

— DEFINITIVE SITE PLAN —

OLD WASHINGTON PLACE

631 WASHINGTON STREET

PEMBROKE, MASSACHUSETTS

ASSESSORS MAP E10 LOT 10

PLANNING BOARD APPROVAL

THIS SITE PLAN DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE ZONING BY-LAW.

DATE APPROVED: \_\_\_\_\_

PEMBROKE TOWN CLERK

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

REVISIONS

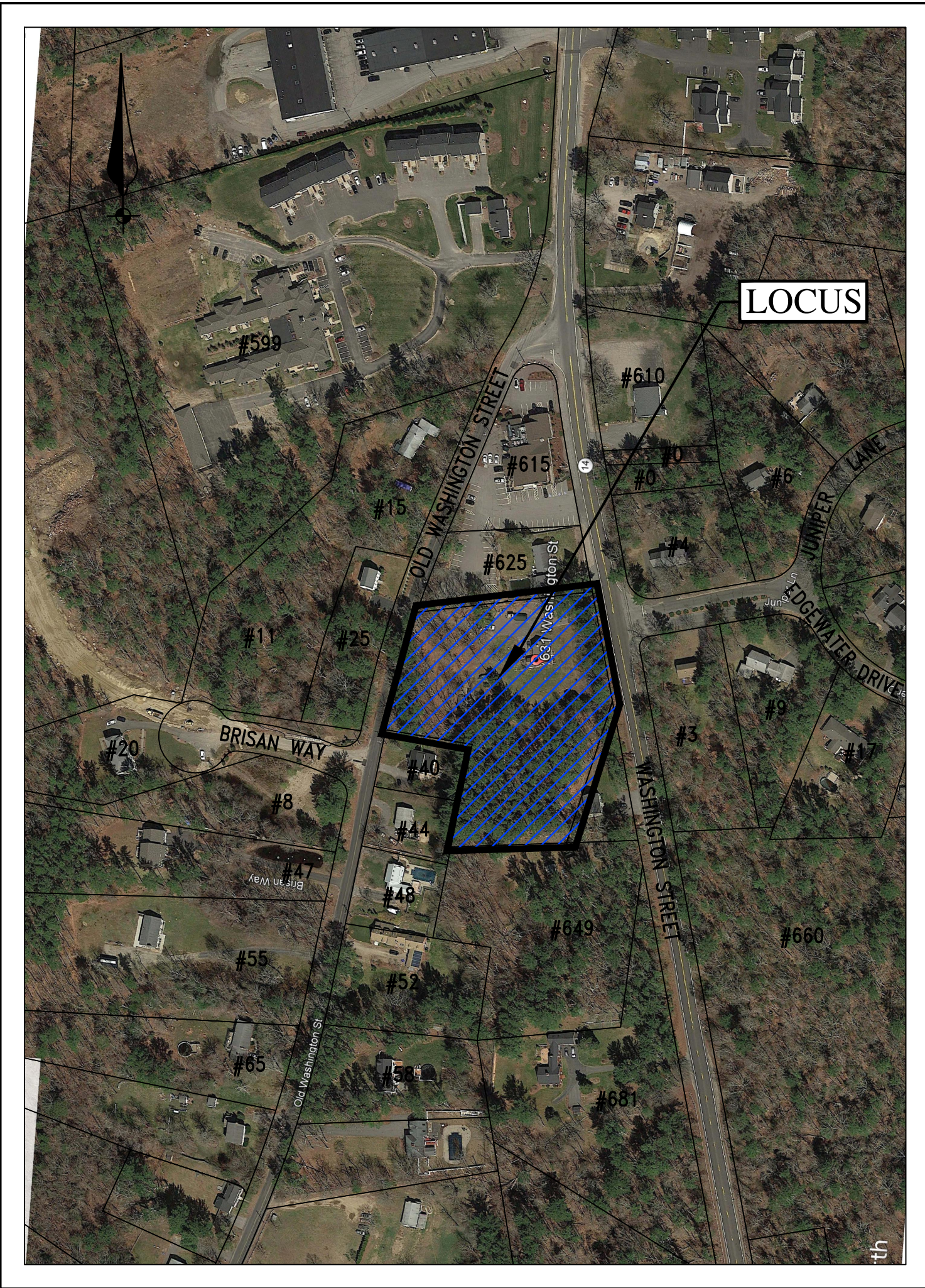
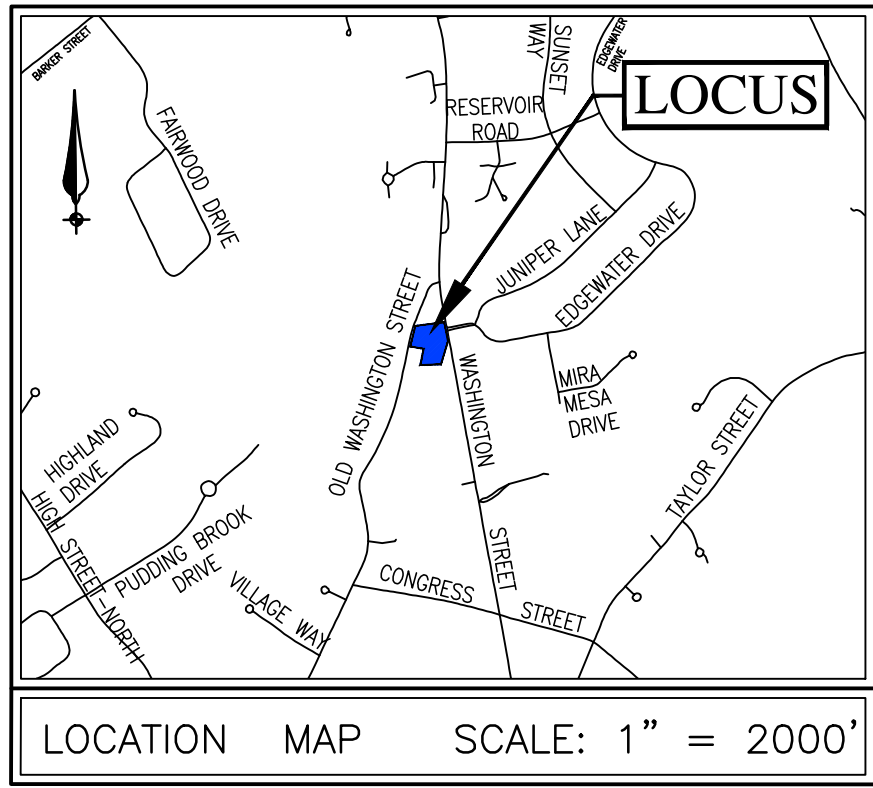


DRAWN BY: PAL

DESIGNED BY: PAL/DA

CHECKED BY: DA

**Merrill**  
Engineers and Land Surveyors  
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200  
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060  
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— VICINITY MAP —

SCALE: 1"=200'

RECORD OWNER:  
ASSESSORS MAP #E10 LOT 10  
631 WASHINGTON STREET  
JOAN MADDY, TRUSTEE  
MADDY TRUST  
631 WASHINGTON STREET  
PEMBROKE, MA 02359  
DEED BOOK 38389 PAGE 201  
LOT 5: PLAN BOOK 10 PAGE 179

DEFINITIVE SITE PLAN  
631 WASHINGTON STREET  
ASSESSORS MAP E10 LOT 10  
PEMBROKE, MASSACHUSETTS

OWNER/APPLICANT  
BILL PAPPASTRATIS  
633 SUMNER STREET  
MARSHFIELD, MA 02050  
(781)248-0277

FEBRUARY 2, 2022

SCALE: AS NOTED

JOB NO. 21-204

LATEST REVISION:

VICINITY & INDEX

PERMIT SET  
NOT FOR  
CONSTRUCTION  
SHEET 1 OF 9



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APPROX.  
HYDRANT  
LOCATION

BRISAN  
WAY

OLD WASHINGTON STREET  
(PUBLIC - 40' WIDTH - DISCONTINUED S.H.L.O.)

### PLANNING BOARD APPROVAL

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COMPLIANCE WITH THE ZONING BY-LAW.

DATE APPROVED: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
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### PEMBROKE TOWN CLERK

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DATE \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

PARCEL ID: E10-24  
N/F  
JOHN D. CANNON  
BOOK: 43712  
PAGE: 326

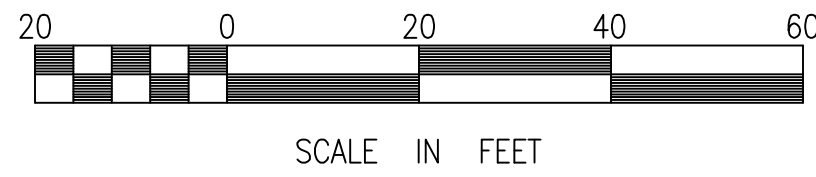
PARCEL ID: E10-25  
N/F  
LOUISE M. BISSCHOP  
BOOK: 19744  
PAGE: 282

PARCEL ID: E10-22  
N/F  
JEFFREY J. THOMAS  
BOOK: 35534 PAGE: 198

PARCEL ID: E10-23  
N/F  
US BANK TRUST  
BOOK: 51984  
PAGE: 59

PARCEL ID: F10-14  
N/F  
THE GREGORY SCOTT  
TRUST OF 2017  
BOOK: 50090  
PAGE: 311

LOT AREA  
105,360 SF  
2.42 AC ±



SCALE IN FEET

LEGEND	
	CONCRETE BOUND W/DRILL
	IRON PIPE FOUND
	DRAIN MANHOLE
	ELECTRIC METER
	GAS GATE
	GAS SERVICE
	MAILBOX
	ROOF HEIGHT
	SEPTIC COVER
	THRESHOLD
	TOP OF FOUNDATION
	DECIDUOUS TREE
	UTILITY POLE
	WATER GATE
	CONTOUR LINE
	LANDSCAPE AREA
	GAS LINE
	OVERHEAD WIRES
	WATER LINE
	FIELD STONEWALL

### RECORD OWNER:

ASSESSORS MAP #E10 LOT 10  
631 WASHINGTON STREET

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MADDY TRUST  
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PEMBROKE, MA 02359  
DEED BOOK 38389 PAGE 201  
LOT 5: PLAN BOOK 10 PAGE 179

### NOTES:

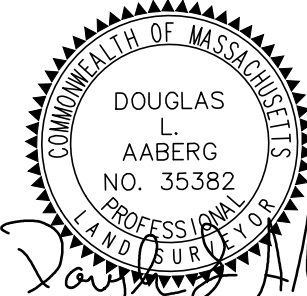
- TOPOGRAPHY AND DETAIL INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS DURING OCTOBER OF 2021. TOPOGRAPHY SUPPLEMENTED W/ NOAA LIDAR WHERE NEEDED.
- ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- SUBJECT SITE IS IN THE "RESIDENTIAL-COMMERCIAL" ZONE AS DEPICTED ON THE TOWN OF PEMBROKE ZONING MAP.
- EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND AVAILABLE RECORD PLANS AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL ENGINEERS AND LAND SURVEYORS DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
- THE PEMBROKE BOARD OF HEALTH DOES NOT HAVE ANY RECORD SEPTIC AS-BUILT PLANS ON FILE.

### FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON COMMUNITY MAP No. 25023C0209K, WHICH BEARS AN EFFECTIVE DATE OF JULY 6, 2021, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

### REVISIONS

NO.	DESCRIPTION	DATE



DRAWN BY: PAL

DESIGNED BY:

CHECKED BY: DA

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JOB NO. 21-204

LATEST REVISION:

### EXISTING CONDITIONS

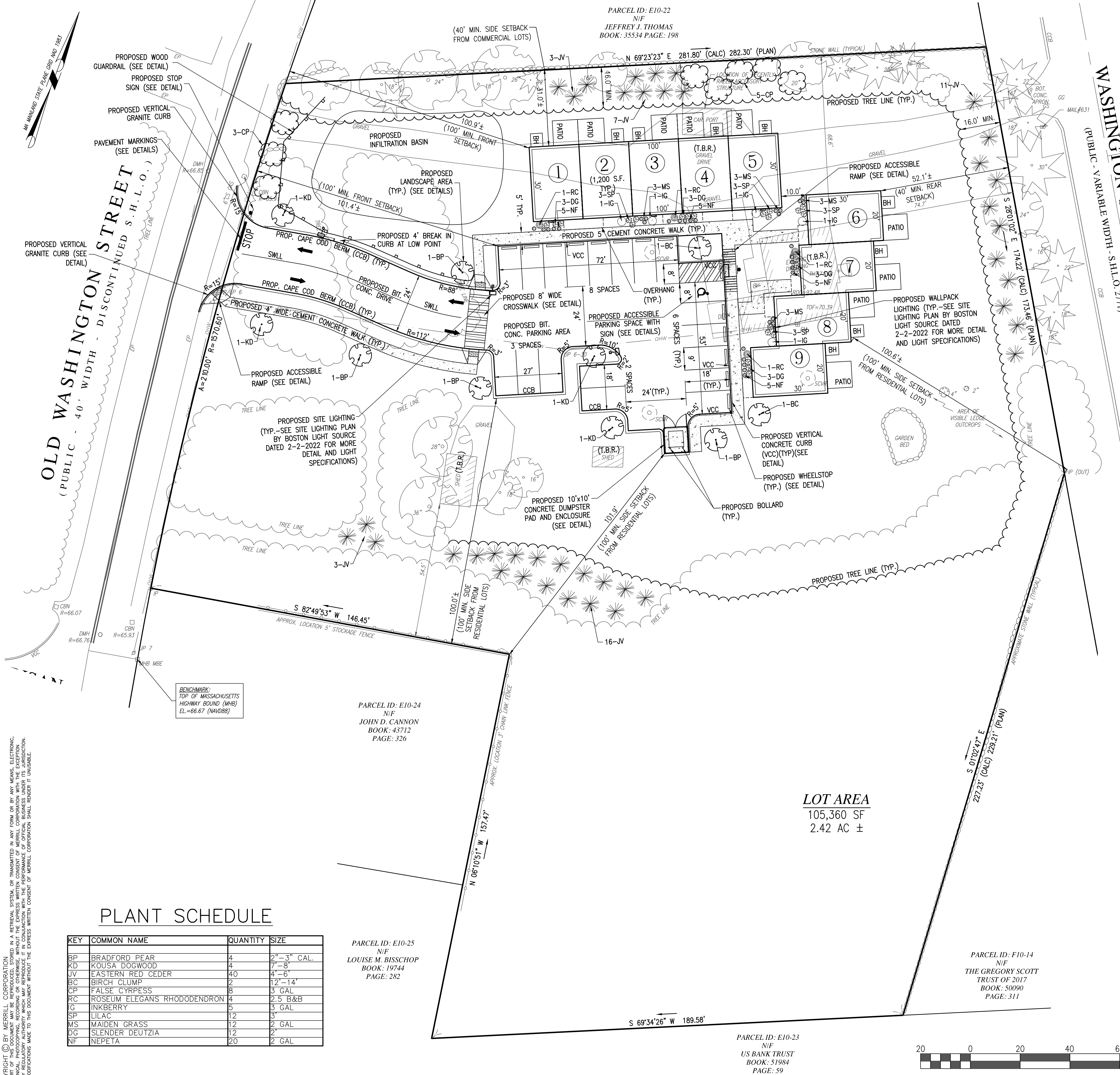
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SHEET 2 OF 9







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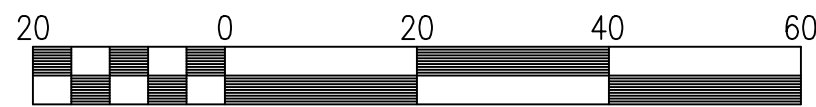
## PLANT SCHEDULE

KEY	COMMON NAME	QUANTITY	SIZE
BP	BRADFORD PEAR	4	2" - 3" CAL.
KD	KOUSA DOGWOOD	4	7" - 8"
JV	EASTERN RED CEDER	40	4" - 6"
BC	BIRCH CLUMP	2	12" - 14"
CP	FALSE CYPRRESS	8	3 GAL
RC	ROSEUM ELEGANS RHODODENDRON	4	2.5 B&B
IG	INKBERRY	5	3 GAL
SP	LILAC	12	3"
MS	MAIDEN GRASS	12	2 GAL
DG	SLENDER DEUTZIA	12	2"
NF	NEPETA	20	2 GAL

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N/F  
LOUISE M. BISSCHOP  
BOOK: 19744  
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PARCEL ID: E10-23  
N/F  
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BOOK: S1984  
PAGE: 59

PARCEL ID: F10-14  
N/F  
THE GREGORY SCOTT  
TRUST OF 2017  
BOOK: 50090  
PAGE: 311



SCALE IN FEET

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## PEMBROKE TOWN CLERK

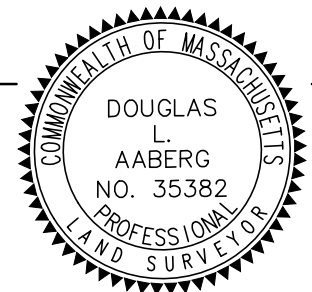
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DATE \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE

I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES SHOWING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.

*Douglas L. Aaberg*  
DOUGLAS L. AABERG, P.L.S.



2/2/2022  
DATE

## ZONING REQUIREMENTS

ZONE: RESIDENTIAL - COMMERCIAL DISTRICT

USE: EXISTING: SINGLE FAMILY DWELLING PROPOSED: MULTI UNIT DWELLING DEVELOPMENT

AREA:	REQUIRED	EXISTING	PROPOSED
	120,000 S.F.	105,870 S.F.	NO CHANGE
	1 UNIT/10,000 S.F.	N/A	1 UNIT/11,763 S.F.
FRONTAGE:	250 FEET	WASHINGTON ST: 173± FEET OLD WASHINGTON ST: 210± FEET	NO CHANGE NO CHANGE
MINIMUM YARD SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT	100 FEET	74.7± FEET	100.9± FEET
SIDE	40 FEET	18.9± FEET	31.0± FEET
SIDE (FROM RESIDENTIAL LOTS)	100 FEET	54.5± FEET	100.0± FEET
REAR	40 FEET	75.7± FEET	52.1± FEET
REAR (FROM RESIDENTIAL LOTS)	100 FEET	N/A	N/A

BUFFERS:			
SIDELINE BUFFER	40 FEET X 0.40 = 16FT	0 FEET	16 FEET
REARLINE BUFFER	40 FEET X 0.40 = 16FT	70± FEET	16 FEET
BUILDING HEIGHT:	2.5 STORIES MAX	2	2 (SEE ARCH. DRAWINGS)
LOT PERIMETER RATIO:	>55	76.2± (EXISTING)	NO CHANGE
LOT COVERAGE	<60%	6.4±%	15.9±% (OR 84.1±% OPEN SPACE)
LOT WIDTH	170 FEET	209.8 FEET	NO CHANGE
BUILDING FLOOR AREA	<35%	4%	10.2%
UNIT COUNT	1 UNIT/10,000 S.F.	10.6 UNITS ALLOWABLE	9 UNITS PROPOSED

## PARKING REQUIREMENTS

2 PARKING SPACES/UNIT: 9 UNITS X 2 SPACES/UNIT = 18 SPACES (MIN)  
19 SPACES PROVIDED (+1 ACCESSIBLE PARKING SPACE)  
SPACE SIZE - 9' x 18'  
AISLE WIDTH - 24'

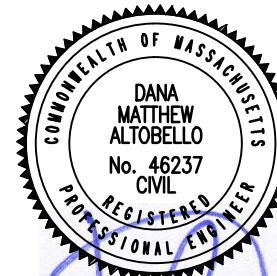
## LANDSCAPING REQUIREMENTS

- 25% OPEN SPACE; 15.9%± PROPOSED
- 1 TREE W/ 60 S.F. PERMEABLE LANDSCAPE AREA PER 6 SPACES:  
19 SPACES x 1 TREE/6 SPACES = 4 TREES (MIN - 7 PROPOSED)
- 50' WIDE MIN. LANDSCAPE BUFFER STRIP WHEN ABUTTING RES. PROPERTIES (70'± PROPOSED)

## REQUIRED RELIEF

- A VARIANCE IS REQUIRED FROM SECTION IV.2.D.5 (SIDE YARDS) TO ALLOW PROPOSED BUILDINGS (31.0'±) TO BE CONSTRUCTED WITHIN THE REQUIRED 40' SETBACK.  
(VARIANCE GRANTED BY ZBA; SEE DECISION OF THE ZONING BOARD OF APPEALS, CASE #11-21 DATED 1/20/22)
- A VARIANCE IS REQUIRED FROM SECTION IV.2.D.1 (LOT SIZES) (105,563± S.F. EXISTING, 120,000 S.F. REQUIRED) (VARIANCE GRANTED BY ZBA; SEE DECISION OF THE ZONING BOARD OF APPEALS, CASE #11-21 DATED 1/20/22)
- A VARIANCE IS REQUIRED FROM SECTION IV.2.D.2 (FRONTAGE) FOR THE MINIMUM REQUIREMENT OF 250' OF CONTIGUOUS FRONTAGE. THE LOT CURRENTLY HAS 210± OF FRONTAGE ALONG OLD WASHINGTON STREET AND 173± ALONG WASHINGTON STREET.  
(VARIANCE GRANTED BY ZBA; SEE DECISION OF THE ZONING BOARD OF APPEALS, CASE #11-21 DATED 1/20/22)
- A WAIVER IS REQUESTED FOR THE APPLICANT TO ALLOW THE OUTER PARKING AREAS AND DRIVEWAY TO BE CONSTRUCTED WITH BITUMINOUS CONCRETE CAPE COD BERM.  
(VARIANCE GRANTED BY ZBA; SEE DECISION OF THE ZONING BOARD OF APPEALS, CASE #11-21 DATED 1/20/22)
- MULTI UNIT DWELLINGS ARE ALLOWED BY SPECIAL PERMIT ISSUED BY THE PLANNING BOARD AS THE SPECIAL PERMIT GRANTING AUTHORITY.

