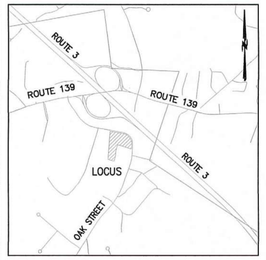
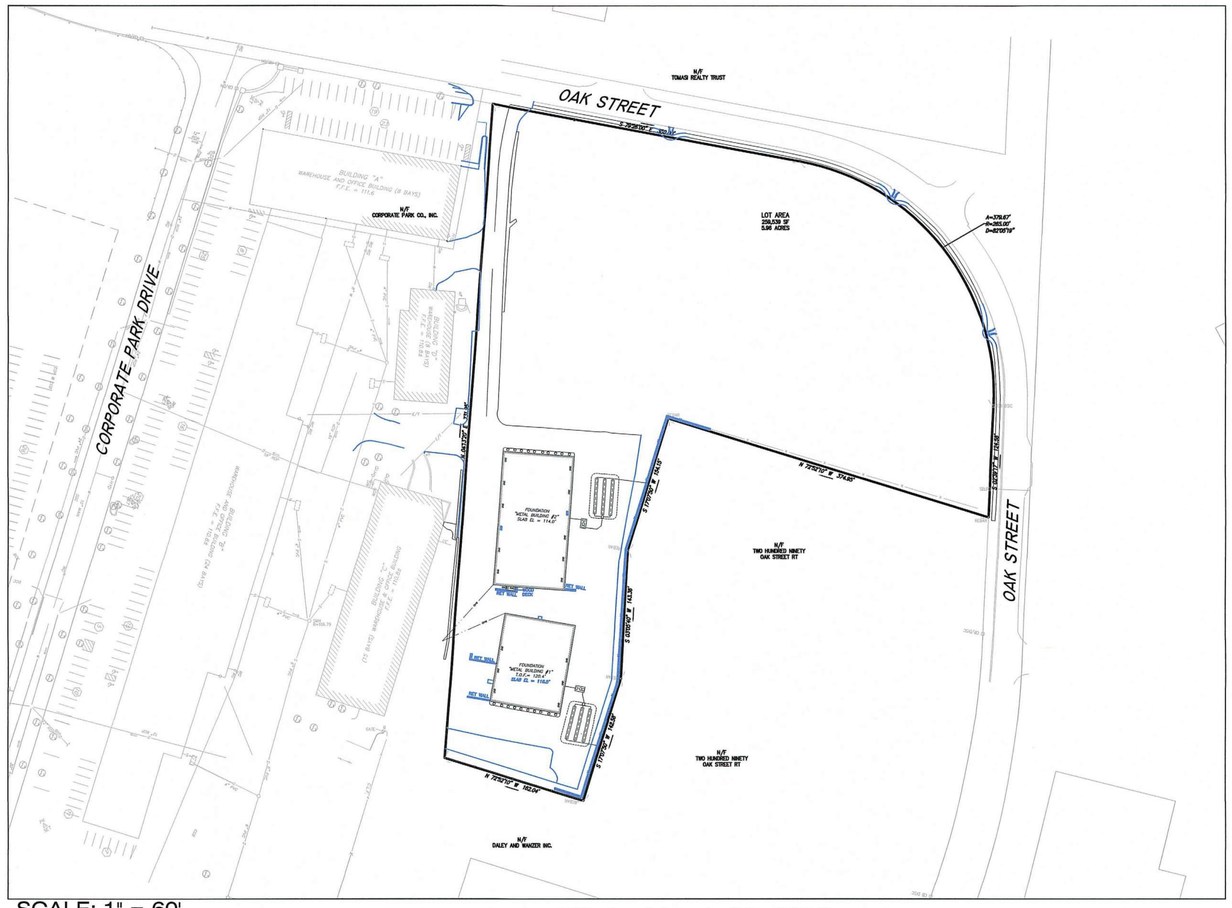


Locus Map
Not to Scale

SITE DEVELOPMENT PLAN
PHASE I
260-280 OAK STREET
PEMBROKE, MA



SCALE: 1" = 60'

Issued Date: March 22, 2017
Revised:
June 6, 2017
June 13, 2017
June 14, 2018
July 30, 2018
October 18, 2019
December 10, 2019
March 4, 2020

McKenzie Engineering Group, Inc. Consulting Engineers
150 Longwater Drive, Suite 101, Norwell, Massachusetts 02061

BLUE HIGHLIGHTED ITEMS REFLECT EXISTING SITE CONDITIONS THAT ARE MODIFICATIONS FROM THE SITE PLAN APPROVAL

Drawing Index:

No.	Drawing Title
CS-1	COVER SHEET
EX-1	EXISTING CONDITIONS PLAN
C-1	SITE LAYOUT PLAN
C-2	GRADING & UTILITY PLAN
C-3-C-5	CONSTRUCTION DETAILS
C-6	EROSION CONTROL PLAN
L-1	LANDSCAPE PLAN
I-1-I-5	OAK STREET INTERSECTION PLAN

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

_____

_____

_____

_____

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_____

_____

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

_____ _____
DATE TOWN CLERK

List of Waivers Requested from the Planning Board Rules & Regulations Governing The Issuance of Site Plan Approval Town of Pembroke, Massachusetts August 29, 2005

SECTION IV. SITE PLAN CONTENT

4.7 REQUIREMENT OF A LANDSCAPING PLAN.

IN LIEU OF THE REQUIREMENT OF A LANDSCAPING PLAN, THE PROJECT PROPONENT HAS AGREED TO PROVIDE A LANDSCAPED BUFFER BETWEEN THE PROPOSED PARKING LOT AND THE ABUTTING PROPERTY AND A 4-FOOT LANDSCAPED STRIP ALONG THE NORTHERN FOUNDATION WALL OF BUILDING NO. 2 AND ALONG THE SOUTHERN FOUNDATION WALL OF BUILDING NO.1. NO LANDSCAPING IS PROPOSED BETWEEN THE TWO BUILDINGS.

