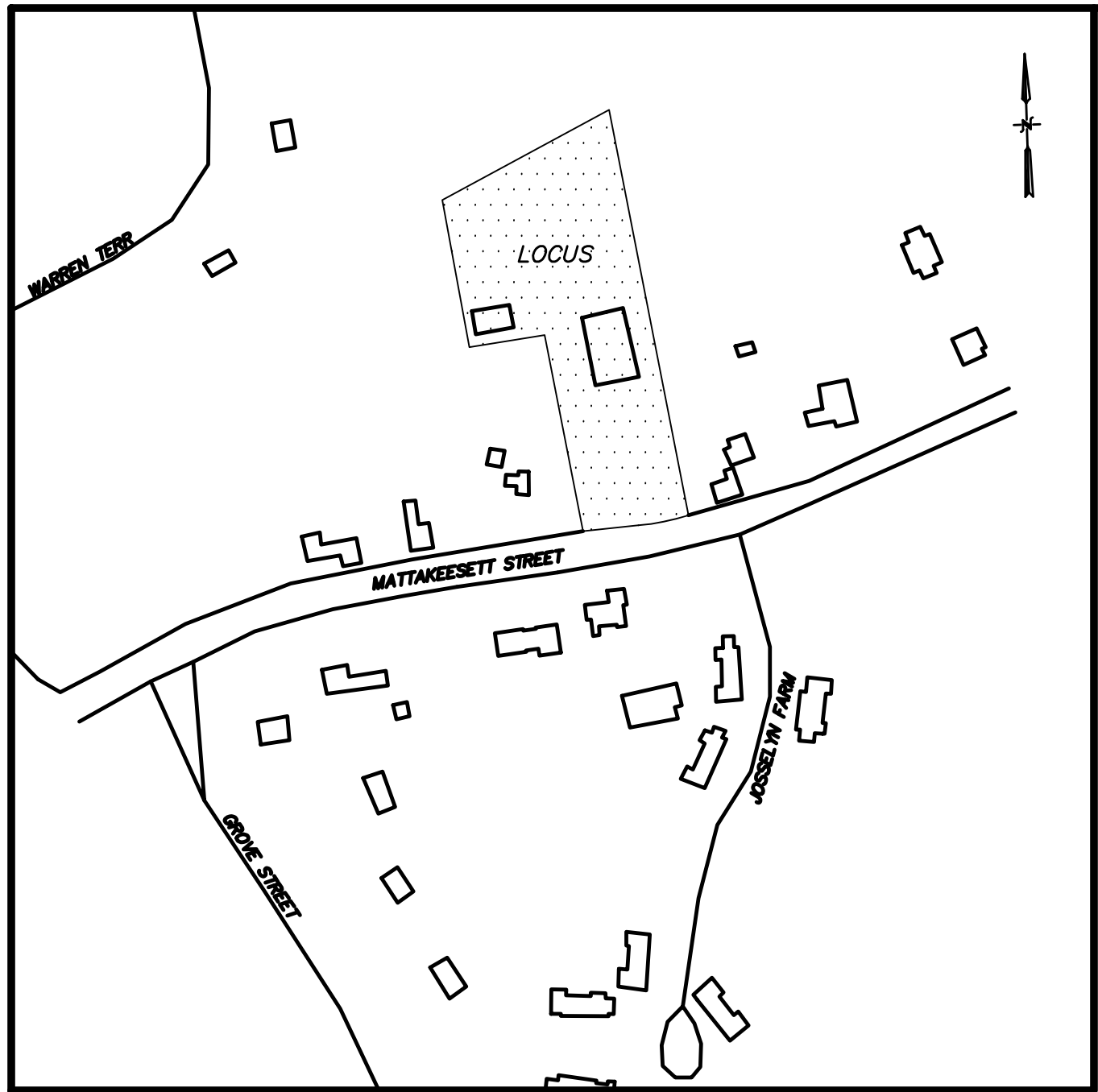


PROPOSED SITE PLAN - 43 MATTAKEESETT STREET
CENTER PROTECTION & RESIDENTIAL A DISTRICT DEVELOPMENT
(ASSESSOR'S PARCEL C9-17)
PEMBROKE, MASSACHUSETTS



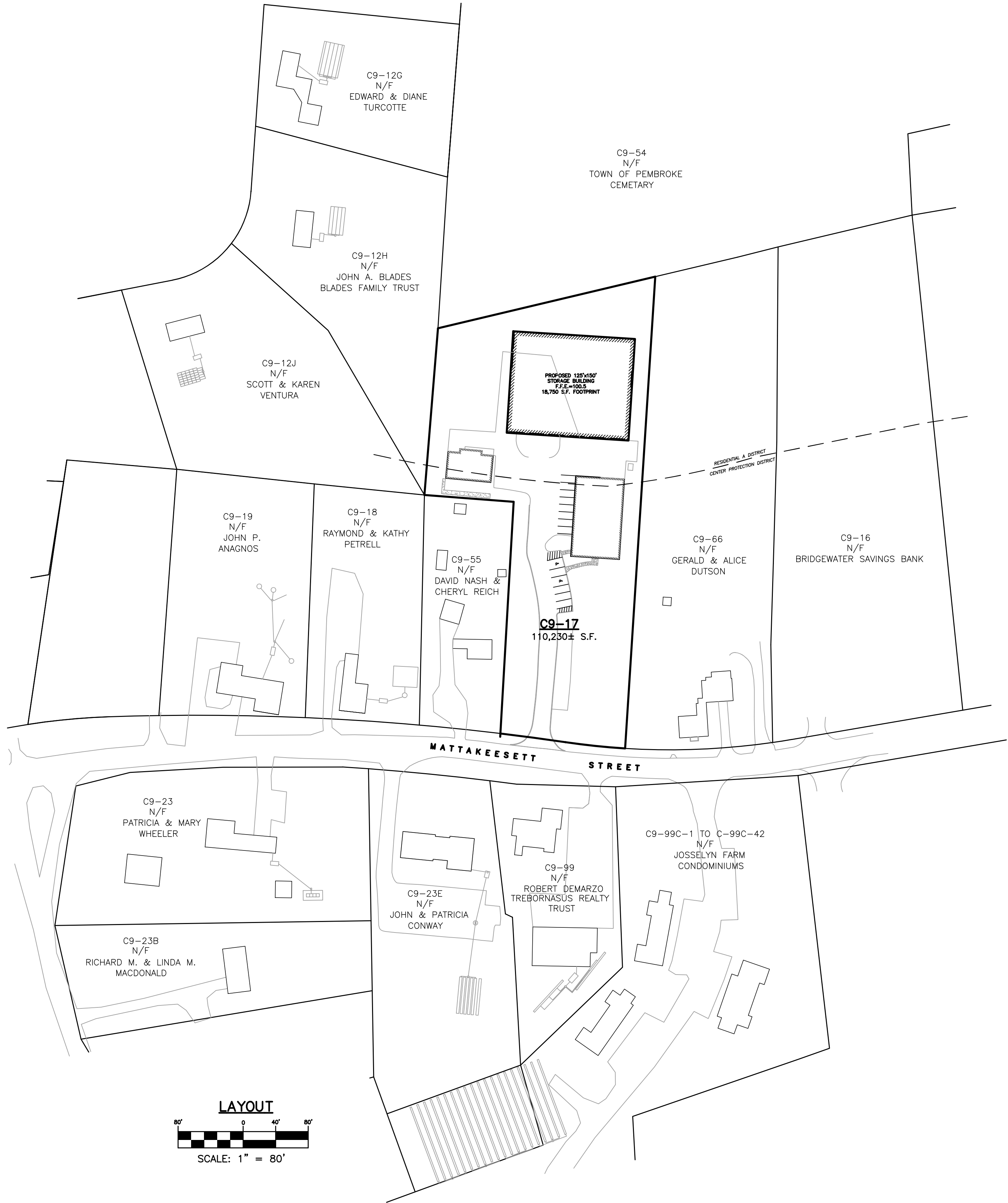
SITE LOCUS
1"=200'