## REVISIONS

DRAWN BY: PAL

DESIGNED BY: PAL/DA

CHECKED BY: DA



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ASSESSORS MAP E10 LOT 10  
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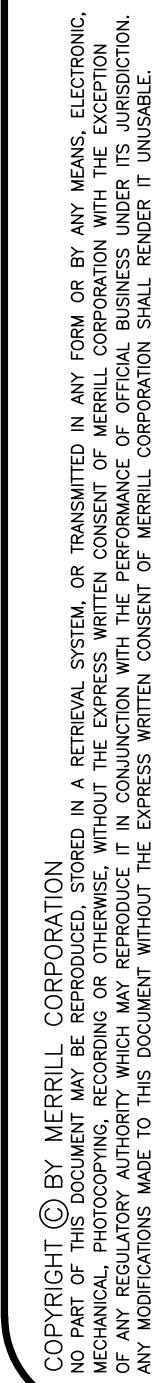
LATEST REVISION:

LAYOUT, ZONING  
& LANDSCAPE PLAN

PERMIT SET  
NOT FOR  
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SHEET 4 OF 9



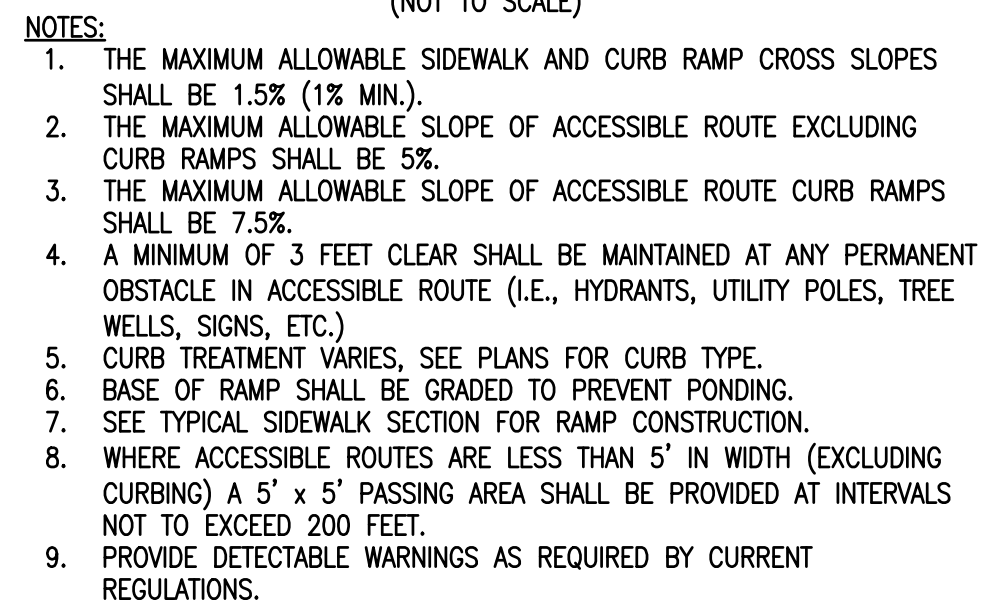
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DATE \_\_\_\_\_

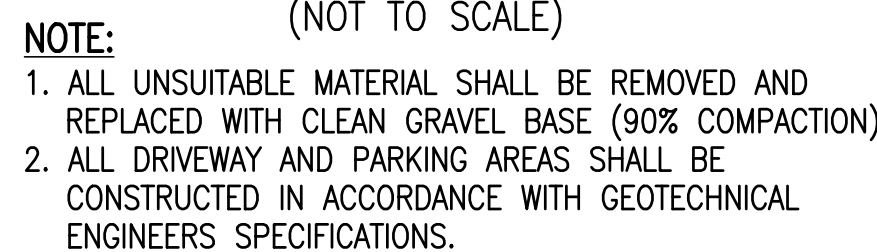
TOWN CLERK, TOWN OF PEMBROKE







\*\* USED FOR DESIGN  
 CURB TRANSITION LENGTH FOR WHEELCHAIR  
 (NOT TO SCALE)



## TOWN CLERK, TOWN OF PEMBROKE

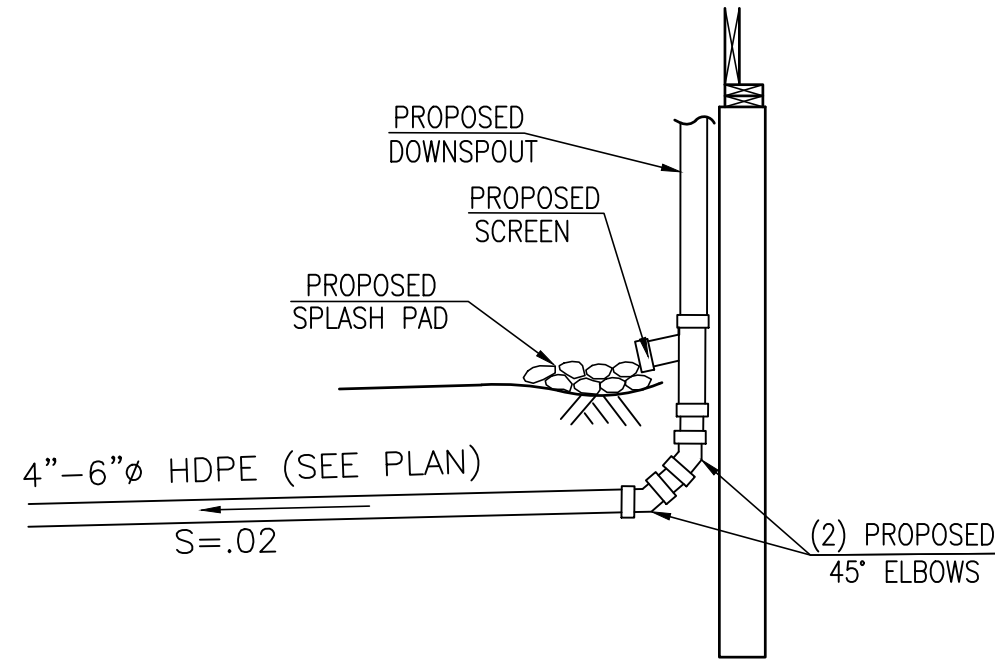
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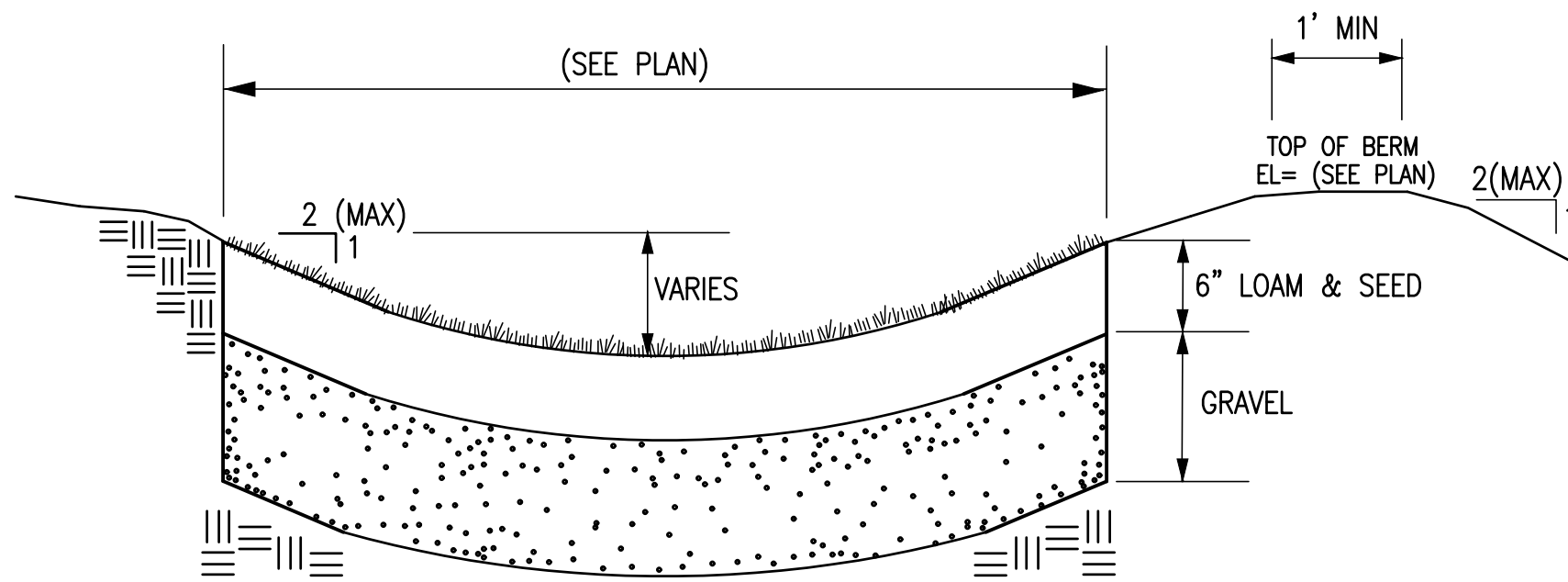
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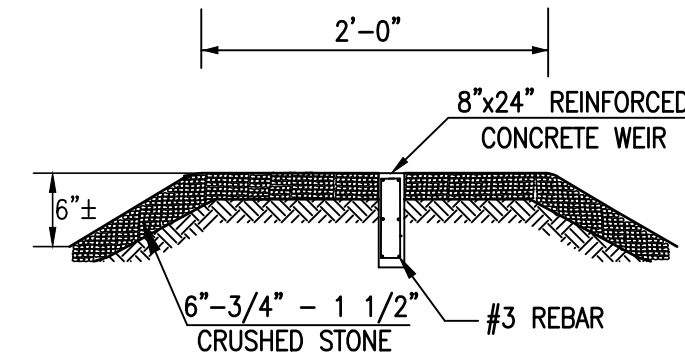
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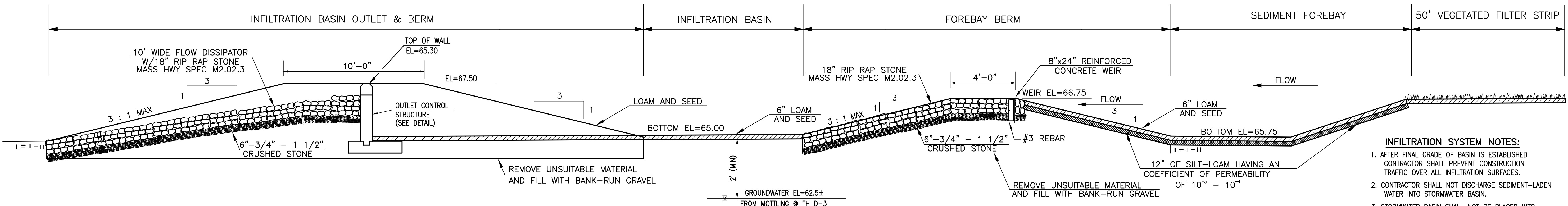
TYPICAL DOWNSPOUT DETAIL  
(NOT TO SCALE)