4.15 REQUIREMENT OF A DEVELOPMENT IMPACT STATEMENT.

ALTHOUGH THE PROPOSED PROJECT EXCEEDS THE THRESHOLD OF 5,000 OR MORE SQUARE FEET OF FLOOR AREA OR THREE OR MORE ACRES OF LAND AREA WHICH INITIATES THE REQUIREMENT OF A DEVELOPMENT IMPACT STATEMENT UNDER SECTION VI OF THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, THE PROPONENT REQUESTS A WAIVER OF THIS REQUIREMENT AS THE DEVELOPMENT OF THE SUBJECT PARCEL WILL BE IN TWO PHASES. PHASE I WILL DEVELOP APPROXIMATELY 1.7 ACRES OF LAND LOCATED AT THE SOUTHERN PORTION OF THE SITE AND FUTURE PHASE II WILL DEVELOP THE REMAINING 4.26 ACRES. A DEVELOPMENT IMPACT STATEMENT WILL BE PREPARED FOR THE PHASE II SITE PLAN APPROVAL WHICH WILL BE INCLUSIVE OF THE ENTIRE SITE,

4.21 REQUIREMENT OF A PHOTOMETRIC PLAN.

IN LIEU OF ADDRESSING THE REQUIREMENT OF A PHOTOMETRIC PLAN, THE PROJECT PROPONENT IS PROPOSING INDIVIDUAL WALL PACK LIGHTING FOR EACH UNIT, WHICH SERVES TO PROVIDE ADEQUATE SITE LIGHTING.

4.22 REQUIREMENT OF A TRAFFIC IMPACT STUDY.

THE PROPONENT REQUESTS A WAIVER OF THIS REQUIREMENT AS THE DEVELOPMENT OF THE SUBJECT PARCEL WILL BE IN TWO PHASES. PHASE I WILL DEVELOP APPROXIMATELY 1.7 ACRES OF LAND LOCATED AT THE SOUTHERN PORTION OF THE SITE AND FUTURE PHASE II WILL DEVELOP THE REMAINING 4.26 ACRES. A TRAFFIC IMPACT STUDY WILL BE PREPARED FOR THE PHASE II SITE PLAN APPROVAL WHICH WILL BE INCLUSIVE OF THE ENTIRE SITE.

SECTION V. REQUIREMENTS

5.1 REQUIREMENT OF SITE LANDSCAPING.

IN LIEU OF ADDRESSING EACH OF THE SPECIFIC REQUIREMENTS UNDER SECTION 5.1, THE PROJECT PROPONENT HAS AGREED TO PROVIDE A LANDSCAPED BUFFER BETWEEN THE PROPOSED PARKING LOT AND THE ABUTTING PROPERTY AND A 4-FOOT LANDSCAPED STRIP ALONG THE NORTHERN FOUNDATION WALL OF BUILDING NO. 2 AND ALONG THE SOUTHERN FOUNDATION WALL OF BUILDING NO.1. NO LANDSCAPING IS PROPOSED BETWEEN THE TWO BUILDINGS.

5.2 REQUIREMENT OF SITE LIGHTING.

IN LIEU OF ADDRESSING EACH OF THE SPECIFIC REQUIREMENTS UNDER SECTION 5.2, THE APPLICANT IS PROPOSING INDIVIDUAL WALL PACK LIGHTING FOR EACH UNIT, WHICH SERVES TO PROVIDE ADEQUATE SITE LIGHTING.

5.6.2 CURBING SHALL NOT BE BITUMINOUS CONCRETE.

THE APPLICANT IS PROPOSING A 12-INCH WIDE BITUMINOUS CONCRETE CAPE COD BERM.

SECTION VI. DEVELOPMENT IMPACT STATEMENT

ALTHOUGH THE PROPOSED PROJECT EXCEEDS THE THRESHOLD OF 5,000 OR MORE SQUARE FEET OF FLOOR AREA OR THREE OR MORE ACRES OF LAND AREA WHICH INITIATES THE REQUIREMENT OF A DEVELOPMENT IMPACT STATEMENT UNDER SECTION VI OF THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE ISSUANCE OF SITE PLAN APPROVAL, THE PROPONENT REQUESTS A WAIVER OF THIS REQUIREMENT AS THE DEVELOPMENT OF THE SUBJECT PARCEL WILL BE IN TWO PHASES. PHASE I WILL DEVELOP APPROXIMATELY 1.7 ACRES OF LAND LOCATED AT THE SOUTHERN PORTION OF THE SITE AND FUTURE PHASE II WILL DEVELOP THE REMAINING 4.26 ACRES. A DEVELOPMENT IMPACT STATEMENT WILL BE PREPARED FOR THE PHASE II SITE PLAN APPROVAL WHICH WILL BE INCLUSIVE OF THE ENTIRE SITE.

REV	DATE	DESCRIPTION	BY	APP
1	6-6-17	PEER REVIEW COMMENTS PLANNING BOARD COMMENTS	SBS	BCM
2	6-13-17	PEER REVIEW COMMENTS	SBS	BCM
3	6-14-18	PLAN MODIFICATION REVISED DRAINAGE	SBS	BCM
4	7-30-18	PEER REVIEW COMMENTS	SBS	BCM
5	10-18-19	PLAN MODIFICATION	SBS	BCM
6	12-10-19	PEER REVIEW COMMENTS	SBS	BCM
7	1-27-2020	NO CHANGES	SBS	BCM
8	3-4-2020	NO CHANGES	SBS	BCM

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
781.792.3900
www.mckeng.com

SITE DEVELOPMENT PLAN
(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS
BRADLEY C. McKENZIE
CIVIL
No. 39917
REGISTERED PROFESSIONAL ENGINEER

