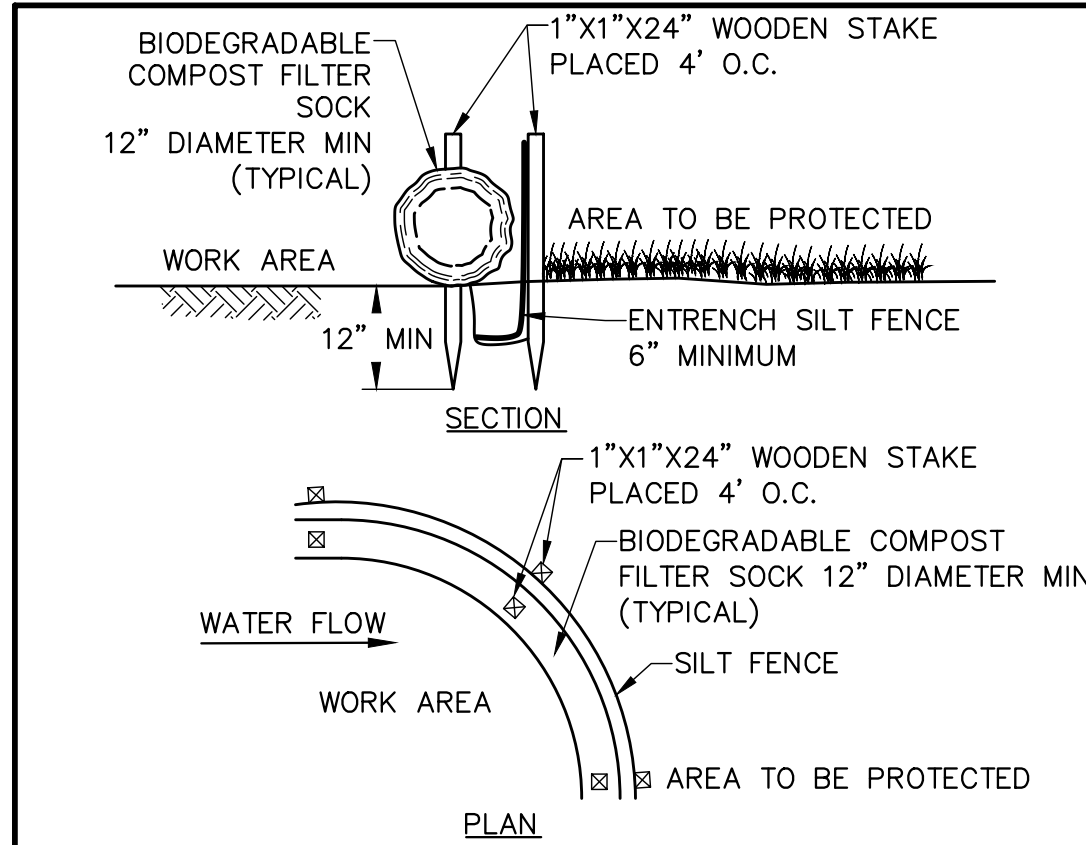
KENNETH CONTE, PLS No. 38033



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

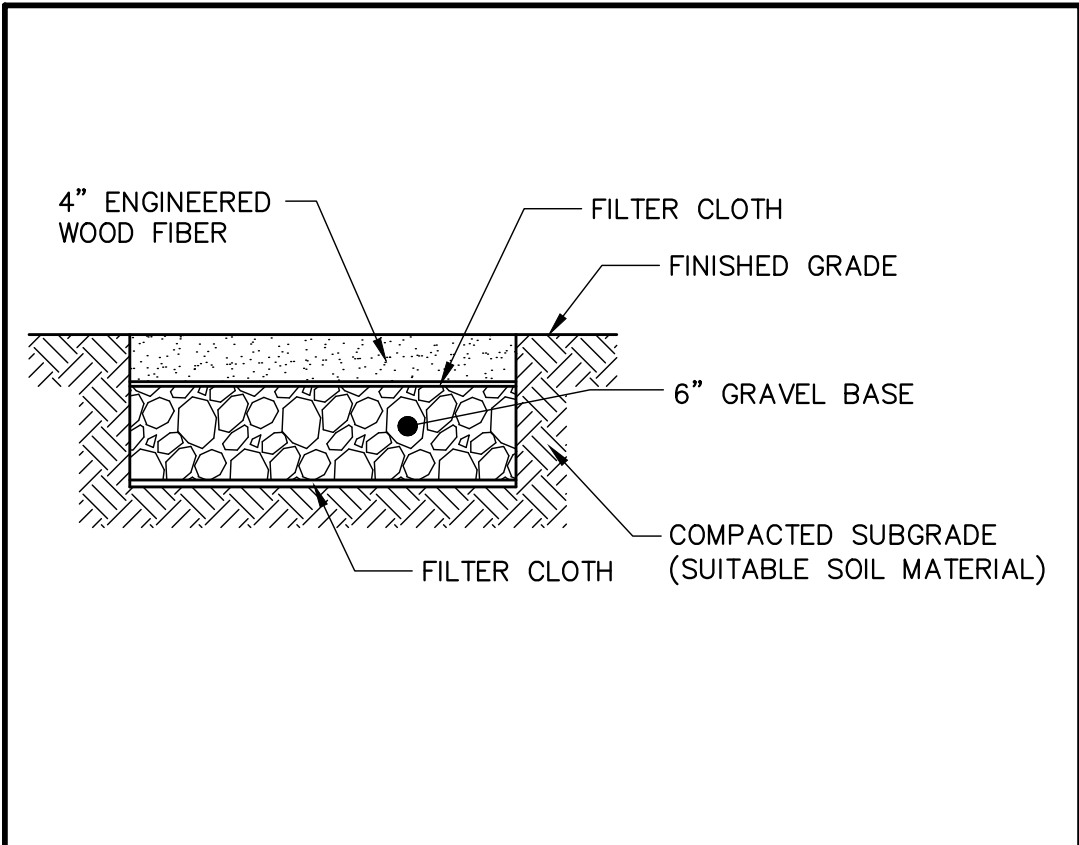
BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