VEGETATED FILTER STRIP  
(NOT TO SCALE)



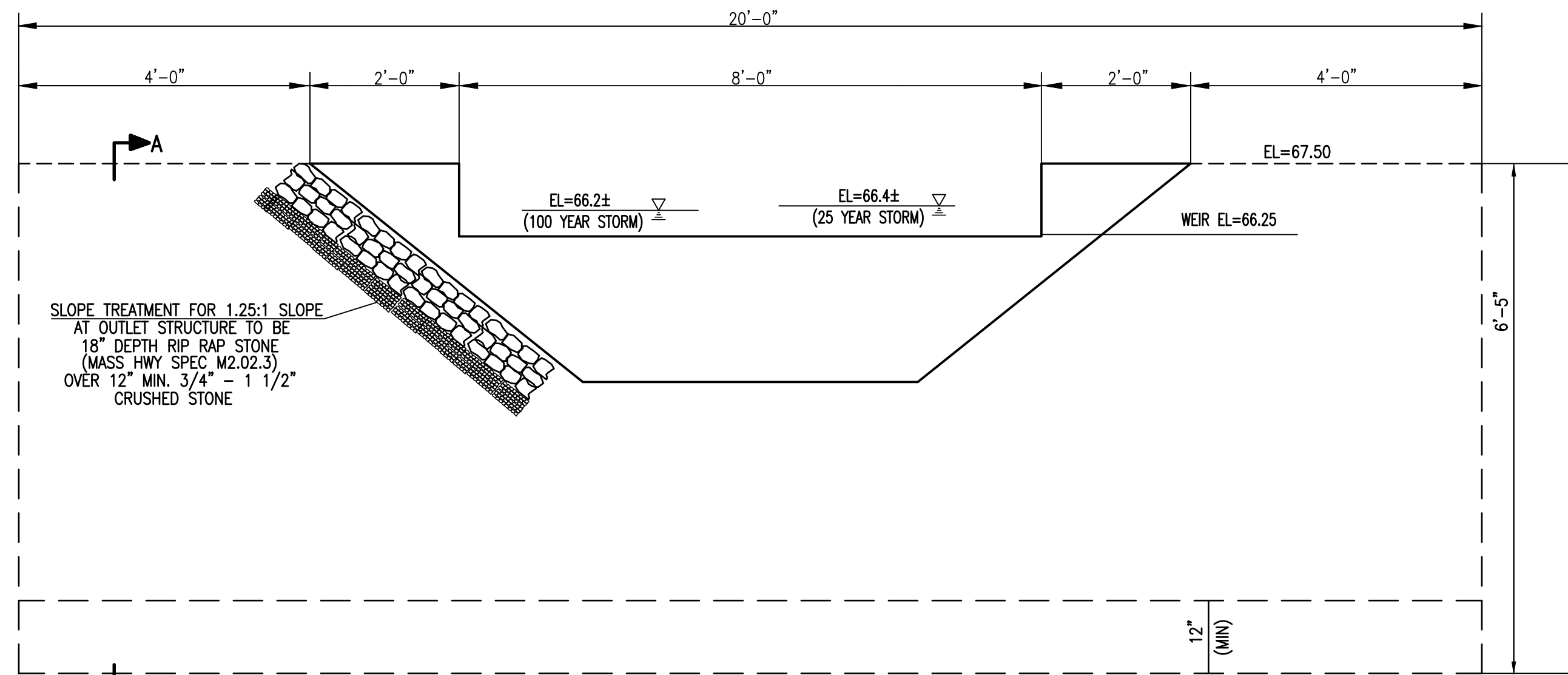
TYPICAL CHECK DAM DETAIL  
(NOT TO SCALE)



SECTION THRU INFILTRATION BASIN  
(NOT TO SCALE)

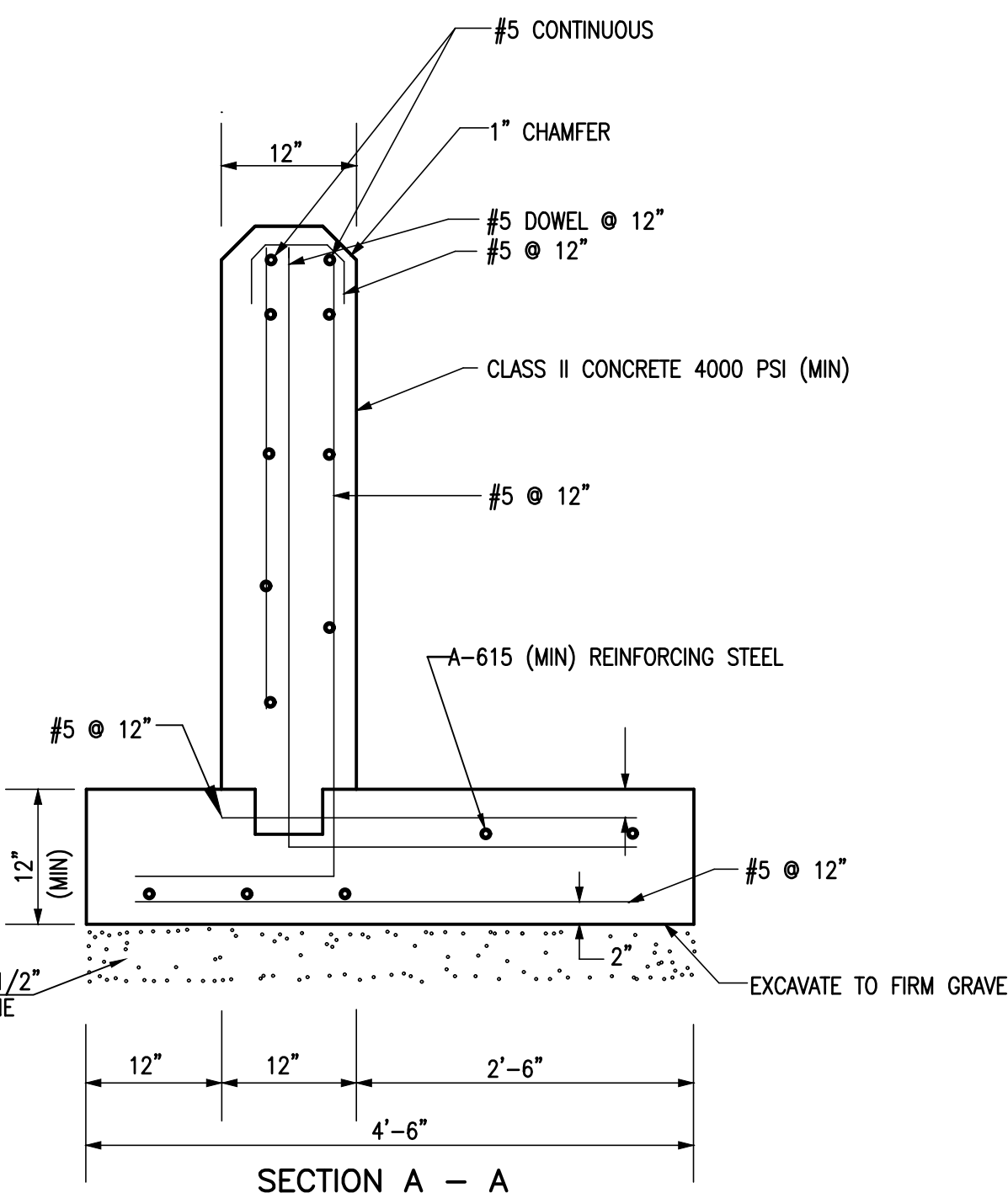
**NOTE:**  
FILL DIKES SHALL BE A COMBINATION OF COMPACTED GRAVEL, SAND AND SILT TO INSURE WATER TIGHTNESS AND STABILITY. (ASTM D2487 TYPE GM OR GC)

- INFILTRATION SYSTEM NOTES:**
1. AFTER FINAL GRADE OF BASIN IS ESTABLISHED CONTRACTOR SHALL PREVENT CONSTRUCTION TRAFFIC OVER ALL INFILTRATION SURFACES.
  2. CONTRACTOR SHALL NOT DISCHARGE SEDIMENT-LADEN WATER INTO STORMWATER BASIN.
  3. STORMWATER BASIN SHALL NOT BE PLACED INTO OPERATION PRIOR TO INSTALLATION OF PAVEMENT AND STABILIZATION OF ALL SURFACES CONTRIBUTING TO CLOSED DRAINAGE SYSTEM.
  4. EXCAVATE ALL MATERIAL BELOW INFILTRATION BASIN TO GRAVELLY COARSE SAND LAYER (SEE LOGS) AND REPLACE WITH CLEAN COARSE FILL IN ACCORDANCE WITH 310 CMR 15.255.



ELEVATION

DETAIL - INFILTRATION BASIN OUTLET STRUCTURE  
(NOT TO SCALE)



SECTION A - A

## SOIL LOGS

PERFORMED BY: JOSHUA GREEN, E.I.T.