OWNER:
Grissom Park Co., LLP
293R Washington Street
Norwell, Massachusetts 02061

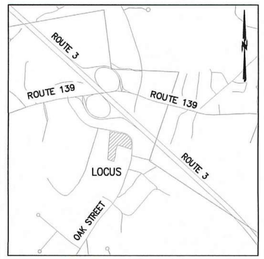
PLAN MODIFICATION SET

DRAWN BY:	SBS
DESIGNED BY:	– –
CHECKED BY:	– –
APPROVED BY:	BCM
DATE:	June 6, 2017
SCALE:	AS NOTED
PROJECT NO.:	215-105

DWG. TITLE:
Cover Sheet Phase I

DWG. NO:
CS-1

M:\MEG\2015 PROJECTS\215-105\DWGS\CUTSHEETS\AMENDMENT\REV 3\215-105 C-1_(A) (R3).DWG



Locus Map
Not to Scale

LEGEND

SURVEY SYMBOLS

•	REBAR
^	ANGLE IRON
CB/DH	CONCRETE BOUND WITH DRILL HOLE
SB	STONE BOUND
SB/DH	STONE BOUND

UTILITY SYMBOLS

	CHIMNEY
	ELECTRIC HAND HOLE
	GUY POLE
GW	GUY WIRE
HVAC	HVAC UNIT
	BUILDING LIGHT W/MAST
	BUILDING LIGHT
	TRANSFORMER
	WATER GATE
EXH	EXHAUST VENT
	AIR VENT
	DRAINAGE SUMP
EMH	ELECTRIC MANHOLE
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
TMH	TELEPHONE MANHOLE
CBN	DRAINAGE CATCH BASIN
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RIP RAP	RIP RAP
oB	BOLLARD
	SIGN
FA	FIRE ALARM
	DECIDUOUS TREE
	CONIFEROUS TREE

LINE DESIGNATORS

W	WATER MAIN
	HANDRAIL
	JERSEY BARRIER
	GUARD RAIL
	RAILROAD TRACKS
OHW	OVERHEAD WIRES
	GAS LINE
WS	WATER SERVICE
	UNDERGROUND ELECTRIC
D	STORM DRAIN LINE
S	SANITARY SEWER LINE
	DRAINAGE SWALE
	CHAIN LINK FENCE

ABBREVIATIONS

APPROX.	APPROXIMATELY
BCC	BITUMINOUS CONCRETE CURBING
BIT. CONC.	BITUMINOUS CONCRETE
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CO	CLEANOUT
CONC.	CONCRETE
CRW	CONCRETE RETAINING WALL
DUMP	DUMPSTER
ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT
EXIST.	EXISTING
F.F.	FIRST FLOOR
FND	FOUND
(M)	MARKED
N/F	NOW OR FORMERLY
No.	NUMBER
O/H	OVERHANG
OHD	OVERHEAD DOOR
OHW	OVERHEAD WIRES
PROP.	PROPOSED
R	RIM
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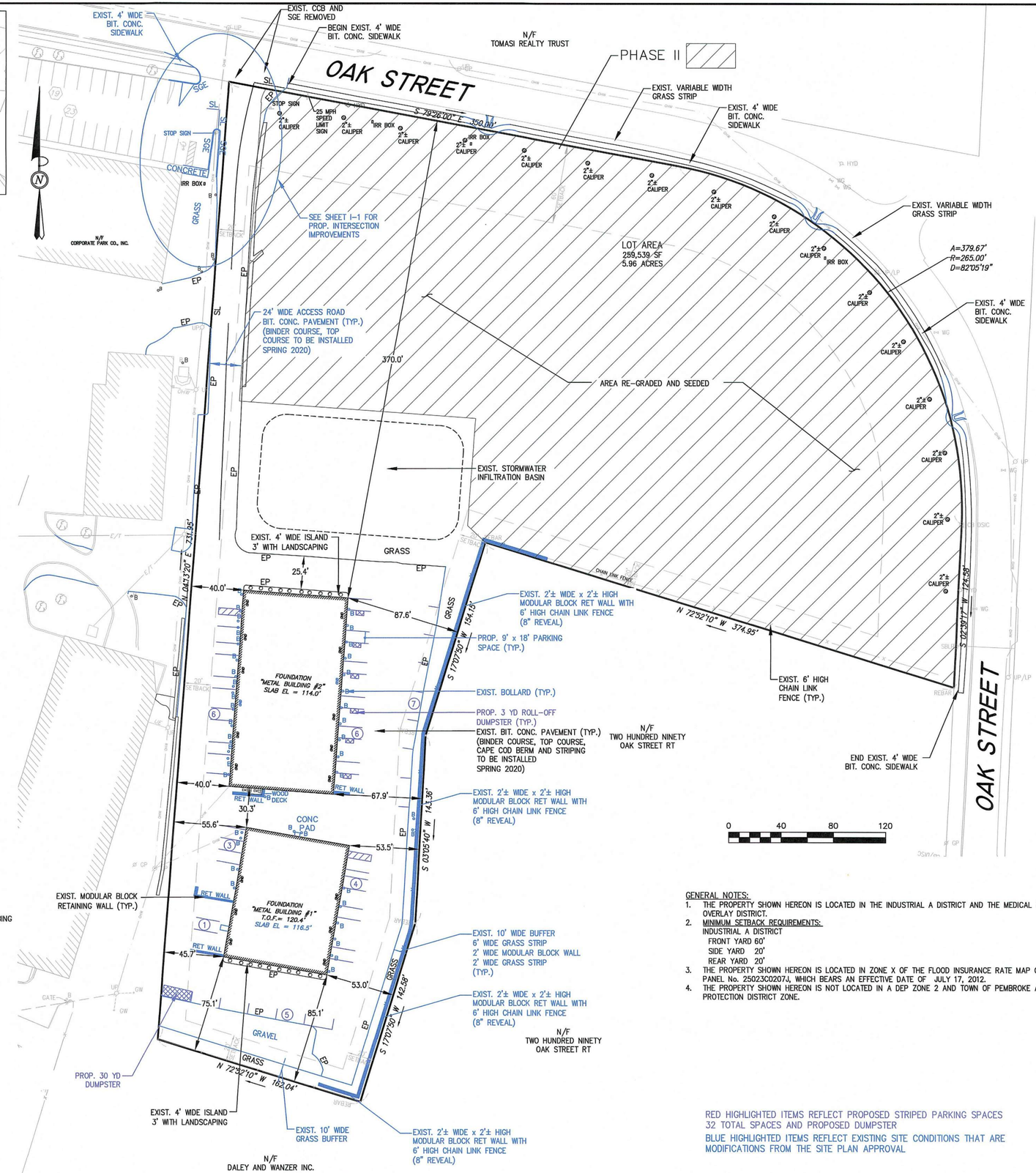