INDEX TO DRAWINGS

PLAN	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES, LEGEND, & ABBREVIATIONS
3	EXISTING CONDITIONS PLAN
4	SITE PLAN & GRADING & UTILITIES PLAN
5	LANDSCAPING PLAN
6	CONSTRUCTION DETAIL SHEETS

LIST OF REQUESTED SITE PLAN WAIVERS

- SEC. 4.7: LANDSCAPE PLAN BY REGISTERED LANDSCAPE ARCHITECT.
SEC. 4.15 & SEC. 6: DEVELOPMENT IMPACT STATEMENT.
SEC. 4.22: TRAFFIC IMPACT STUDY.
SEC. 5.1.2: 3' LANDSCAPE STRIP ALONG FOUNDATION.
SEC. 5.1.6: 50' LANDSCAPE BUFFER TO RESIDENTIAL.
SEC. 5.6.1: PAVED ACCESS (TO SECONDARY OVERHEAD DOORS ON SIDE OF BUILDING).



LAYOUT
SCALE: 1" = 80'

OWNER

OLD SALT REALTY TRUST
387 MAIN STREET
PLYMPTON, MA 02367

APPLICANT

JEFFREY PERETTE
387 MAIN STREET
PLYMPTON, MA 02367

FOR REGISTRY USE ONLY

THIS SITE PLAN APPROVAL DOES NOT
NECESSARILY INDICATE COMPLIANCE
WITH THE PEMBROKE ZONING BY-LAW

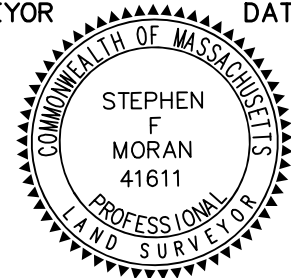
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PEMBROKE PLANNING BOARD

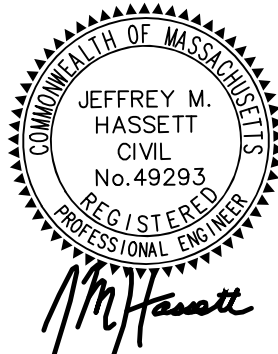
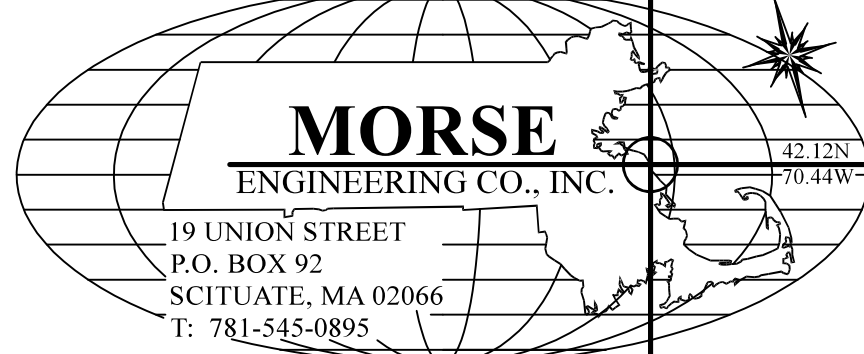
I, _____ TOWN CLERK OF THE
TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT
THE NOTICE OF APPROVAL OF THIS PLAN BY
THE PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND NO
APPEAL WAS RECEIVED DURING THE NEXT
TWENTY DAYS AFTER RECEIPT AND RECORDING
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- I CERTIFY THAT :
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4/16/2020
REGISTERED LAND SURVEYOR DATE



ENGINEERED BY:



PROJECT:	PROPOSED SITE PLAN 43 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-17) PEMBROKE, MASSACHUSETTS 02359	DESIGN: CRM
PREPARED FOR:	JEFFREY PERETTE 387 MAIN STREET PLYMPTON, MA 02367	JOB NO: 19-143
PLAN TITLE:	COVER SHEET	DATE: 2/26/2020
		REV: 4/16/2020
		SHEET: 1 OF 5

ABBREVIATIONS

APPROX	APPROXIMATE
CNTY BND	COUNTY BOUND
CCB	CAPE COD BERM
CIP	CAST IN PLACE CONCRETE CURB
CONCRETE	CONCRETE
DMH	DRAINAGE MANHOLE
E	ELECTRIC
FND.	FOUND
ELEV	ELEVATION
EXIST	EXISTING
FES	FLARED END SECTION
G	GAS
I	INVERT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PROP	PROPOSED
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
S	SEWER
SB/DH	STONE BOUND/DRILL HOLE
TYP	TYPICAL
UP	UTILITY POLE
W	WATER