- 1) BIODEGRADABLE COMPOST FILTER SOCK SHALL BE 12" MIN. DIA.
- 2) DOUBLE BARRIERS SHALL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLANS.

COMPOST FILTER SOCK & SILT FENCE (ECB)
NOT TO SCALE

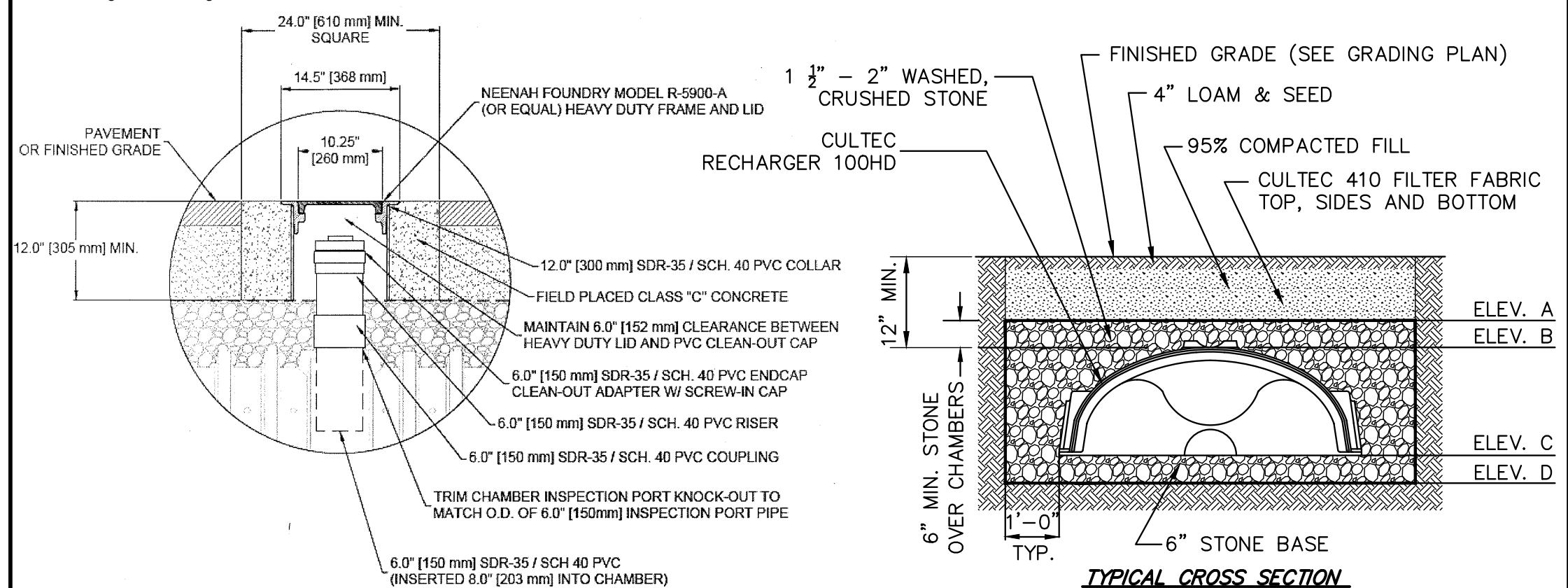


WOODCHIP SURFACE DETAIL
NOT TO SCALE

GENERAL NOTES:

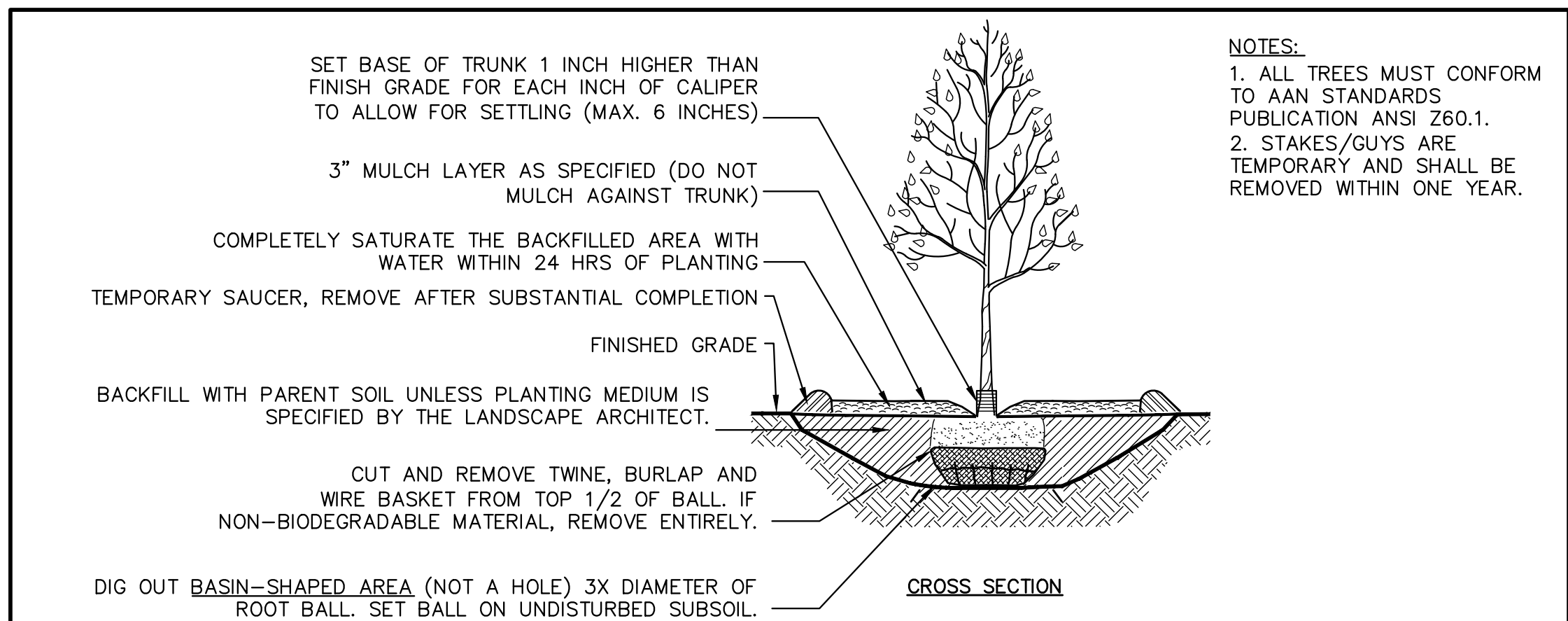
- Recharger 100HD by CULTEC, INC. of Brookfield, CT.
- All Recharger 100HD Chambers must be installed in accordance with all applicable local, state and federal regulations.
- Refer to manufacturer, CULTEC, INC.'s recommended installation guidelines.
- All chambers shall be H2O load rated. Units are marked with a 4" stripe along the length of the chamber.

ELEVATION TABLE				
SYSTEM	ELEV. A	ELEV. B	ELEV. C	ELEV. D
SUB. INF.-1	67.54	67.04	66.00	65.50
SUB. INF.-2	67.54	67.04	66.00	65.50