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

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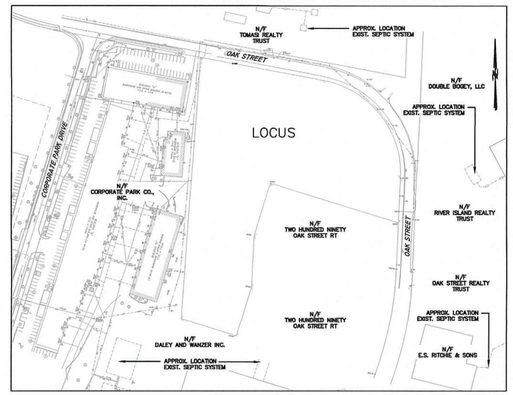

Locus Map
1"=200'

LAND USAGE TABLES

INDUSTRIAL DISTRICT A			
CRITERIA	REQUIRED	EXISTING	PROPOSED
DIMENSIONAL CALCULATIONS:			
MINIMUM LOT AREA	80,000 S.F. 70,000 S.F. *	259,542± S.F. TOTAL 259,542± S.F. UPLAND	259,542± S.F. TOTAL 259,542± S.F. UPLAND
MINIMUM LOT FRONTAGE	200 FT.	854.25 FT.	854.25 FT.
MINIMUM FRONT YARD	60 FT.	--	370 FT. TO BLDG
MINIMUM SIDE YARD	20 FT.	--	40 FT. TO BLDG
MINIMUM REAR YARD	20 FT.	--	75.1 FT. TO BLDG
MAXIMUM BUILDING HEIGHT	4 STORIES	--	1 STORY
MINIMUM LOT WIDTH	135 FT.	--	162 FT.

*EXCLUSIVE OF ALL EASEMENTS, CRANBERRY BOGS, WETLANDS, FLOODPLAINS AND WATERSHED AREAS.
**NO BUILDING OR STRUCTURE SHALL BE PACED WITHIN 150 FT OF RESIDENCE DISTRICT A OR WITHIN 150 FT OF ANY EXISTING RESIDENTIAL USE.

LOT COVERAGE CALCULATIONS (INDUSTRIAL DISTRICT A):			
MAXIMUM LOT COVERAGE	80%	0%	28.6%
MAX. BUILDING FLOOR AREA	45%	0%	7.7%

PARKING CALCULATIONS

SECTION IV.4. OF ZONING BYLAWS:

USE	REQUIRED		PROVIDED
INDUSTRIAL, MANUFACTURING AND WHOLESALE:	1 SPACE FOR EACH EMPLOYEE ON ANYONE SHIFT (DOES NOT INCLUDE LOADING AREA BAYS) 2 EMPLOYEES PER UNIT (15 TOTAL)	30	32* TOTAL 32* SPACES

*DOES NOT INCLUDE SPACE INSIDE BUILDINGS

ACCESSIBLE PARKING NOTES:

1. 32 TOTAL SPACES INCLUDES 1 ADA ACCESSIBLE SPACE 8'-0" X 18'-0" WITH 8'-0" X 18'-0" ACCESS AREA (VAN ACCESSIBLE SPACE)
(521 CMR: ARCHITECTURAL ACCESS BOARD) ACCESSIBLE SPACES REQUIRED = 2 (26-50 SPACES)

GENERAL NOTES:

1. THE PROPERTY SHOWN HEREON IS LOCATED IN THE INDUSTRIAL A DISTRICT AND THE MEDICAL MARIJUANA OVERLAY DISTRICT.
2. MINIMUM SETBACK REQUIREMENTS:
INDUSTRIAL A DISTRICT
FRONT YARD 60'
SIDE YARD 20'
REAR YARD 20'
3. THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 25023C0207J, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012.
4. THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A DEP ZONE 2 AND TOWN OF PEMBROKE AQUIFER PROTECTION DISTRICT ZONE.

RED HIGHLIGHTED ITEMS REFLECT PROPOSED STRIPED PARKING SPACES
32 TOTAL SPACES AND PROPOSED DUMPSTER

BLUE HIGHLIGHTED ITEMS REFLECT EXISTING SITE CONDITIONS THAT ARE MODIFICATIONS FROM THE SITE PLAN APPROVAL

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7	1-27-2020	PARKING SPACES	SBS	BCM
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MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
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SITE DEVELOPMENT PLAN

(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

BRADLEY C McKENZIE CIVIL No. 39317 REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS

OWNER:
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293R Washington Street
Norwell, Massachusetts 02061

PLAN MODIFICATION SET

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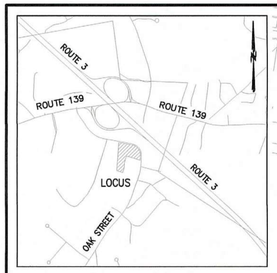
DESIGNED BY:	- -
CHECKED BY:	- -
APPROVED BY:	BCM
DATE:	MARCH 22, 2017
SCALE:	1"=40'
PROJECT NO.:	215-105

DWG. TITLE:
Site Layout Plan Phase I

DWG. NO:
C-1

M:\MEG\2015 PROJECTS\215-105\DWGS\CUTSHEETS\AMENDMENT\REV 3\215-105 C-1_(A) (R3).DWG



Locus Map
Not to Scale

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SURVEY SYMBOLS

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- SB — STONE BOUND
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- GUY POLE
- GW — GUY WIRE
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- AIR VENT
- DRAINAGE SUMP
- EMH — ELECTRIC MANHOLE
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- CHAIN LINK FENCE