T.H. D-1 DATE: 7/27/21 EL. 68.5±	T.H. D-2 DATE: 7/27/21 EL. 67.0±	T.H. D-3 DATE: 7/27/21 EL. 67.1±	T.H. 22-10 DATE: 1/21/22 EL. 68.4±	T.H. 22-20 DATE: 1/21/22 EL. 69.2±
0'-5" Ap HORIZON SANDY LOAM 10YR 3/2 68.0	0'-10" Ap HORIZON SANDY LOAM 10YR 3/2 66.2	0'-5" Ap HORIZON LOAMY SAND 10YR 3/2 66.7	0'-10" Ap HORIZON LOAMY SAND 10YR 3/2 67.6	0'-14" Ap HORIZON SANDY LOAM 10YR 3/2 68.1
6'-26" Bw HORIZON SANDY LOAM 10YR 5/4 66.3	10'-32" Bw HORIZON LOAMY SAND 10YR 5/4 64.3	5'-26" Bw HORIZON LOAMY SAND 10YR 5/4 64.9	10'-28" Bw HORIZON LOAMY SAND 10YR 5/4 66.1	14'-60" C1 HORIZON SANDY LOAM 2.5Y 6/2 63.1
26'-144" C1 LAYER SANDY LOAM 2.5Y 6/4 66.3	32'-88" C1 LAYER LOAMY SAND 2.5Y 6/4 59.7	26'-128" C1 LAYER SANDY LOAM 2.5Y 6/4 56.4	28'-58" C1 LAYER LOAMY SAND 2.5Y 6/2 63.6	60'-92" C2 LAYER MED. SAND 2.5Y 5/2 61.6
D=144" C2 LAYER SANDY LOAM 2.5Y 5/2 EL. 61.0±	88'-144" C2 LAYER SANDY LOAM 2.5Y 5/2 55.0	D=128" C2 LAYER LOAMY SAND 10YR 4/4 EL. 62.5±	58'-68" C2 LAYER LOAMY SAND 10YR 4/4 62.7	D=92" C2 LAYER LOAMY SAND 10YR 4/4 EL. 65.7±
	D=144" C3 LAYER LOAMY SAND 2.5Y 6/2 EL. 60.7±		68'-98" C3 LAYER LOAMY SAND 2.5Y 6/2 60.2	D=98" C3 LAYER LOAMY SAND 2.5Y 6/2 EL. 64.4±

## PLANNING BOARD APPROVAL

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DATE APPROVED: \_\_\_\_\_

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## PEMBROKE TOWN CLERK

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SHEET 7 OF 9



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- A detailed cross-sectional diagram of a fire hydrant installation. The hydrant body is shown vertically, with labels indicating its components: "MUELLER CENTURION HYDRANT (OPENS LEFT)" at the top, "SET FLANGE 2\"-4\" ABOVE GRADE" below it, and "FINISH GRADE" further down. A dimension of "8\"" is shown between the set flange and the finish grade. The hydrant is surrounded by "2 LAYERS OF 15 LB. TAR SATURATED FELT" and "2 CU. FT. CRUSHED STONE AROUND DRIP". Below the stone is a layer of "BARREL BLOCKS FOR THRUST CONTROL". The hydrant is connected to a horizontal pipe labeled "HYDRANT CONNECTION TO MAIN". This connection is made through a "6\" C.I. GATE VALVE (OPEN RIGHT)" and a "6\" D.I.P.". The main pipe is labeled "CONNECT TO 8\" CLDI WATER MAIN". The hydrant has a "5'-0\" MIN. COVER" over the gate valve. The entire assembly is supported by "18\" GRAVEL BEDDING". Other labels include "SLOPE", "8\" C.I. VALVE (MUELLER, OPEN RIGHT) BOX AND COVER", "REINFORCED CONCRETE OR MASONRY PAD", and "PROPOSED 8'x8' TEE".
- MUELLER CENTURION  
HYDRANT (OPENS LEFT)
- SET FLANGE 2"-4"  
ABOVE GRADE
- FINISH GRADE
- SLOPE
- 8" C.I. VALVE  
(MUELLER, OPEN RIGHT)  
BOX AND COVER
- 5'-0" MIN.  
COVER
- REINFORCED CONCRETE  
OR MASONRY PAD
- 6" C.I. GATE VALVE  
(OPEN RIGHT)
- 6" D.I.P.
- 2 LAYERS OF 15 LB.  
TAR SATURATED FELT
- 2 CU. FT. CRUSHED  
STONE AROUND DRIP
- BARREL BLOCKS  
FOR THRUST CONTROL
- CONNECT TO 8" CLDI  
WATER MAIN
- HYDRANT CONNECTION TO MAIN
- 18" GRAVEL  
BEDDING
- PROPOSED 8"x8" TEE
- ## HYDRANT DETAIL
- (NOT TO SCALE)

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY. ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
3. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
4. PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
5. ALL GRAVITY SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.) S.D.R. 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
6. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
7. PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACKFILL AND COMPACTION FOR THE GAS LINE.
8. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.

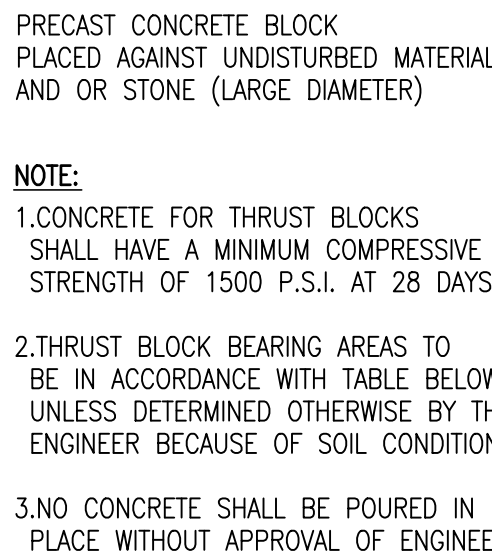
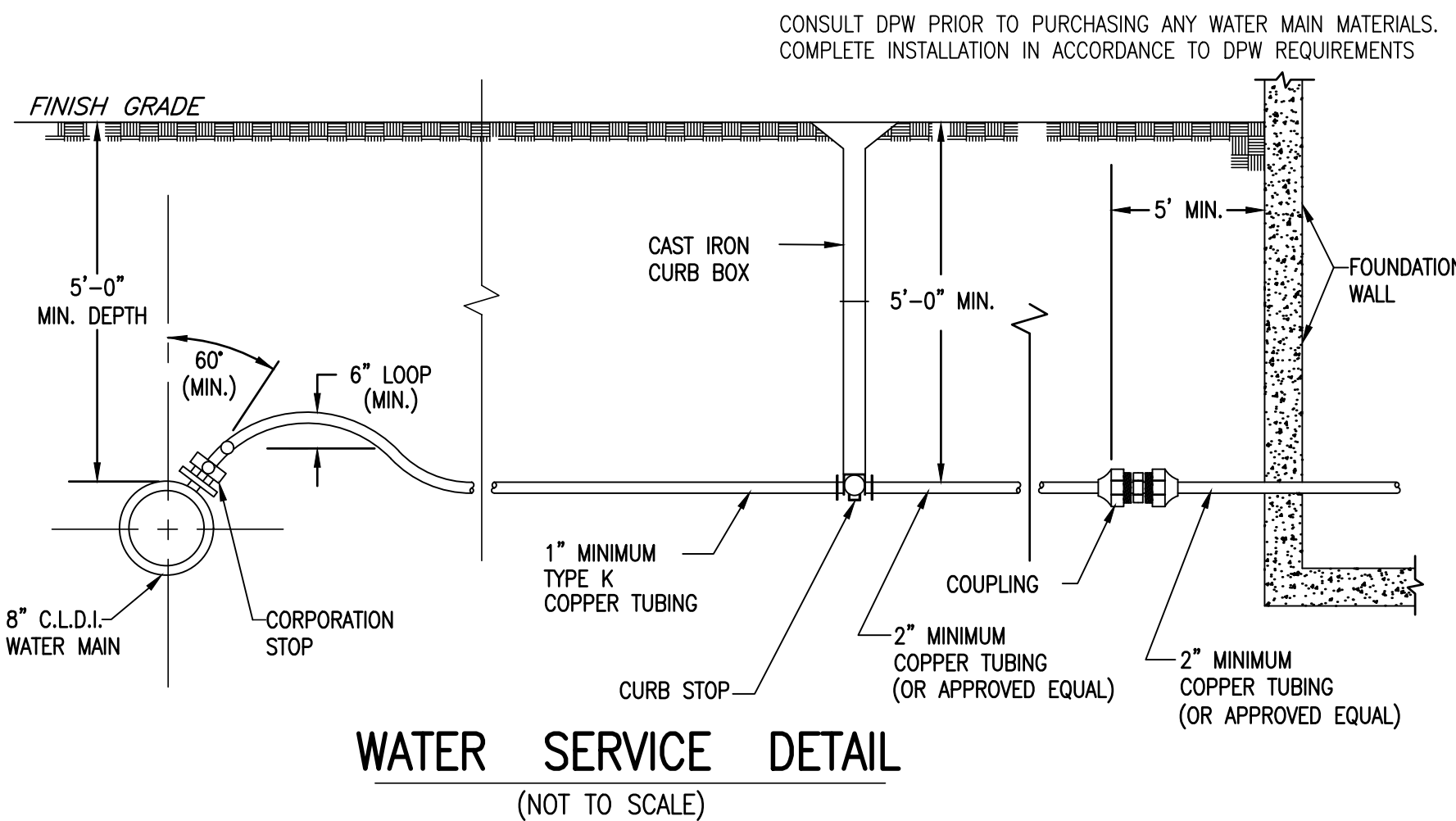
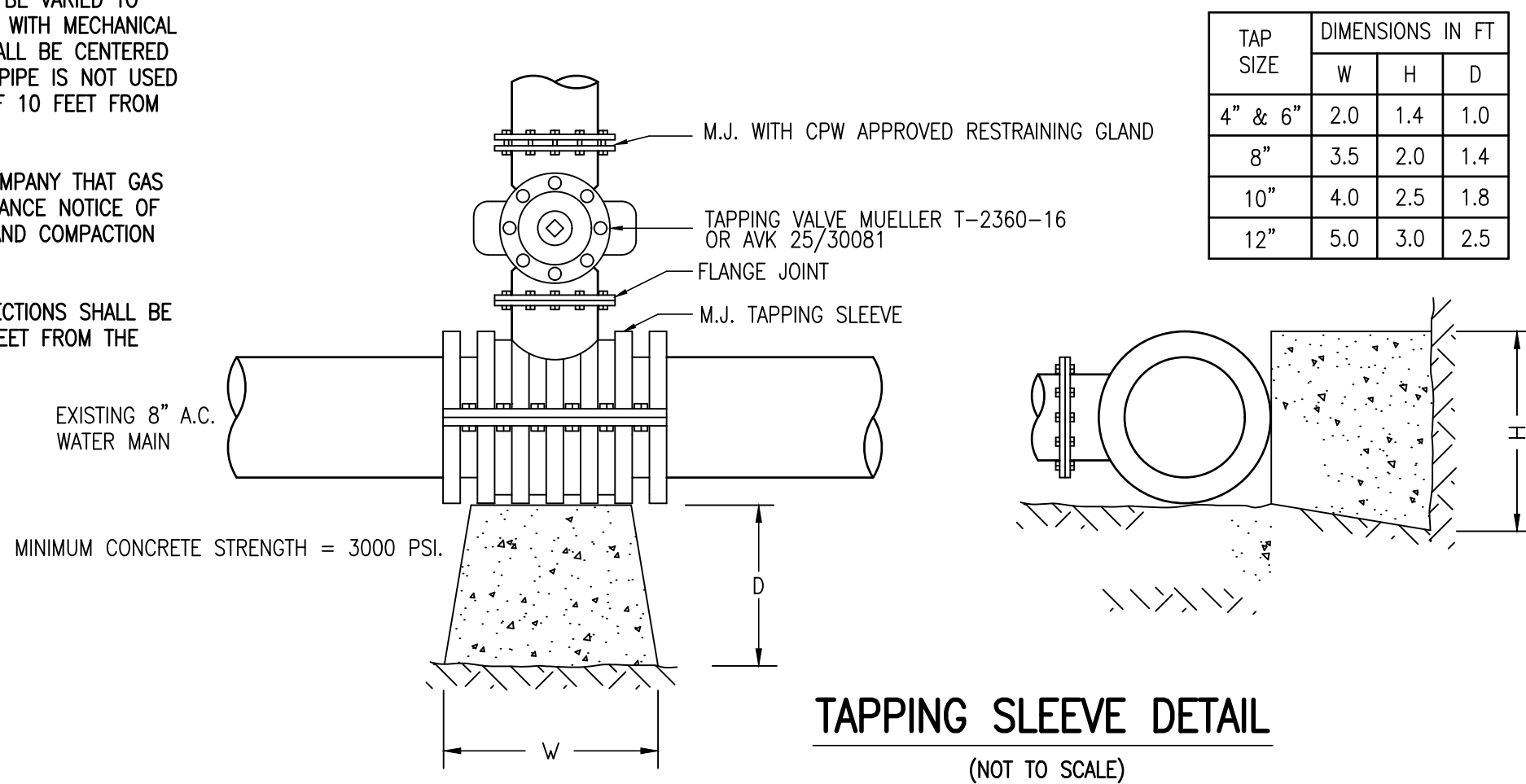