OBSERVATION PORT DETAIL

SUBSURFACE INFILTRATORS
NOT TO SCALE



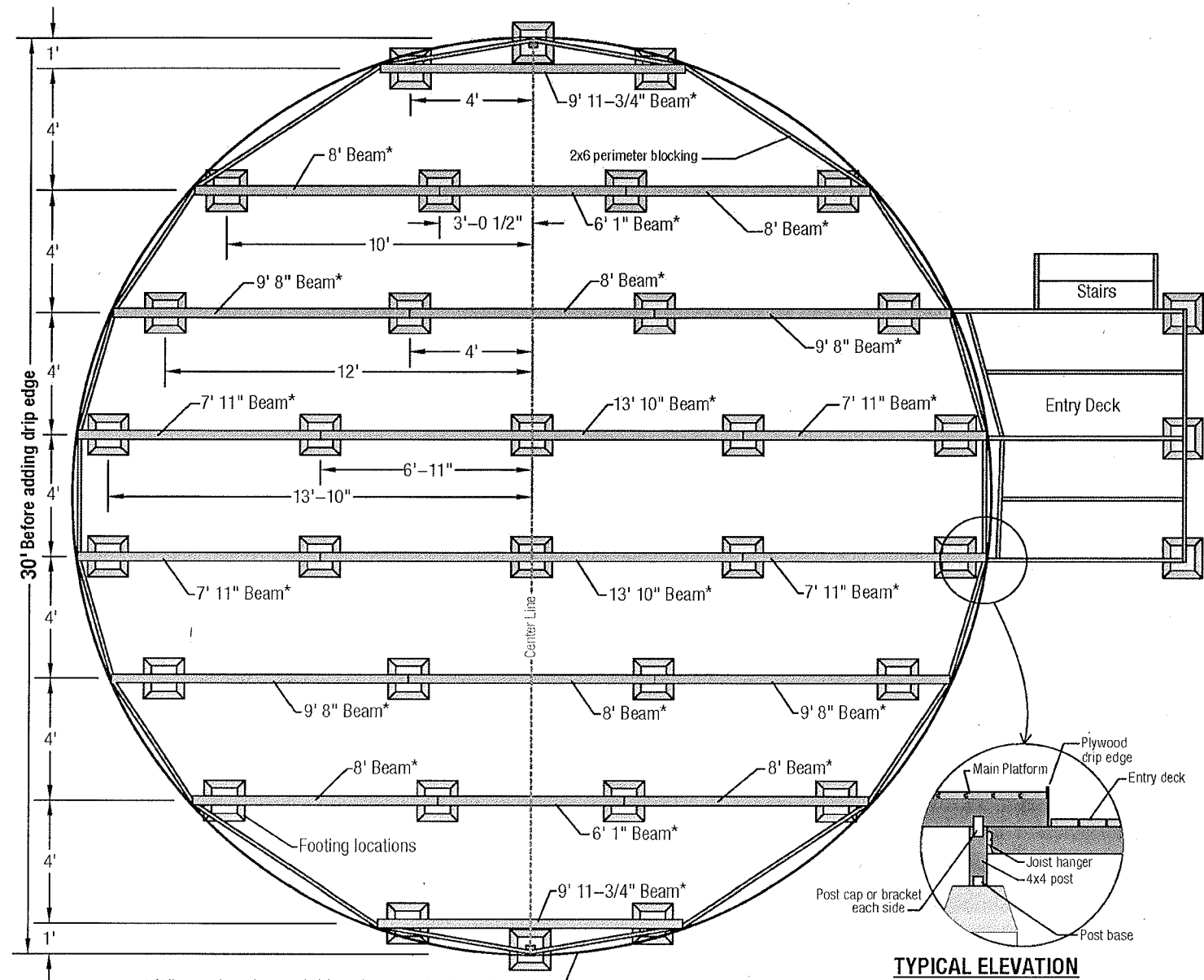
TREE PLANTING
NOT TO SCALE

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

Typical 30' Platform Framing Plan

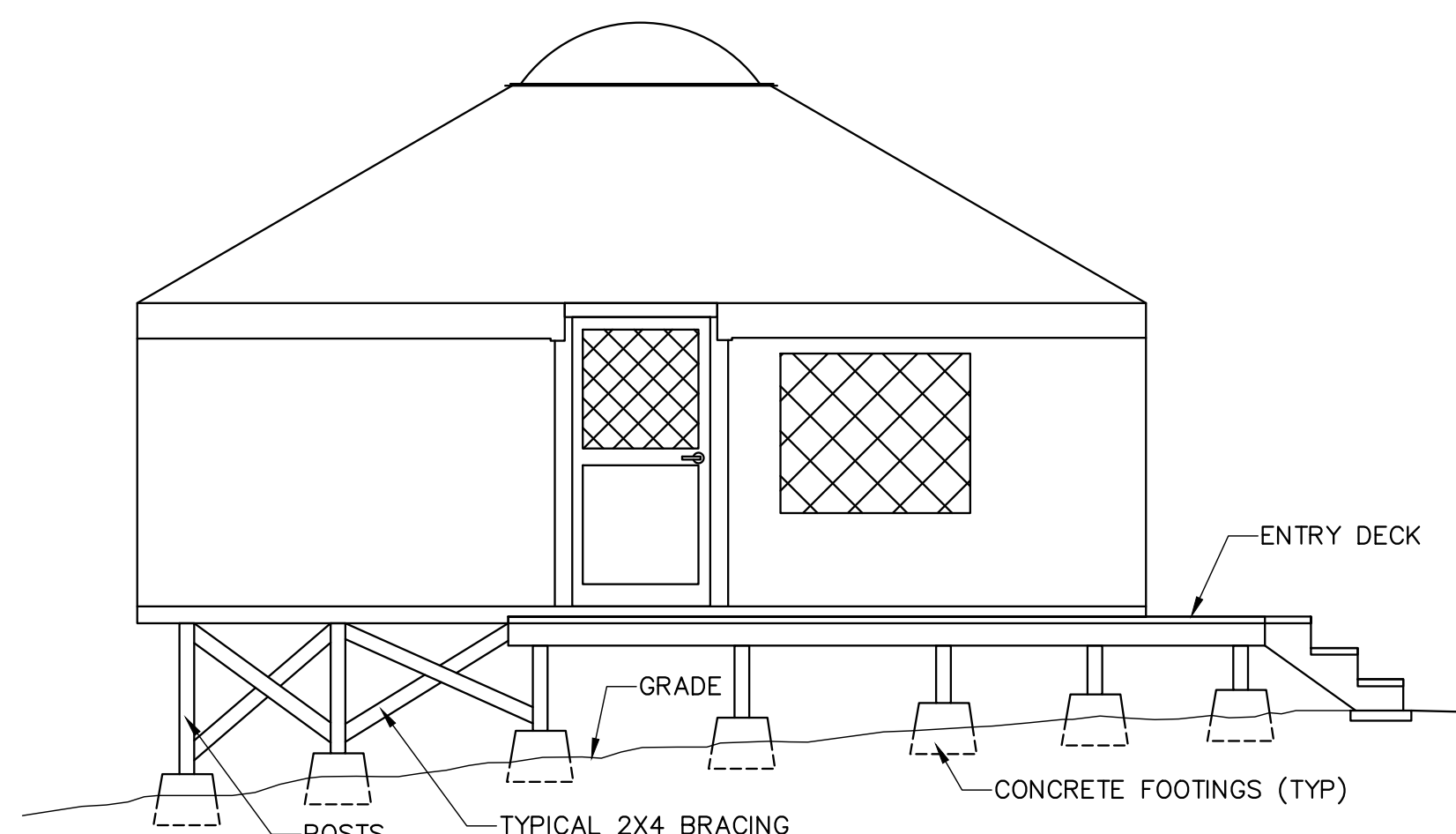


3/8" exterior plywood drip edge attached to edge of platform. Top of drip edge to be 1" above floor level.
*4"x6" or 4"x8" beams may be appropriate, depending on use and conditions.