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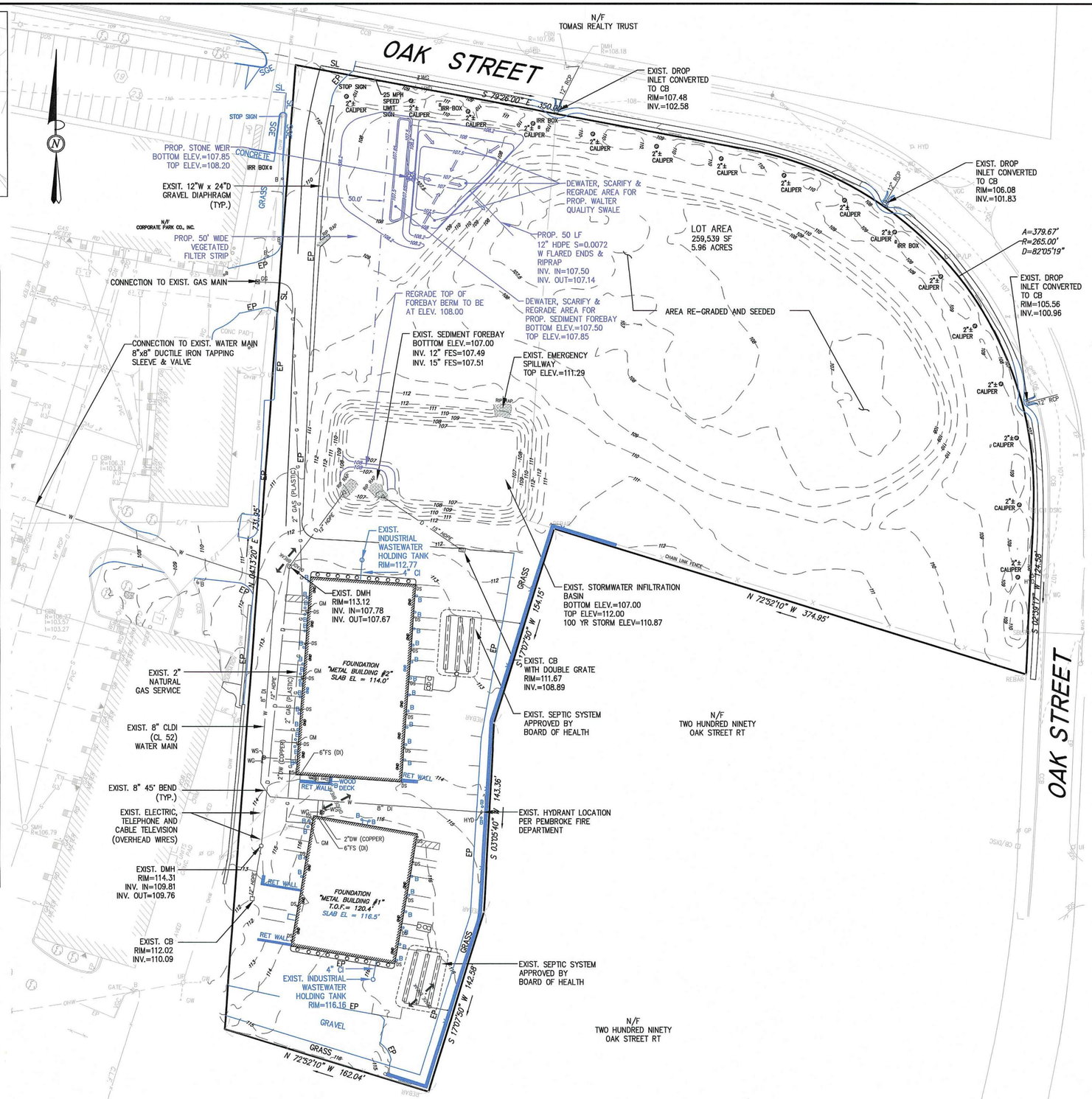
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM



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ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT
EXIST.	EXISTING
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FND	FOUND
(M)	MARKED
N/F	NOW OR FORMERLY
No.	NUMBER
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OHW	OVERHEAD WIRES
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SITE PLAN APPROVAL

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PEMBROKE PLANNING BOARD

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I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

_____ DATE

_____ TOWN CLERK

GENERAL UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL EXCAVATE THE TEST PITS PRIOR TO INSTALLING THE WATER MAIN TO VERIFY THE SIZE, ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
4. THE CONTRACTOR SHALL EXCAVATE TEST PITS AT THE PROPOSED UTILITY CONNECTION LOCATIONS SHOWN ON THE PLAN PRIOR TO COMMENCING WORK TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
5. ALL WATER SERVICES SHALL BE INSTALLED WITH 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
6. THE WATER MAIN SHALL BE CEMENT LINED DUCTILE IRON PIPE (C.L.D.I.) AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED TAPPING SLEEVE, GATE VALVE AND BOX.
7. ALL WATER AND FIRE SERVICE APPURTENANCES, MATERIALS, METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
8. THE DOMESTIC WATER SERVICE SHALL BE ADEQUATELY PROTECTED AGAINST BACKFLOW (BACKFLOW PREVENTION) AT THE BUILDING.
9. AFTER PRESSURE TESTING AND CHLORINATION IS COMPLETED, SAMPLES SHALL BE TAKEN FROM THE DOMESTIC WATER SERVICE AND SHALL BE TESTED AT 200 PSI FOR A MINIMUM OF 2 HOURS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE PEMBROKE DEPARTMENT OF PUBLIC WORKS AT LEAST 24 HOURS PRIOR TO THE TESTING.
10. THE DOMESTIC WATER SERVICE SHALL BE TESTED IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. A MINIMUM OF 2 SEPARATE WATER SAMPLES SHALL BE TESTED AT A STATE CERTIFIED LABORATORY.
11. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER SERVICES AND WATER SERVICES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER SERVICE THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER SERVICE.
12. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
13. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
14. THE LOCATIONS OF PROPOSED ELECTRIC, TELEPHONE AND COMMUNICATION (E.T.C.) SERVICES ARE APPROXIMATE. THE PROJECT ELECTRICAL ENGINEER SHALL VERIFY THESE LOCATIONS PRIOR TO THE START OF CONSTRUCTION. COORDINATE ALL E.T.C. WORK WITH THE APPROPRIATE UTILITY COMPANIES.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH PEMBROKE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
16. IF, DURING THE CONSTRUCTION PROCESS, THE NEED FOR EXCAVATION DEWATERING ARISES, A DEWATERING FILTER PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROPRIATE STORMWATER MANAGEMENT AND ENGINEERING PRACTICES.