LEGEND

EXISTING	PROPOSED	
-----55-----	-----100-----	CONTOUR ELEVATION
	-----	EROSION CONTROL / LIMIT OF WORK
x100.2	+100.00	SPOT GRADE
○	⊙	DRAIN MANHOLE (DMH)
■	■	CATCH BASIN (CB)
⊙	⊙	ROOF DRYWELLS
○	○	UTILITY POLE (UP)
○	○	DECIDIOUS TREE
		LIGHT
—	—	SIGN
♿	♿	VAN-ACCESSIBLE HANDICAP PARKING
—	—	FENCE
▤	▤	HANDICAP RAMP
~~~~~	~~~~~	TREE LINE

GENERAL NOTES

- LOCUS OWNER: ASSESSOR'S MAP C9, PARCEL 17  
OLD SALT REALTY TRUST  
387 MAIN STREET  
PLYMPTON, MASSACHUSETTS 02367
- DEED BOOK REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS  
DEED BOOK 20047, PAGE 89
- LOCUS IS SHOWN AS ASSESSOR'S MAP C9, PARCEL 17  
TOWN OF PEMBROKE ASSESSOR'S MAPS. TOTAL AREA = 2.53± ACRES
- LOCUS IS LOCATED IN RESIDENTIAL A AND CENTER PROTECTION DISTRICTS
- LOCUS FALLS WITHIN ZONE "X" AS SHOWN ON THE FIRM COMMUNITY  
PANEL NO: 25023C 0204J DATED JULY 17, 2012. ZONE "X" IS NOT A  
SPECIAL FLOOD HAZARD AREA.
- ALL EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION WAS OBTAINED FROM AN ON-SITE  
SURVEY CONDUCTED BY GRADY CONSULTING, L.L.C. IN APRIL 2015.
- ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM  
AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES  
SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE  
UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN  
UTILITY INFORMATION BY CONTACTING DIGSAFE (888-344-7233). THE CONTRACTOR  
SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.
- ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO  
INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND  
ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH THE APPLICABLE  
STANDARDS AND REGULATION.
- NO WETLAND RESOURCE AREAS WERE OBSERVED ON-SITE BY MORSE ENGINEERING COMPANY, INC.  
DURING JULY 2019.
- EXISTING BUILDING AND SEPTIC SYSTEM LOCATIONS SHOWN ON ABUTTING PROPERTIES  
WERE COMPILED FROM AVAILABLE DATA ON RECORD AT THE PEMBROKE BOARD OF HEALTH.

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION  
OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON  
RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN  
IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR  
COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL  
BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.  
THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING  
PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION  
WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE  
NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION  
AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK.  
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING  
UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL  
CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- SEE PLANS 6 FOR CONSTRUCTION DETAILS, NOTES, AND SPECIFICATIONS.  
THE CONTRACTOR SHALL PROVIDE INLET PROTECTION, SUCH AS SILT SOCKS, AT ALL  
CATCH BASINS TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION / DETENTION BASIN.

PLAN REFERENCES:

- PLAN BOOK 9 PAGE 435
- PLAN BOOK 7 PAGE 43
- PLAN BOOK 7 PAGE 50
- PLAN BOOK 13 PAGE 873
- COUNTY LAYOUT DECREE NO. 942

RESIDENTIAL A DISTRICT ZONING REQUIREMENTS

MIN. LOT SIZE	40,000 S.F (80% UPLAND)
MIN. LOT FRONTAGE	150 L.F.
FRONT YARD SETBACK	40 FT.
REAR YARD SETBACK	25 FT.
SIDE YARD SETBACK	20 FT.
MAX BUILDING HEIGHT	2.5 STORIES

CENTER PROTECTION DISTRICT ZONING REQUIREMENTS

MIN. LOT SIZE	40,000 S.F
MIN. LOT FRONTAGE	150 L.F.
FRONT YARD SETBACK	40 FT.
REAR YARD SETBACK	20 FT.
SIDE YARD SETBACK	20 FT.
MAX BUILDING HEIGHT	2.5 STORIES OR 36'



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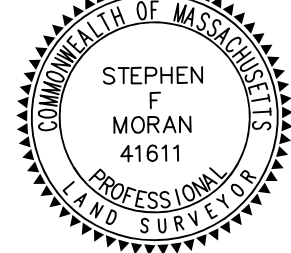
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PEMBROKE PLANNING BOARD

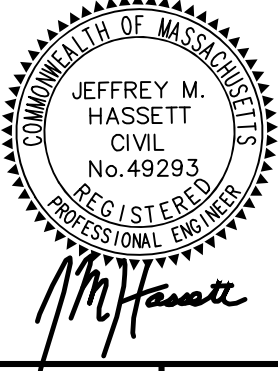
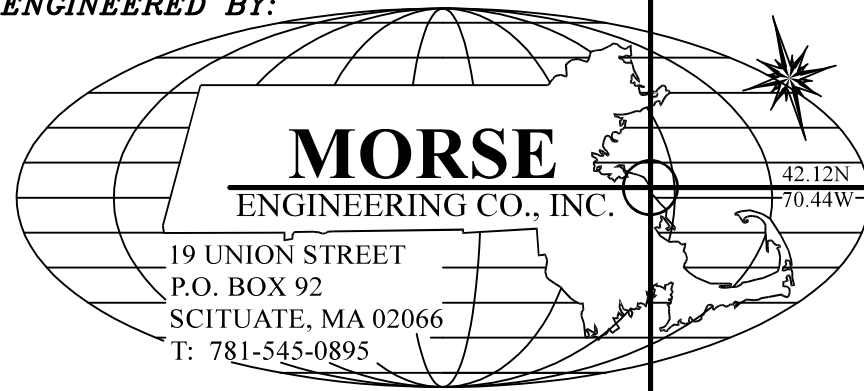
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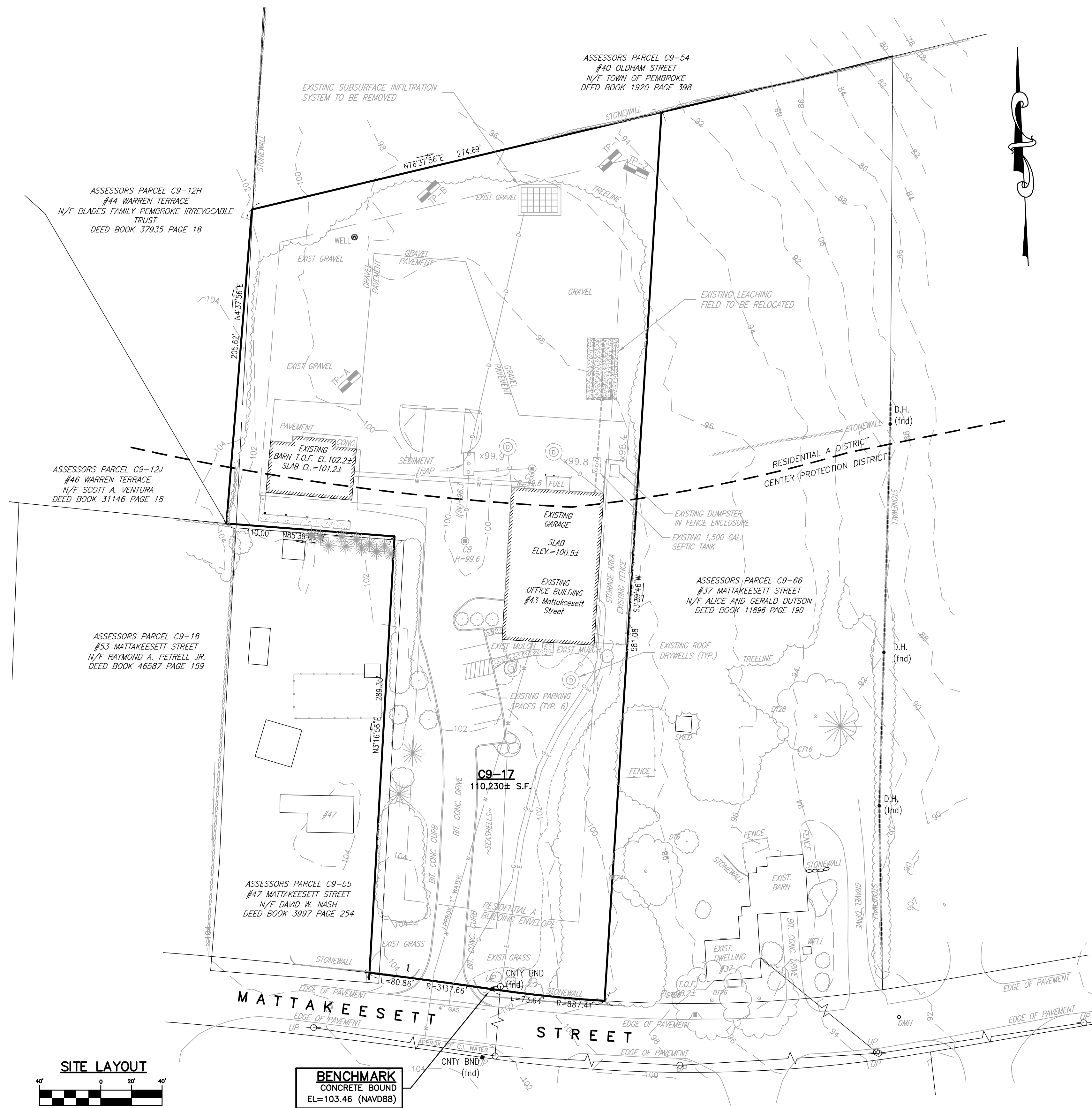
 4/16/2020  
REGISTERED LAND SURVEYOR DATE



ENGINEERED BY:



PROJECT:	PROPOSED SITE PLAN 43 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-17) PEMBROKE, MASSACHUSETTS 02359	DESIGN: CRM
PREPARED FOR:	OLD SALT REALTY TRUST 387 MAIN STREET PLYMPTON, MA 02367	JOB NO: 19-143