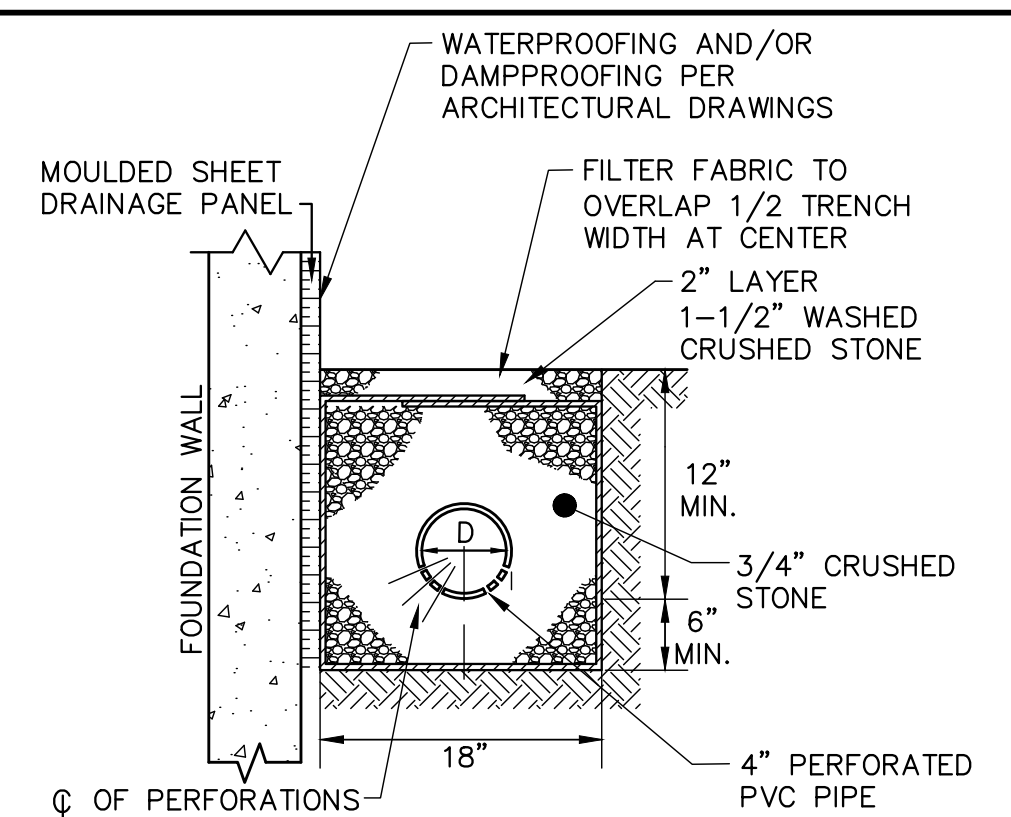
- Notes:**
- 1) Platform construction and footings should reflect conditions of each individual site and local building requirements.
 - 2) 2x6 T&G or 1-1/8" plywood flooring to be laid perpendicular to beams and trimmed to the same diameter as that of the yurt.
 - 3) 30' diameter measurement does not include the drip edge.
 - 4) Site and soil conditions and local building requirements will dictate footing size and depth below grade.