PURPLE HIGHLIGHTED ITEMS REFLECT PROPOSED SITE CONDITIONS THAT ARE MODIFICATIONS FROM THE SITE PLAN APPROVAL

BLUE HIGHLIGHTED ITEMS REFLECT EXISTING SITE CONDITIONS THAT ARE MODIFICATIONS FROM THE SITE PLAN APPROVAL

0 40 80 120

REV	DATE	DESCRIPTION	BY	APP
1	6-6-17	PEER REVIEW COMMENTS PLANNING BOARD COMMENTS	SBS	BCM
2	6-13-17	PEER REVIEW COMMENTS	SBS	BCM
3	6-14-18	PLAN MODIFICATION REVISED DRAINAGE	SBS	BCM
4	7-30-18	PEER REVIEW COMMENTS	SBS	BCM
5	10-18-19	PLAN MODIFICATION	SBS	BCM
6	12-10-19	PEER REVIEW COMMENTS	SBS	BCM
7	1-27-2020	NO CHANGES	SBS	BCM
8	3-4-2020	PLAN COLORS	SBS	BCM

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
781.792.3900
www.mckeng.com

SITE DEVELOPMENT PLAN

(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS
BRADLEY C McKENZIE
CIVIL
No. 36917
REGISTERED PROFESSIONAL ENGINEER

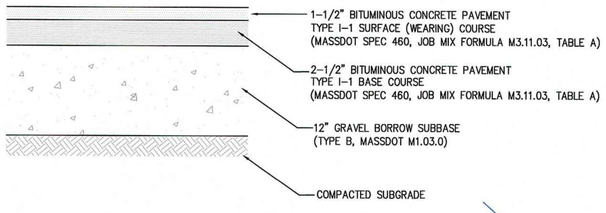
PLAN MODIFICATION SET

OWNER:
Grissom Park Co., LLP
293R Washington Street
Norwell, Massachusetts 02061

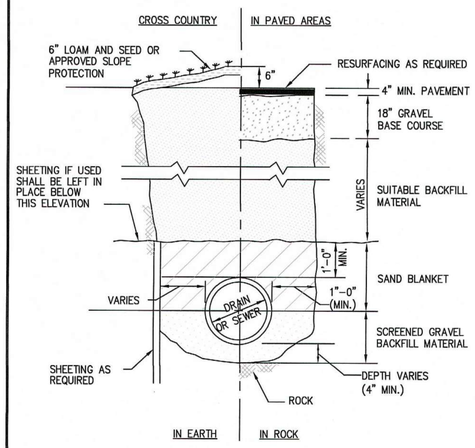
DRAWN BY:	SBS
DESIGNED BY:	– –
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	MARCH 22, 2017
SCALE:	1"=40'
PROJECT NO.:	215-105

DWG. TITLE:
Grading & Utility Plan Phase I

DWG. NO:
C-2

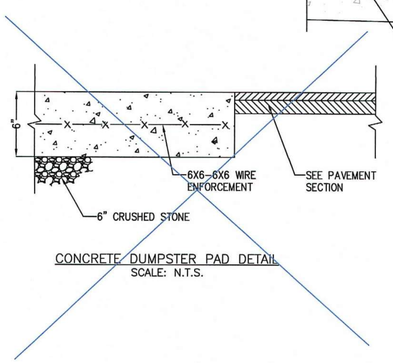


ACCESS ROAD/PARKING AREA PAVEMENT DETAIL
SCALE: N.T.S.

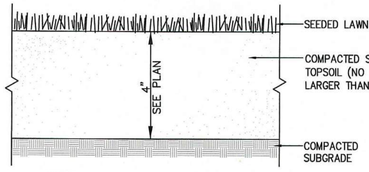


TYPICAL TRENCH DETAIL
SCALE: N.T.S.

NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



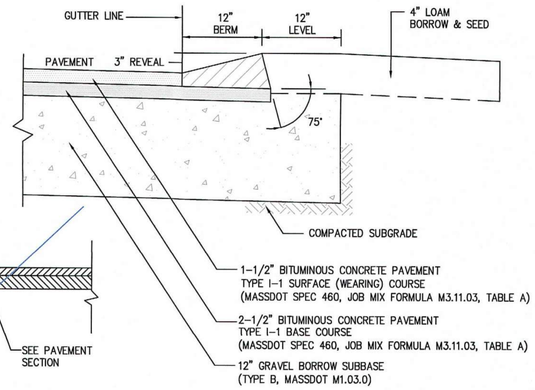
CONCRETE DUMPSTER PAD DETAIL
SCALE: N.T.S.



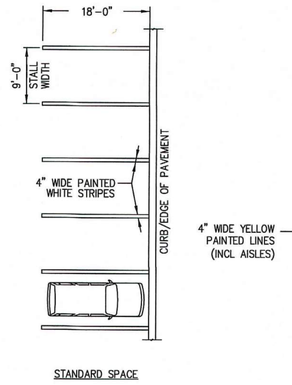
NOTES:
1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
2. TOPSOIL SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1 1/4" AND SHALL CONFORM TO THE FOLLOWING GRADATION:

SIEVE	% PASSING
1 1/4 INCH	100
No.4	85-100
No.40	60-85
No.100	38-60
No.200	28-40

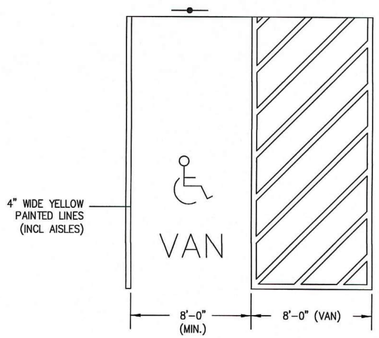
SEEDED OR SODDED LAWN DETAIL
SCALE: N.T.S.



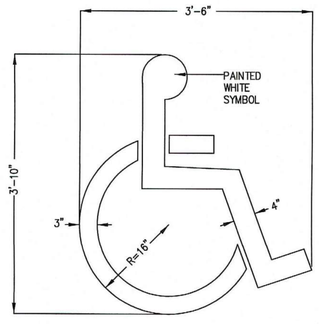
MONOLITHIC BITUMINOUS CONCRETE
(CAPE COD) BERM DETAIL
SCALE: N.T.S.