PLAN TITLE:	GENERAL NOTES, LEGEND & ABBREVIATIONS	DATE: 2/26/2020
		REV: 4/16/2020
		SHEET: 2 OF 5



FOR REGISTRY USE ONLY

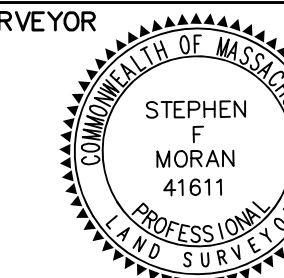
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DATE OF ENDORSEMENT: _____

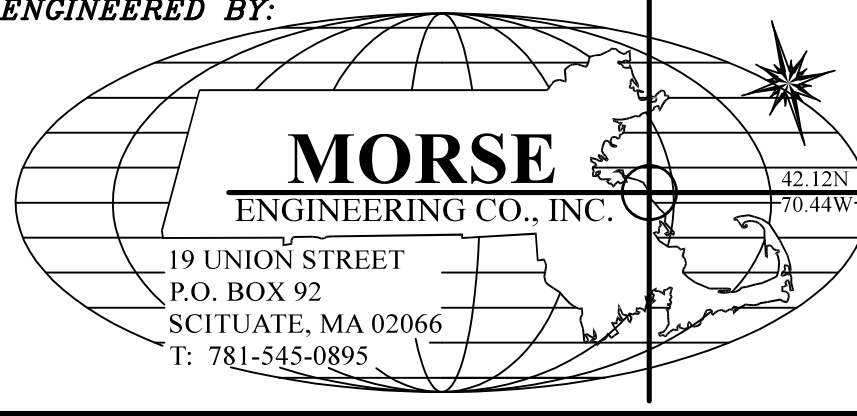
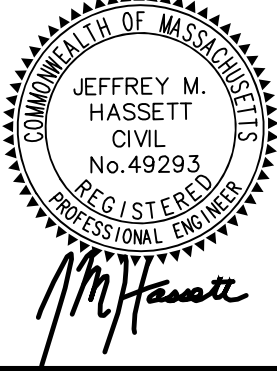
PEMBROKE PLANNING BOARD

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*Stephen F. Moran* 4/16/2020  
REGISTERED LAND SURVEYOR DATE



<b>ENGINEERED BY:</b>  <b>MORSE</b> ENGINEERING CO., INC. 19 UNION STREET P.O. BOX 92 SCITUATE, MA 02066 T: 781-545-0895		
<b>PROJECT:</b> PROPOSED SITE PLAN 43 MATTAKEESETT STREET (ASSESSOR'S PARCEL: C9-17) PEMBROKE, MASSACHUSETTS 02359		<b>DESIGN:</b> CRM
<b>PREPARED FOR:</b> OLD SALT REALTY TRUST 387 MAIN STREET PLYMPTON, MA 02367		<b>JOB NO:</b> 19-143
<b>PLAN TITLE:</b> SITE LAYOUT PLAN		<b>DATE:</b> 2/26/2020
		<b>REV:</b> 4/16/2020
		<b>SHEET:</b> 3 OF 6

**DIMENSIONAL REGULATIONS**

**ZONING / DIMENSIONAL REQUIREMENTS**

**RESIDENTIAL A DISTRICT**

COMPONENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F. (80% UPLAND)	110,230± S.F. (2.53 ACRES) (100% UPLAND)	NO CHANGE
FRONTAGE	150'	154.5'	NO CHANGE
FRONT YARD SETBACK	40'	226.8'	NO CHANGE
SIDE YARD SETBACK	20'	21.6'	20.0'
REAR YARD SETBACK	25'	150.1'	25.0'
BUILDING HEIGHT	2.5 STORIES (MAX)	—	—
IMPERVIOUS LOT COVERAGE	60% (MAX)	33.1%	47.7%

**CENTER PROTECTION DISTRICT**

COMPONENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	110,230± S.F. (2.53 ACRES) (100% UPLAND)	NO CHANGE
FRONTAGE	150'	154.5'	NO CHANGE
FRONT YARD SETBACK	40'	226.8'	NO CHANGE
SIDE YARD SETBACK	20'	21.6'	20.0'
REAR YARD SETBACK	20'	150.1'	25.0'
BUILDING FLOOR AREA	15% (MAX) OR 9,000 S.F. (MAX)	7.3%	NO CHANGE
IMPERVIOUS LOT COVERAGE	65% (MAX)	33.1%	48.8%
LANDSCAPING	35% (MIN)	35%	NO CHANGE
BUILDING HEIGHT	2.5 STORIES (MAX) OR 36' (MAX)	—	—

**PARKING CALCULATIONS**

**SEC. V.4.A.1. OF ZONING BYLAWS:**

USE	REQUIREMENT	REQUIRED	PROVIDED
OFFICE BUILDING	1 PER 600 S.F. OF RENTABLE SPACE (OFFICE)	4,400 S.F. / 600 S.F. =8 SPACES (EXISTING BUILDING)	EXISTING= 6 PROPOSED= 7
+	+		