TABLE OF BEARING AREAS (S.F.)			
SIZE OF MAIN(IN)	90° BEND	TEES & PLUGS	45° BEND
8	5	4	3

(NOT TO SCALE)



THIS SITE PLAN DOES NOT NECESSARILY INDICATE  
COMPLIANCE WITH THE ZONING BY-LAW.

[illegible]

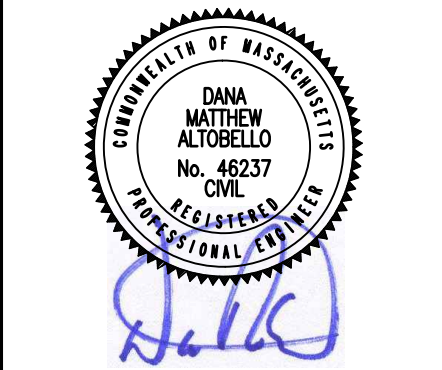
TAP SIZE	DIMENSIONS IN FT		
	W	H	D
4" & 6"	2.0	1.4	1.0
8"	3.5	2.0	1.4
10"	4.0	2.5	1.8
12"	5.0	3.0	2.5

1. TAPPING SADDLES ARE NOT ALLOWED FOR MAIN-ON-MAIN TAPS.
2. USE MUELLER OR AMERICAN DARLING DUCTILE IRON OR 316 STAINLESS STEEL TAPPING SLEEVES FOR TAP SIZES 4" - 24".
3. USE 316 STAINLESS STEEL TAPPING SLEEVES BY DRESSER OR CASCADE FOR TAPS ON MAINS 30" AND GREATER.
4. BOLTS AND NUTS FOR ALL TAPPING SLEEVES SHALL BE 316 SS.
5. USE THRUST BLOCKING ONLY FOR WET TAPS UNLESS OTHERWISE APPROVED BY CPW.
6. DEPTH FROM GROUND SURFACE TO TOP OF BLOCKING SHALL BE GREATER THAN HEIGHT OF BLOCKING.
7. THE END OF THE TAPPING SLEEVE SHALL BE NO CLOSER THAN 4 FEET TO A JOINT.

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA  
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL  
OF THIS PLAN BY THE PLANNING BOARD HAS BEEN  
RECEIVED AND RECORDED AT THIS OFFICE AND NO  
APPEAL WAS RECEIVED DURING THE NEXT TWENTY  
DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_

\_\_\_\_\_  
TOWN CLERK, TOWN OF PEMBROKE



DESIGNED BY:

**Merrill**  
Engineers and Land Surveyors  
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200  
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060  
WWW.MERRILL-INC.COM

631 WASHINGTON STREET  
ASSESSORS MAP E10 LOT 10  
PEMBROKE, MASSACHUSETTS

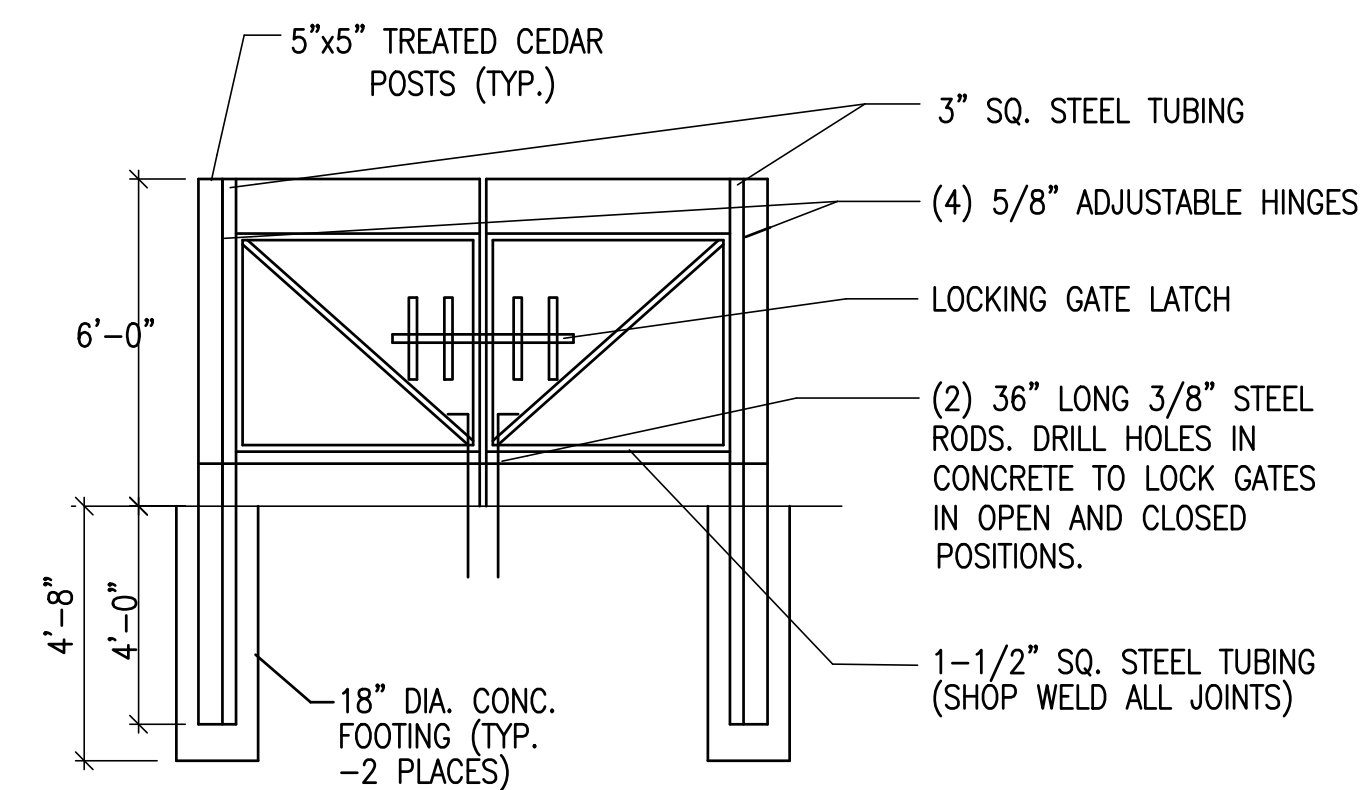
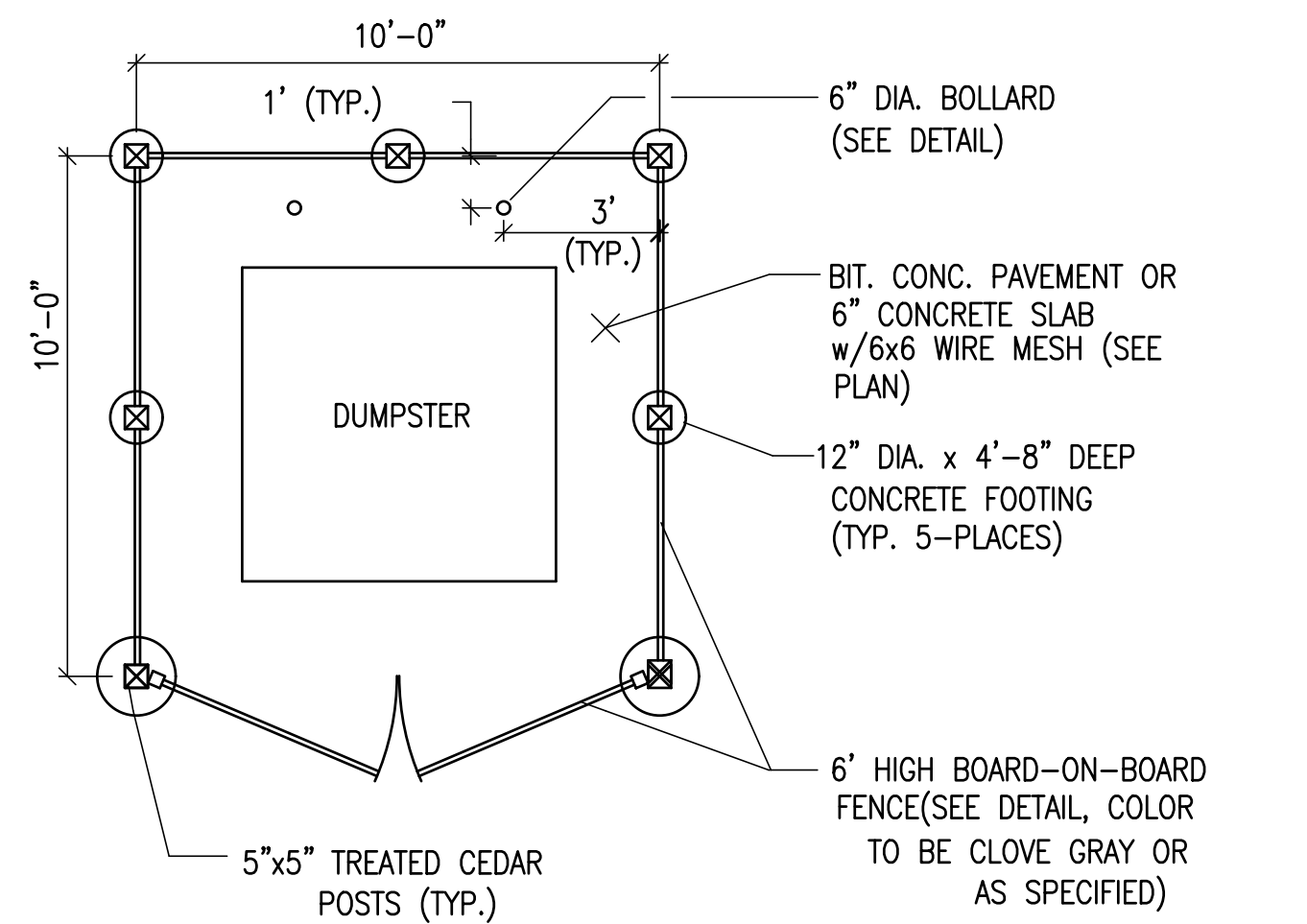
OWNER/APPLICANT  
BILL PAPPASTRATIS  
633 SUMMER STREET  
MARSHFIELD, MA 02050  
(781)248-0277