TYPICAL YURT DETAILS
NOT TO SCALE

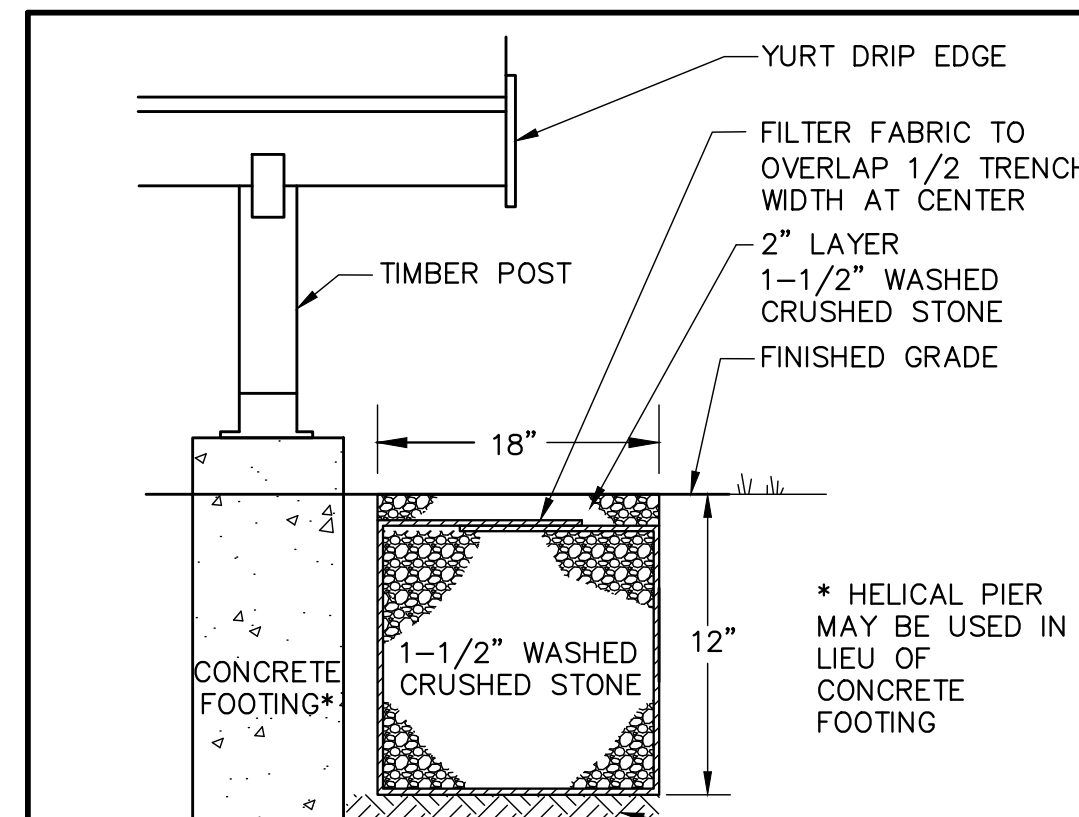
Typical Platform Elevation



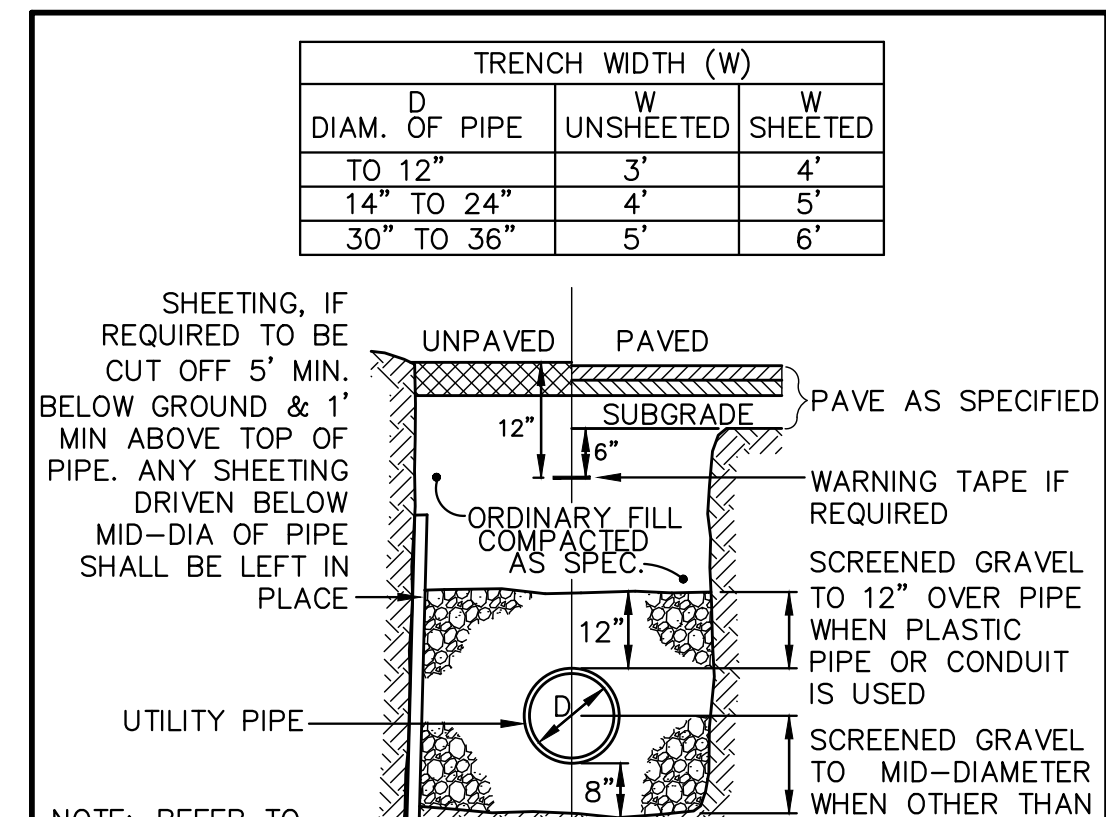
- NOTES:**
1. PLATFORM AND FOOTINGS SHOULD BE DESIGNED ACCORDING TO SITE CONDITIONS AND LOCAL BUILDING REQUIREMENTS. SITE AND SOIL CONDITIONS WILL DICTATE FOOTING SIZE AND DEPTH BELOW GRADE.
 2. BEALS AND THOMAS, INC. IS NOT RESPONSIBLE FOR DESIGN OR CONSTRUCTION OF YURTS.
 3. HELICAL PILES MAY BE USED IN LIEU OF CONCRETE FOOTINGS.