STORAGE FACILITY	1 PER 3 EMPLOYEES (STORAGE)	*NO ADDITIONAL EMPLOYEES	TOTAL: 13 SPACES

**PARKING SUMMARY**

PROPOSED PARKING LOT DESIGN PROVIDES FOR:

- (1) STANDARD PARKING SPACES: 9'-0" x 18'-0"  
(2) HANDICAP SPACES: 12'-0" x 18'-0"

**SOIL TEST DATA**

SOIL TESTING AND EVALUATION BY: GREGORY J. MORSE, P.E., DEP SOIL EVALUATOR #2906  
SOIL TESTING WITNESSED BY: LISA CULLITY, TOWN OF PEMBROKE  
DATE: JULY 9, 2019

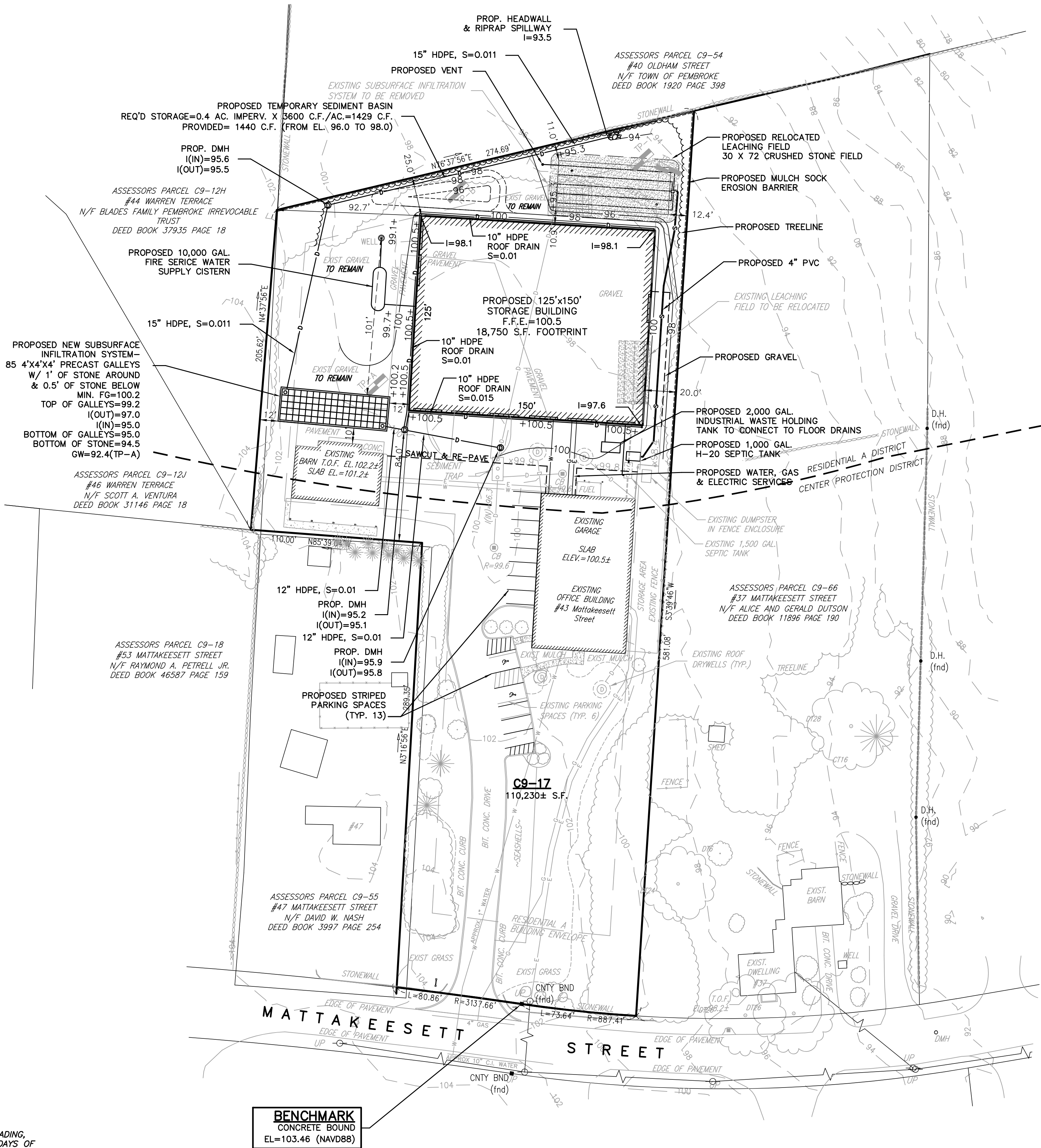
TP-1	APPROX. GRADE EL. 94.2±	TP-2	APPROX. GRADE EL. 94.1±
EL. 93.5	A HORIZON LOAMY SAND 10YR 5/2	8"	A HORIZON LOAMY SAND 10YR 5/2
EL. 92.7	B HORIZON LOAMY SAND 10YR 5/6	18"	B HORIZON LOAMY SAND 10YR 5/6
EL. 91.2	C1 HORIZON MEDIUM SAND 2.5Y 5/4	36"	C1 HORIZON MEDIUM SAND 2.5Y 5/4
EL. 86.5	C2 HORIZON LOAMY SAND 2.5Y 5/3	92"	C2 HORIZON LOAMY SAND 2.5Y 5/3
WEAVING OBSERVED: NONE MOTTILING OBSERVED: NONE PERC. RATE: 37 MPI @ 36"-54" ESHW: >92" (EL. 86.5)		WEAVING OBSERVED: NONE MOTTILING OBSERVED: NONE PERC. RATE: NONE ESHW: >90" (EL. 86.6)	

SOIL TESTING AND EVALUATION BY: GREGORY J. MORSE, P.E., DEP SOIL EVALUATOR #2906  
DATE: FEBRUARY 11, 2019

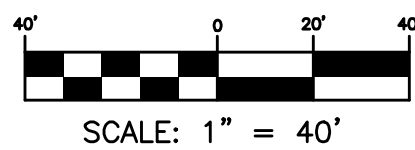
TP-A	APPROX. GRADE EL. 99.7±	TP-B	APPROX. GRADE EL. 97.0±
EL. 92.4	C HORIZON LOAMY SAND 2.5Y 5/6	88"	FILL/GRAVEL
WEAVING OBSERVED: NONE MOTTILING OBSERVED: NONE ESHW: >88" (EL. 92.4)		EL. 96.3	B HORIZON LOAMY SAND 10YR 5/8
		EL. 95.5	C1 HORIZON LOAMY SAND 2.5Y 5/6
		EL. 90.5	78"
		WEAVING OBSERVED: NONE MOTTILING OBSERVED: NONE ESHW: >78" (EL. 90.5)	

**CONSTRUCTION SEQUENCE**

- 1) STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. PLACE BARRIERS AT LOCATIONS INDICATED ON THE SITE PLANS.
- 2) SAW CUT AND REMOVE PORTIONS OF EXISTING PAVEMENT.
- 3) CLEAR AND GRUB LIMITS OF PROPOSED WORK AS REQUIRED FOR THE CONSTRUCTION OF THE STORAGE BUILDING, ASSOCIATED GRADING, UTILITIES AND SEPTIC. ALL BRUSH, TREE LIMBS, TREE TRUNK & STUMP DISPOSAL SHALL TAKE PLACE OFF SITE AND WITHIN 30 DAYS OF CUTTING. ALL DISPOSAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 4) EXCAVATE TEMPORARY SEDIMENT BASIN.
- 5) EXCAVATE AND POUR FOUNDATION.