(781)248-0277

LATEST REVISION:

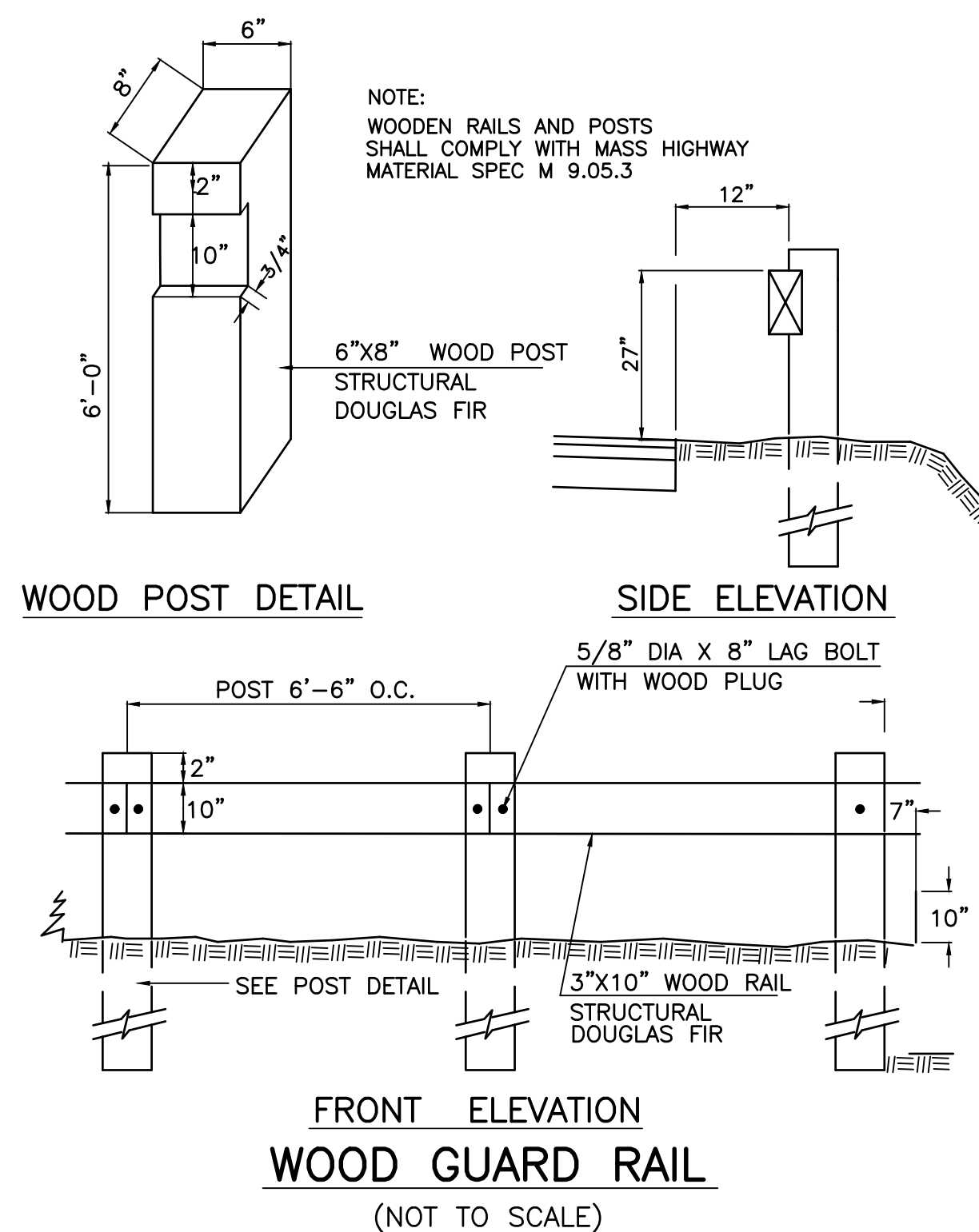
PERMIT SET  
NOT FOR  
CONSTRUCTION  
SHEET 8 OF 9





### TRASH ENCLOSURE DETAIL

(NOT TO SCALE)



THIS SITE PLAN DOES NOT NECESSARILY INDICATE  
COMPLIANCE WITH THE ZONING BY-LAW.

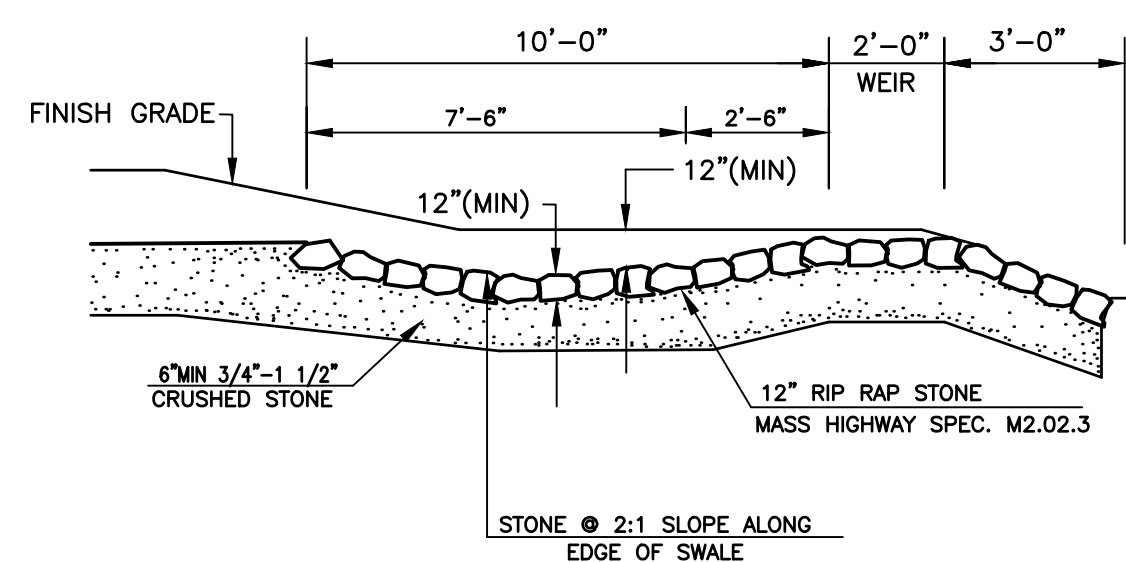
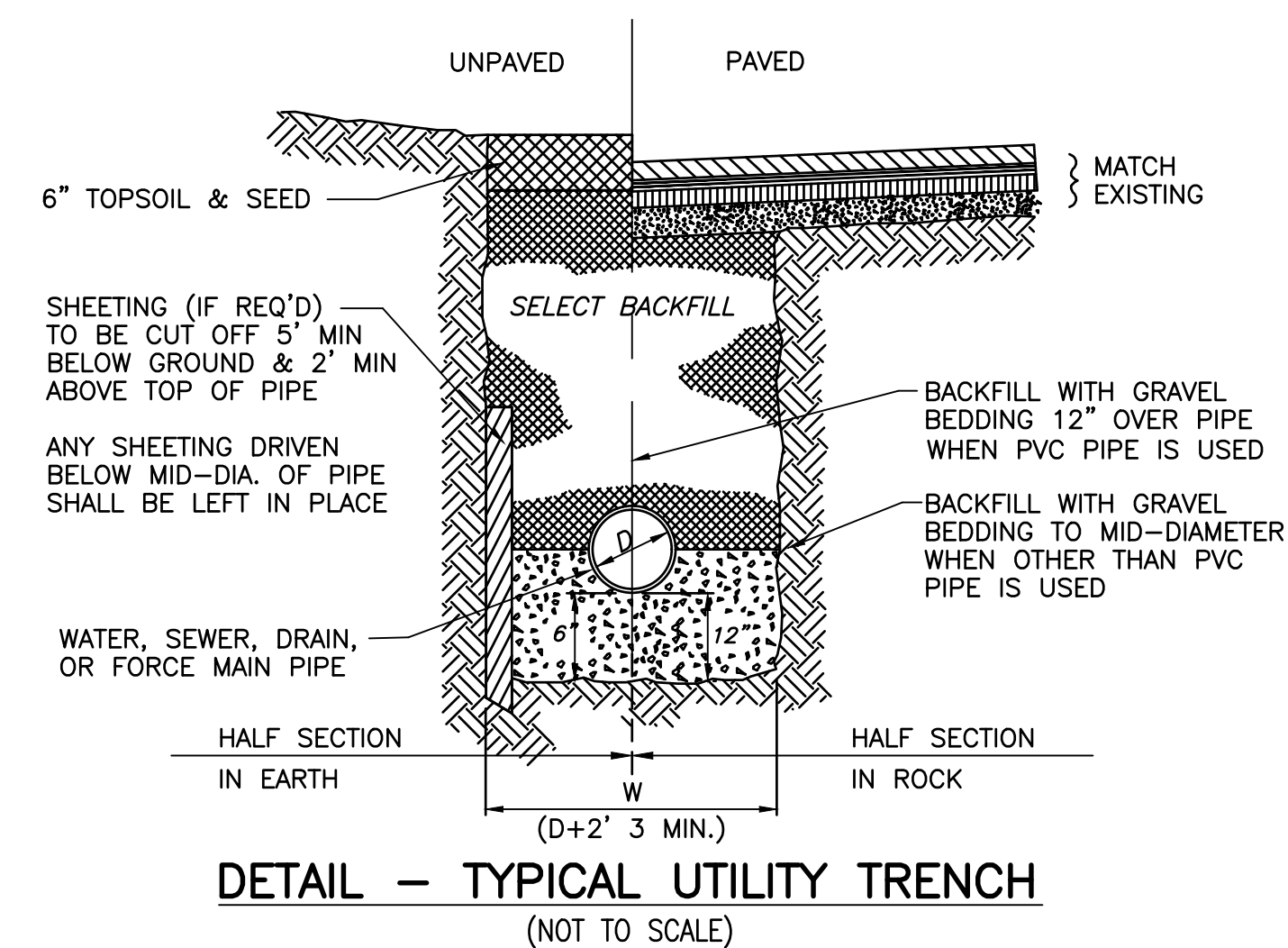
DATE APPROVED: \_\_\_\_\_