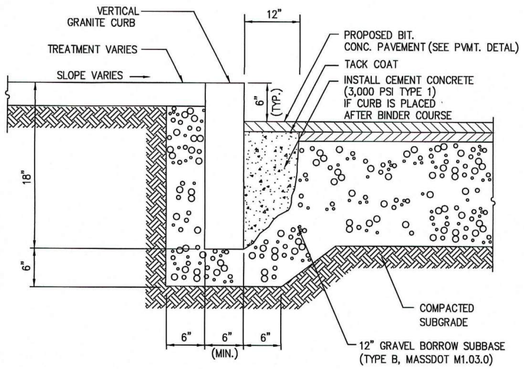
TYPICAL STRIPING DETAILS
SCALE: N.T.S.



HANDICAP PARKING STALL DETAIL
SCALE: N.T.S.

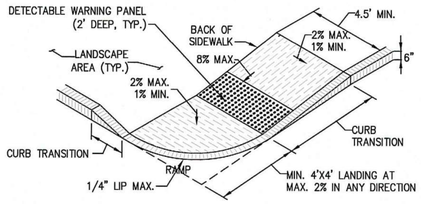


PAINTED HANDICAP SYMBOL DETAIL
SCALE: N.T.S.

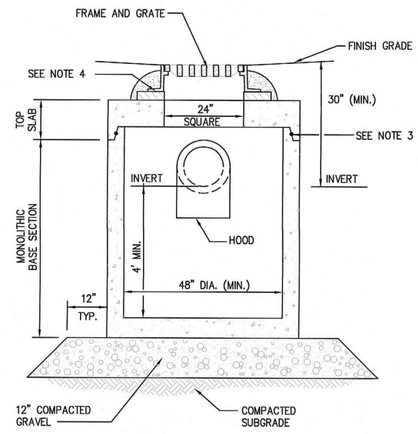


NOTE:
VERTICAL GRANITE CURB SHALL COMPLY WITH MASS DOT SPEC. 501 AND 580 AS APPLICABLE

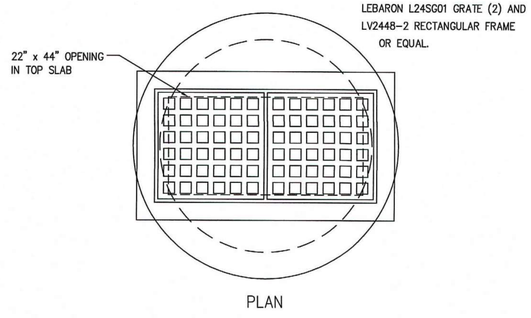
VERTICAL GRANITE CURB (VGC)
SCALE: N.T.S.



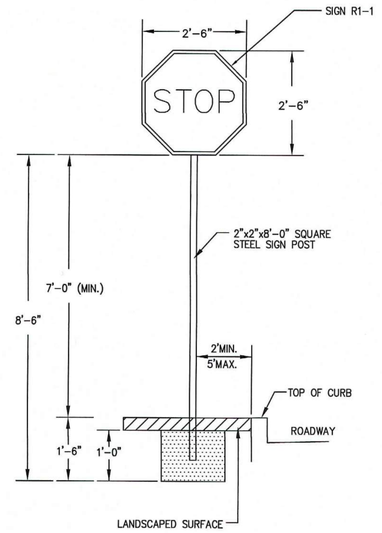
ACCESSIBLE CURB RAMPS
SCALE: N.T.S.

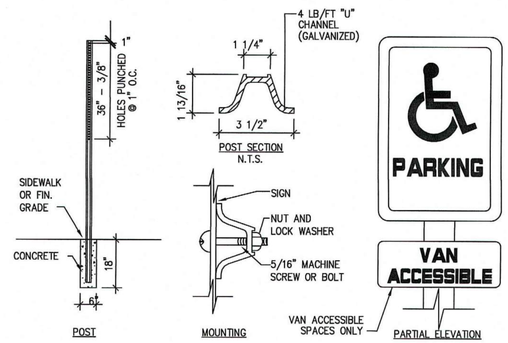


SHALLOW CATCH BASIN WITH HOOD DETAIL
SCALE: N.T.S.



DOUBLE GRATE CATCH BASIN DETAIL
SCALE: N.T.S.





SIGN DETAIL
SCALE: N.T.S.

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

_____ _____
DATE TOWN CLERK

REV	DATE	DESCRIPTION	BY	APP
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7	1-27-2020	NO CHANGES THIS SHEET	SBS	BCM
8	3-4-2020	NO CHANGES THIS SHEET	SBS	BCM

MCKENZIE ENGINEERING GROUP
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SITE DEVELOPMENT PLAN

(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

BRADLEY C. MCKENZIE CIVIL No. 35947 REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF MASSACHUSETTS

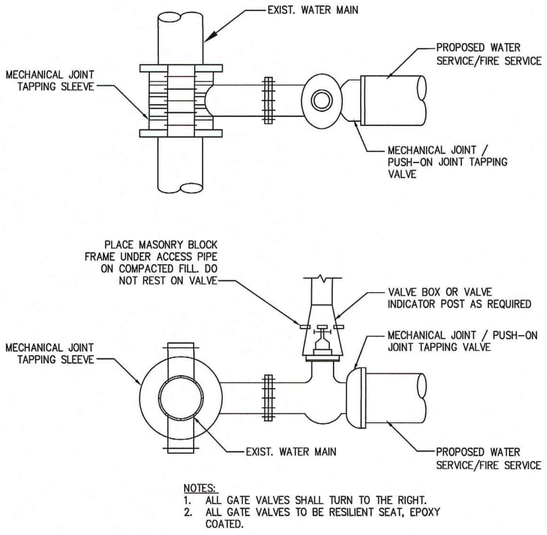
OWNER:
Grissom Park Co., LLP
293R Washington Street
Norwell, Massachusetts 02061