- 6) CONSTRUCT CUT AND FILL AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS. PLACE ALL SLOPE PROTECTION AS NECESSARY.
- 7) INSTALL DRAINAGE SYSTEM, SEPTIC SYSTEM, INDUSTRIAL WASTE HOLDING TANK, AND ELECTRIC, WATER AND GAS SERVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH EROSION CONTROLS OR EQUIVALENT INLET PROTECTION.
- 8) RE-PAVE SAWCUT/REMOVED AREAS.
- 9) GRADE SLOPES AND STABILIZE ALL DISTURBED AREAS.
- 10) ACTIVATE DRAINAGE SYSTEMS WHEN ALL TRIBUTARY AREAS ARE STABILIZED. ALL CLOSED DRAINAGE PIPES MUST BE FLUSHED PRIOR TO ACTIVATION.
- 11) REMOVE TEMPORARY EROSION CONTROL DEVICES.



**SITE LAYOUT**



FOR REGISTRY USE ONLY

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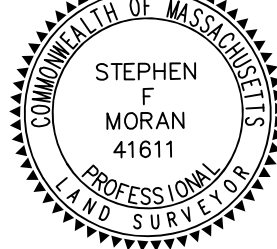
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PEMBROKE PLANNING BOARD

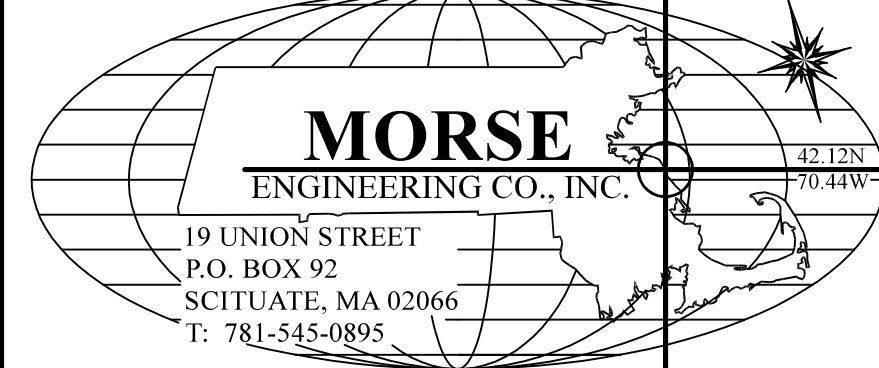
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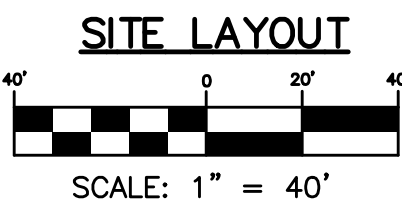


PROJECT: PROPOSED SITE PLAN  
43 MATTAKEESSETT STREET  
(ASSESSOR'S PARCEL: C9-17)  
PEMBROKE, MASSACHUSETTS 02359

PREPARED FOR: OLD SALT REALTY TRUST  
387 MAIN STREET  
PLYMPTON, MA 02367

PLAN TITLE: SITE PLAN & GRADING & UTILITIES PLAN

DESIGN: CRM  
JOB NO: 19-143  
DATE: 2/26/20  
REV: 4/16/2020  
SHEET: 4 OF 6



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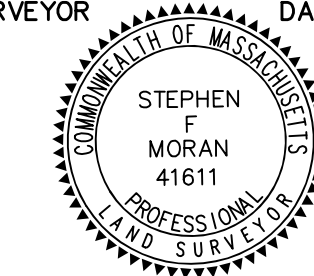
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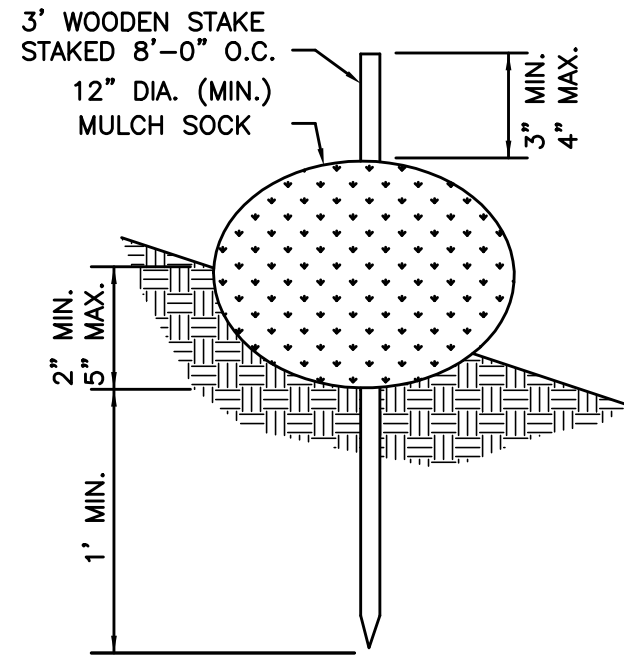
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ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE  
LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF  
PUBLIC OR PRIVATE STREETS OR WAYS ALREADY  
ESTABLISHED AND THAT NO NEW LINES OF DIVISION  
OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

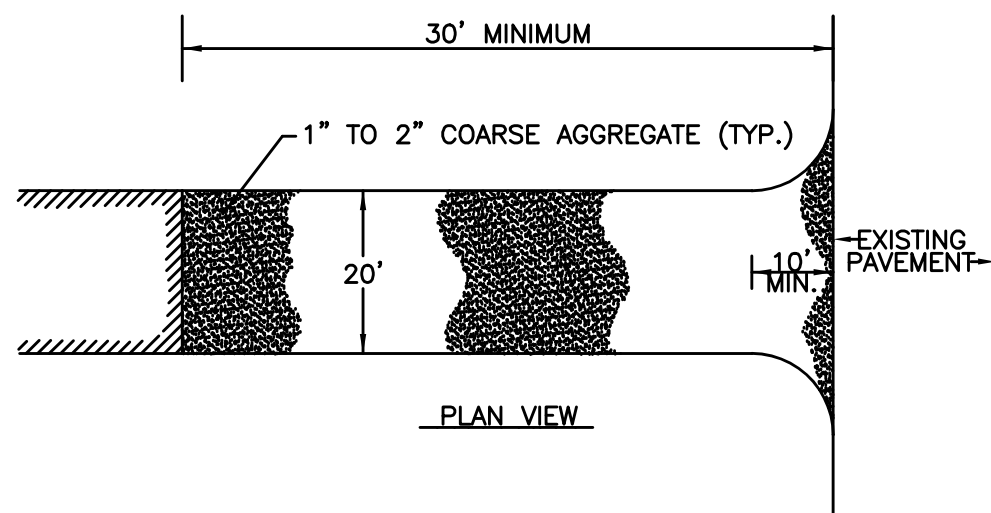
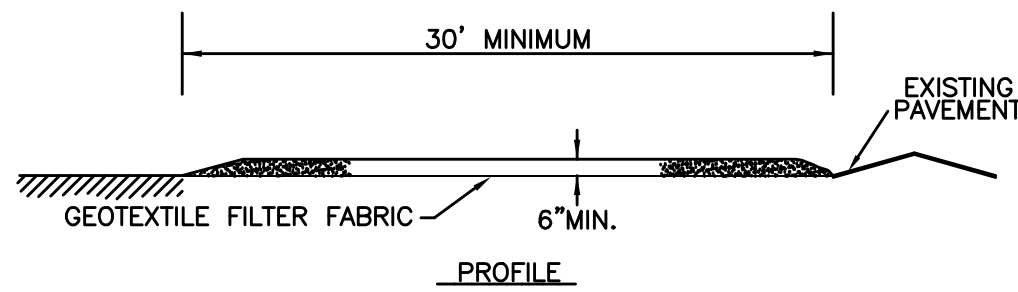

 4/16/2020  
 REGISTERED LAND SURVEYOR      DATE



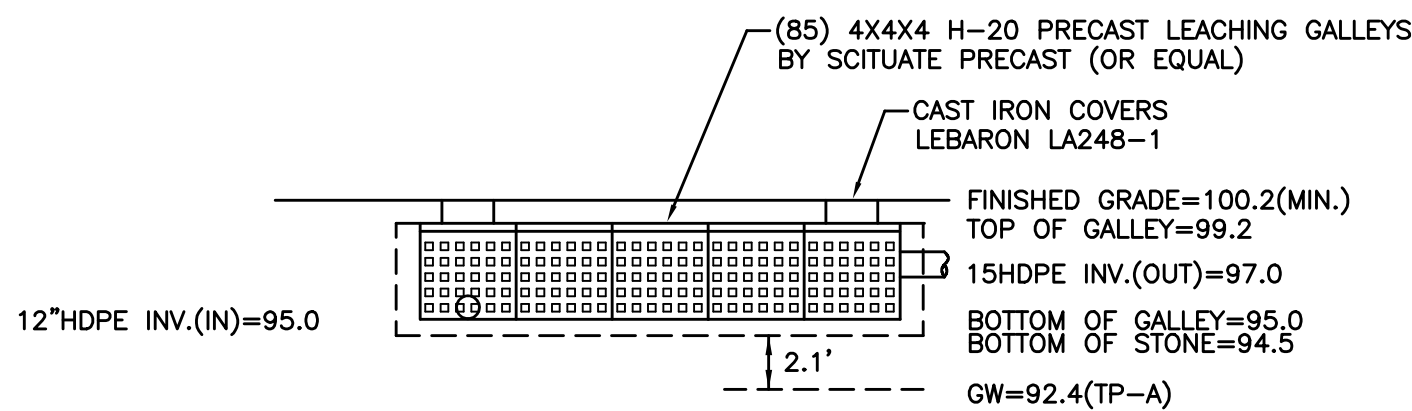
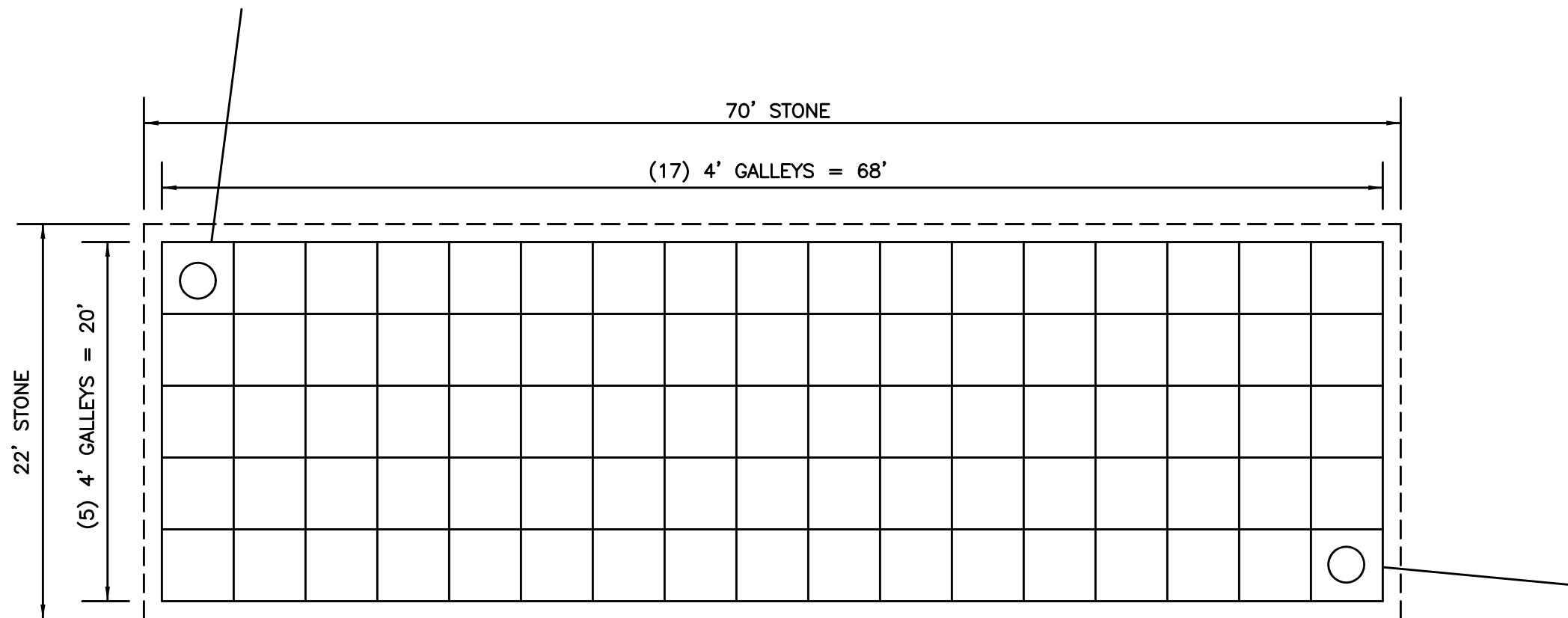
ENGINEERED BY: 		 
<b>PROJECT:</b>	PROPOSED SITE PLAN 43 MATTAKESETT STREET (ASSESSOR'S PARCEL: C9-17) PEMBROKE, MASSACHUSETTS 02359	