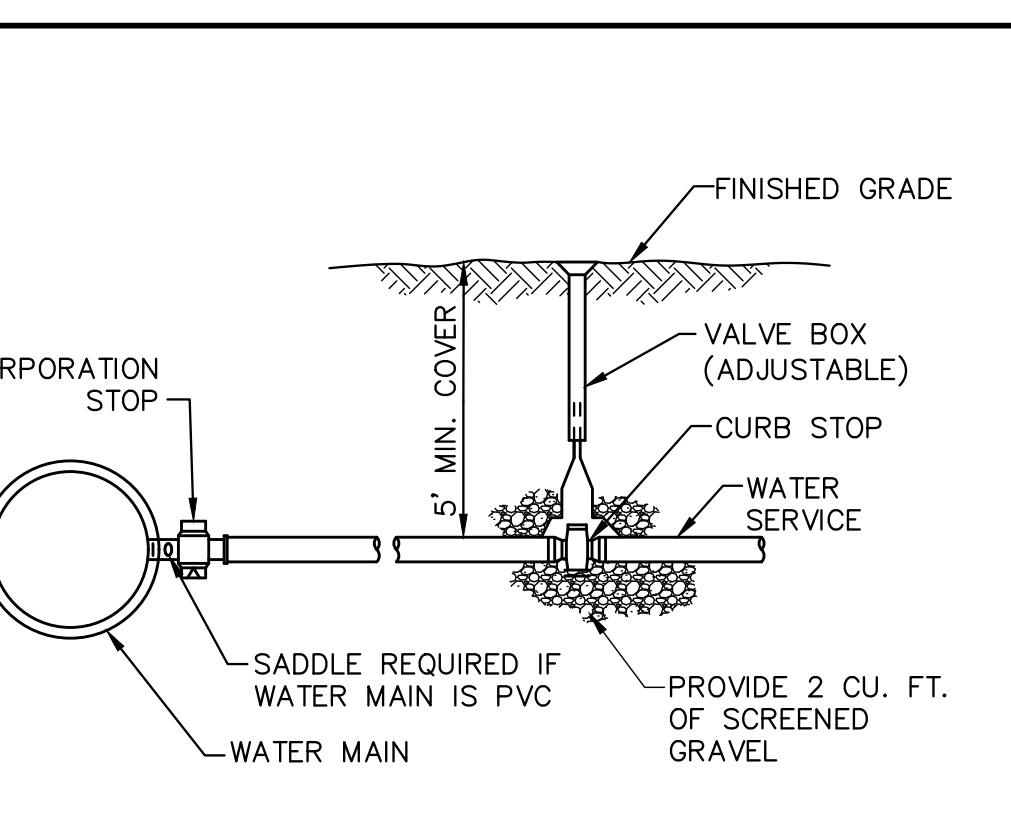
CRUSHED STONE PERIMETER DRAIN
NOT TO SCALE



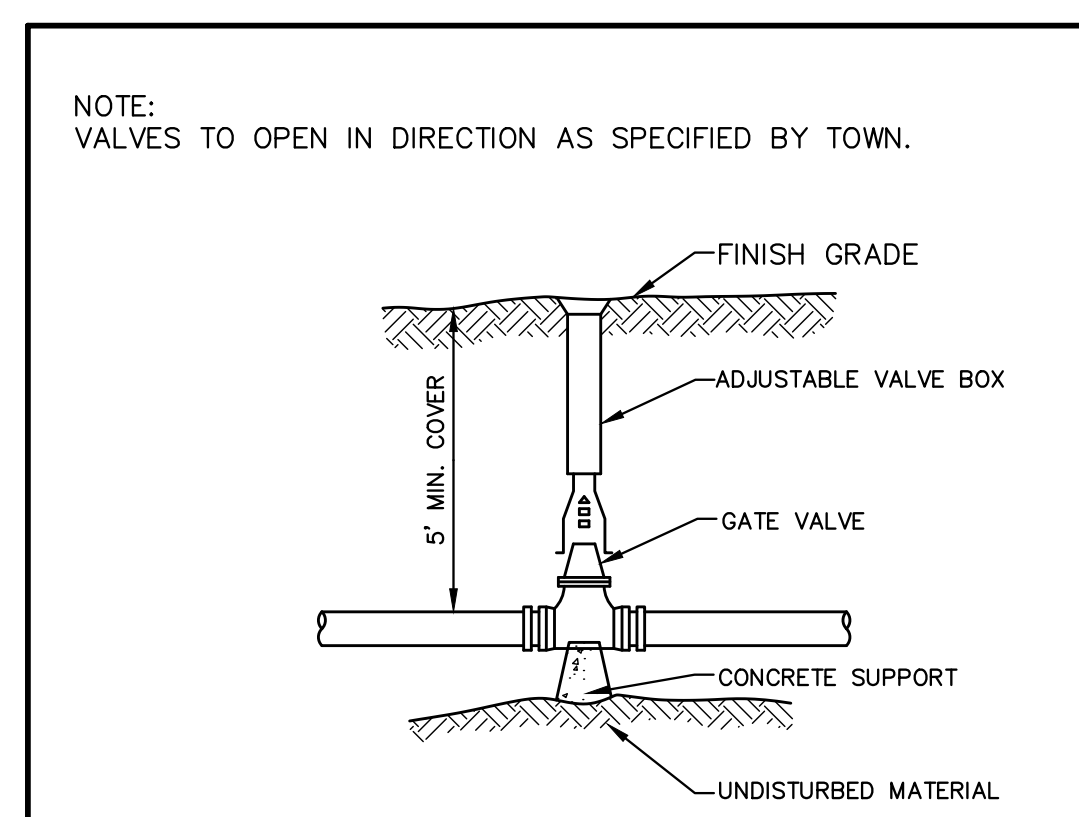
DRIP EDGE
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



WATER SERVICE CONNECTION
NOT TO SCALE



GATE VALVE
NOT TO SCALE

I HEREBY CERTIFY THAT:

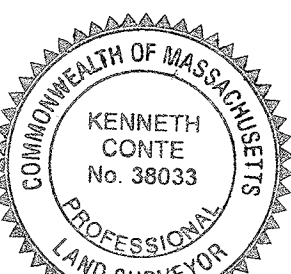
- 1) THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 2) THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

1/21/2020

DATE

Kenneth Conte

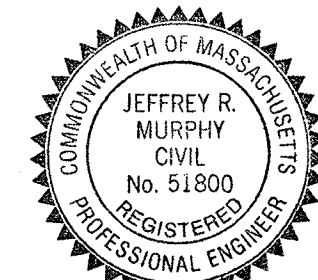
KENNETH CONTE, PLS No. 38033



PREPARED FOR:

ELI & BESSIE COHEN CAMPS

888 WORCESTER STREET
SUITE 350
WELLESLEY, MASSACHUSETTS



Jeffrey R. Murphy
1/21/2020

FOR REGISTRY USE ONLY

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

PREPARED BY:

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.btiweb.com

6		
5		
4		
3		
2		
1	01/21/2020	REVISED PER TOWN COMMENTS
0	09/18/2019	ISSUED FOR PERMITTING
ISSUE DATE DESCRIPTION		
JRM	JRM	SHM
DES	DWN	CHK'D APP'D

PROJECT:

CAMP PEMBROKE YURT VILLAGE
PEMBROKE, MA.
(PLYMOUTH COUNTY)

SCALE: AS NOTED DATE: SEPTEMBER 18, 2019

DETAILS

B+T JOB NO. 1762.11

B+T PLAN NO.
176211P013B-006

C5.1