PEMBROKE TOWN CLERK

I, TOWN CLERK OF THE TOWN OF PEMBROKE, MA  
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL  
OF THIS PLAN BY THE PLANNING BOARD HAS BEEN  
RECEIVED AND RECORDED AT THIS OFFICE AND NO  
APPEAL WAS RECEIVED DURING THE NEXT TWENTY  
DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

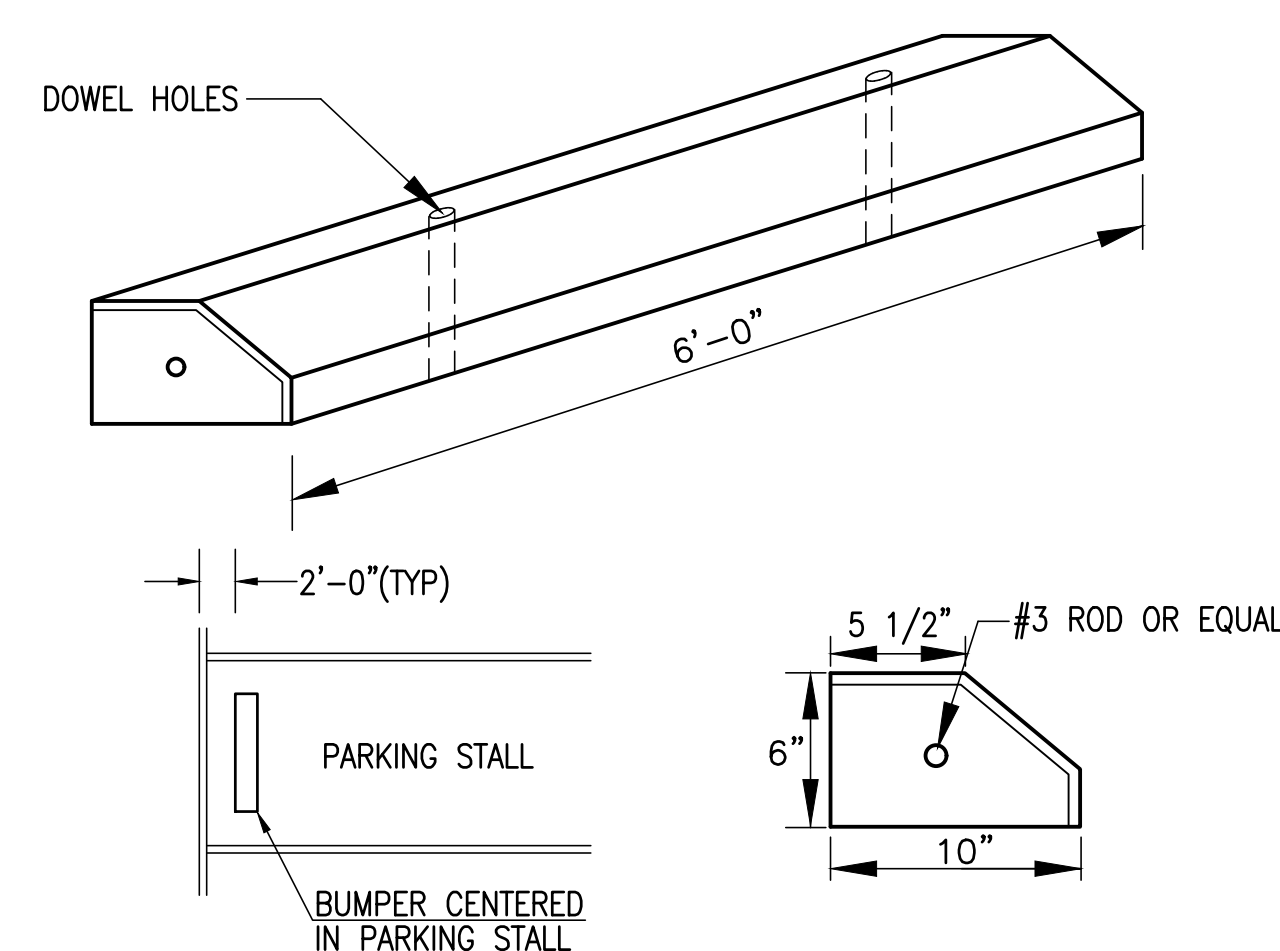
DATE \_\_\_\_\_

TOWN CLERK, TOWN OF PEMBROKE



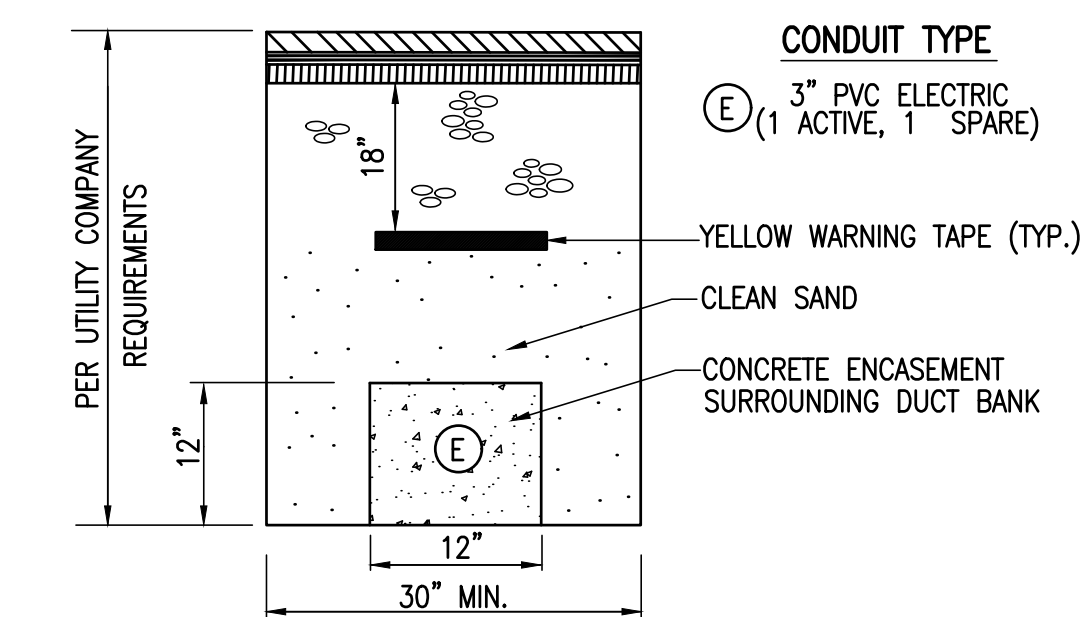
SILT TRAP EROSION CONTROL PAD – NO PIPE  
(NOT TO SCALE)

(FOR ADDITIONAL CONSTRUCTION INFORMATION SEE "SILT TRAP EROSION CONTROL PAD WITH INLET PIPE" DETAIL)



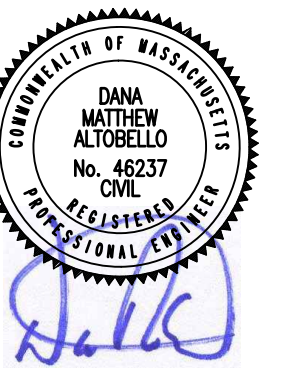
NOTE:  
FOR INSTALLATION OF EACH BUMPER LOG, DRIVE (2) 5/8" DIA x 15" LONG STEEL RODS THROUGH PROVIDED OPENINGS IN BUMPER LOG AND INTO PAVEMENT UNTIL FLUSH WITH TOP OF BUMPER LOG(FOR PLACEMENT OF LOG, SEE DIAGRAM ABOVE)

### PRECAST CONCRETE WHEELSTOP DETAIL



### UNDERGROUND ELECTRICAL TRENCH DETAIL

## REVISIONS

DRAWN BY: PAL

DESIGNED BY:

CHECKED BY: DA

**Merrill**  
Engineers and Land Surveyors  
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200  
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060  
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631 WASHINGTON STREET  
ASSESSORS MAP E10 LOT 10  
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BILL FAY FASHIONS  
633 SUMMER STREET  
MARSHFIELD, MA 02050  
(781)248-0277

FEBRUARY 2, 2022

SCALE: AS NOTED

JOB NO. 21-204

LATEST REVISION:

## CONSTRUCTION DETAILS

PERMIT SET  
NOT FOR  
CONSTRUCTION

SHEET 9 OF 9