<b>PREPARED FOR:</b>	OLD SALT REALTY TRUST 387 MAIN STREET PLYMPTON, MA 02367	
<b>PLAN TITLE:</b>	LANDSCAPING PLAN	
		<b>DESIGN:</b> CRM <b>JOB NO:</b> 19-143 <b>DATE:</b> 11/26/19 <b>REV:</b> 4/16/2020 <b>SHEET:</b> 5 OF 6



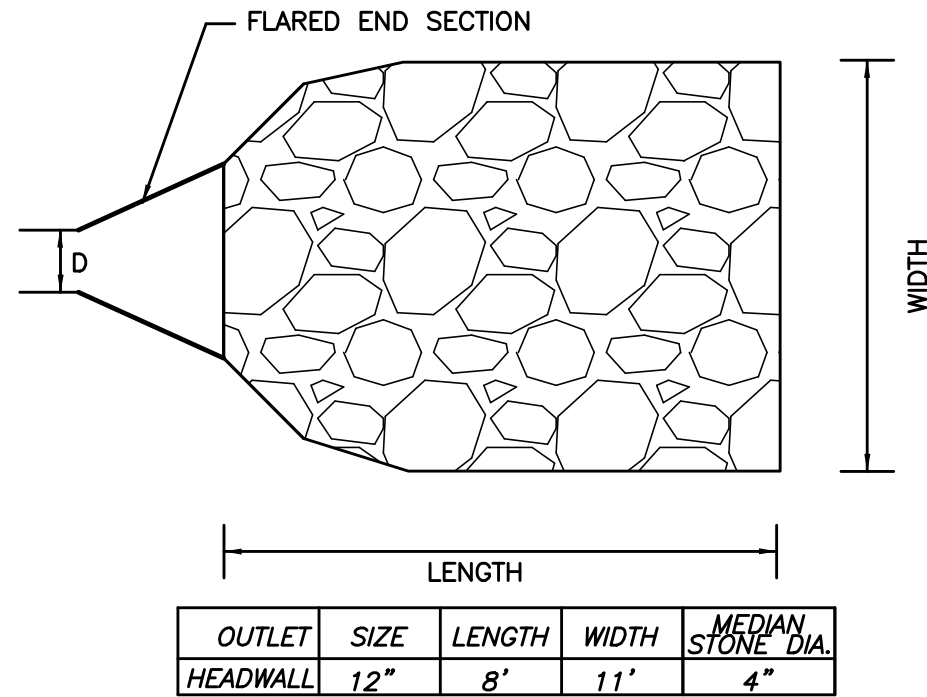
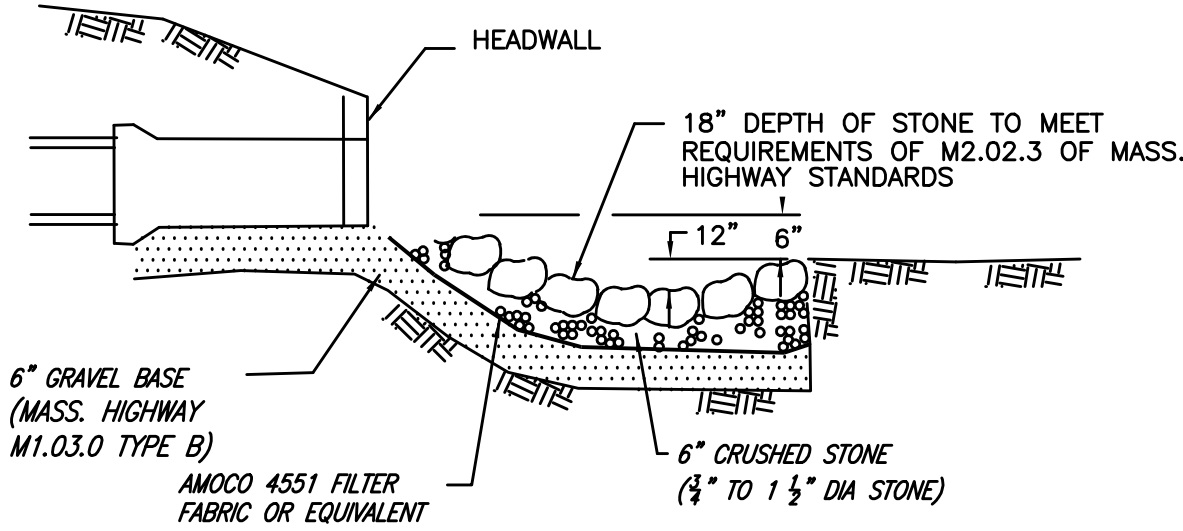
**MULCH SOCK DETAIL**  
SCALE: NOT TO SCALE



**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**SUBSURFACE INFILTRATION SYSTEM DETAIL**  
NOT TO SCALE



**EROSION CONTROL PAD DETAIL**  
NOT TO SCALE

THIS SITE PLAN APPROVAL DOES NOT  
NECESSARILY INDICATE COMPLIANCE  
WITH THE PEMBROKE ZONING BY-LAW

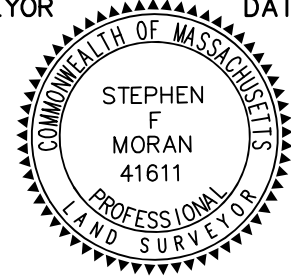
DATE OF ENDORSEMENT: _____

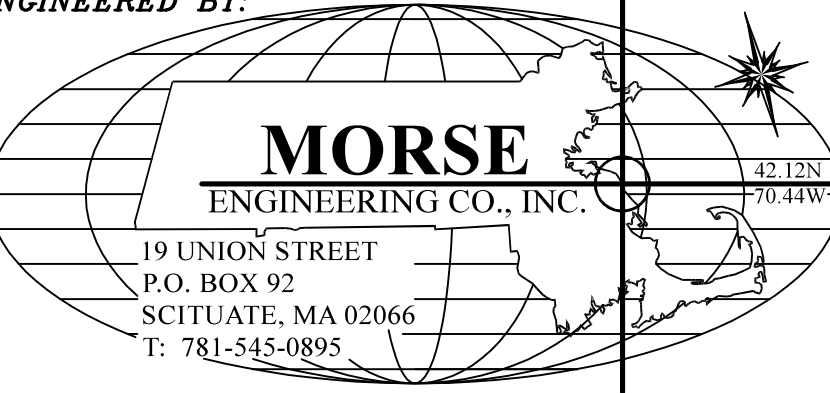
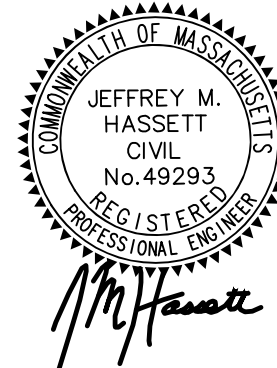
PEMBROKE PLANNING BOARD

I, _____ TOWN CLERK OF THE  
TOWN OF PEMBROKE, MA HEREBY CERTIFY THAT  
THE NOTICE OF APPROVAL OF THIS PLAN BY  
THE PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
APPEAL WAS RECEIVED DURING THE NEXT  
TWENTY DAYS AFTER RECEIPT AND RECORDING  
OF SAID NOTICE

- I CERTIFY THAT :
1. THIS PLAN HAS BEEN PREPARED  
IN CONFORMANCE WITH THE RULES AND REGULATIONS  
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH  
OF MASSACHUSETTS.
  2. THE PROPERTY LINES SHOWN ON THIS PLAN  
ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE  
LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF  
PUBLIC OR PRIVATE STREETS OR WAYS ALREADY  
ESTABLISHED AND THAT NO NEW LINES OF DIVISION  
OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

*Stephen F. Moran* 4/16/2020  
REGISTERED LAND SURVEYOR DATE



<b>ENGINEERED BY:</b>  19 UNION STREET P.O. BOX 92 SCITUATE, MA 02066 T: 781-545-0895		 <i>Jeffrey M. Hassett</i>
<b>PROJECT:</b> PROPOSED SITE PLAN 43 MATTAKESSETT STREET (ASSESSOR'S PARCEL: C9-17) PEMBROKE, MASSACHUSETTS 02359		<b>DESIGN:</b> CRM
<b>PREPARED FOR:</b> OLD SALT REALTY TRUST 387 MAIN STREET PLYMPTON, MA 02367		<b>JOB NO:</b> 19-143
<b>PLAN TITLE:</b> CONSTRUCTION DETAILS		<b>DATE:</b> 2/26/2020
		<b>REV:</b> 4/16/2020
		<b>SHEET:</b> 6 OF 6