PLAN MODIFICATION SET

DRAWN BY:	SBS
DESIGNED BY:	- -
CHECKED BY:	- -
APPROVED BY:	BCM
DATE:	MARCH 22, 2017
SCALE:	1"=40'
PROJECT NO.:	215-105

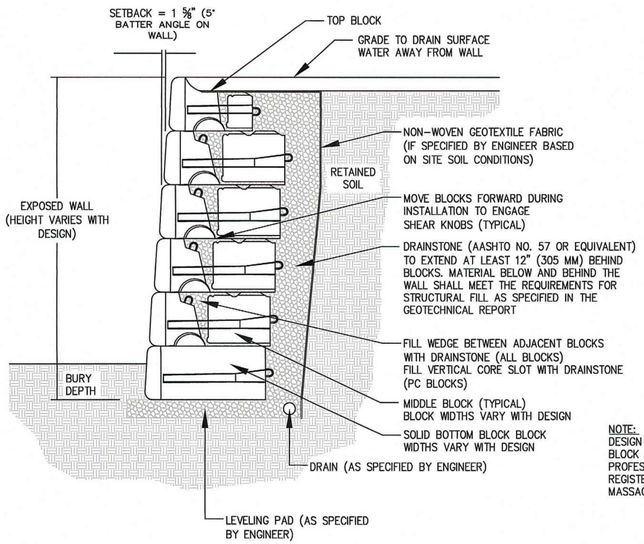
DWG. TITLE:
Construction Details I Phase I

DWG. NO:
C-3



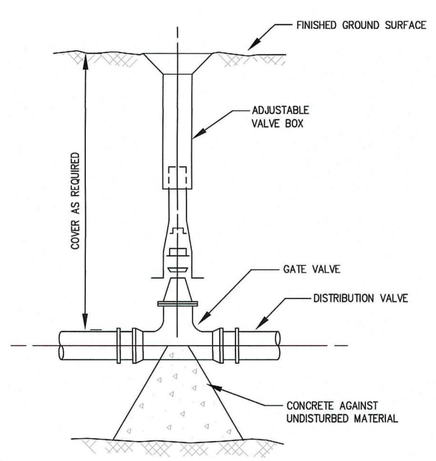
NOTES:
1. ALL GATE VALVES SHALL TURN TO THE RIGHT.
2. ALL GATE VALVES TO BE RESILIENT SEAT, EPOXY COATED.

TYPICAL TAPPING VALVE AND SLEEVE DETAIL
SCALE: N.T.S.



NOTE:
DESIGN OF PRECAST CONCRETE MODULAR BLOCK RETAINING WALL SHALL BE BY A PROFESSIONAL CIVIL STRUCTURAL ENGINEER REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS

MODULAR BLOCK GRAVITY RETAINING WALL DETAIL
SCALE: N.T.S.



WATER GATE DETAIL
SCALE: N.T.S.

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

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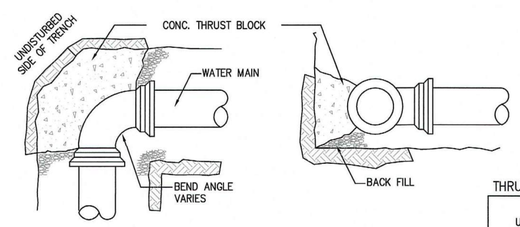
_____ DATE

_____ TOWN CLERK

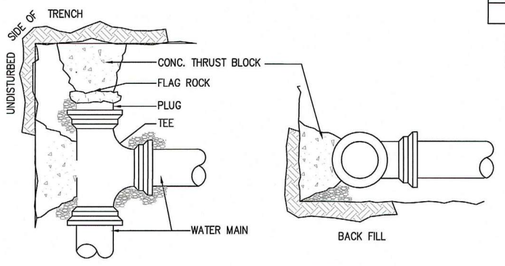


PLAN ELEVATION

THRUST BLOCK BEARING AREAS FOR WATER PIPE

TABLE OF BEARING AREAS IN SQ. FT. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS*			
SIZE OF MAIN (IN.)	90° BEND	TEES AND PLUGS	45° BEND
6	4	2.5	2
8	6	4	3
12	12	9	7
16	21	16	12

* TYPE OF SOIL IS MEDIUM CLAYEY, 6 OR MORE BLOWS PER FOOT, OR LOOSE GRANULAR, 9 OR MORE BLOWS PER FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.



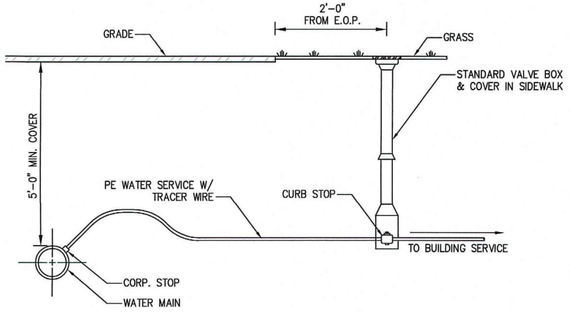
PLAN ELEVATION

NOTES:
1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
3. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
4. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.

THRUST BLOCK DETAIL
SCALE: N.T.S.

GENERAL NOTES

1. IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
2. ALL PIPES SHALL BE PRESSURE TESTED AT 200 PSI WORKING PRESSURE FOR A MINIMUM DURATION OF TWO HOUR.
3. WATER SYSTEM IS TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CHLORINE AND AFTER 24 HOURS TO 25 P.P.M. OR AS REQUIRED BY PEMBROKE WATER SUPERINTENDENT/ENGINEER.
4. WATER PIPE IS TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOINT, CONFORMING TO A.N.S.I./A.W.W.A. C150/A21.50, CLASS 52, AS APPROVED BY THE PEMBROKE WATER SUPERINTENDENT/ENGINEER.
5. ALL PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS PRIOR TO PAVING IF PAVING ABOVE TRENCH IS REQUIRED.
6. BACKFILL IS TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY BY AASHTO T-180 D.
7. ALL WATER PIPE SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OF APPROVED MATERIALS.
8. RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE DIRECTOR OF PUBLIC WORKS FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
9. ALL WORK SHALL BE IN CONFORMANCE WITH PEMBROKE WATER DEPARTMENT STANDARDS.
10. ALL PERMITS REQUIRED FOR STREET OPENINGS AND WATER MAIN TAPPING MUST BE OBTAINED.
11. NO WATER WILL BE TURNED ON IN THE PROJECT WITHOUT WATER DEPARTMENT APPROVAL.



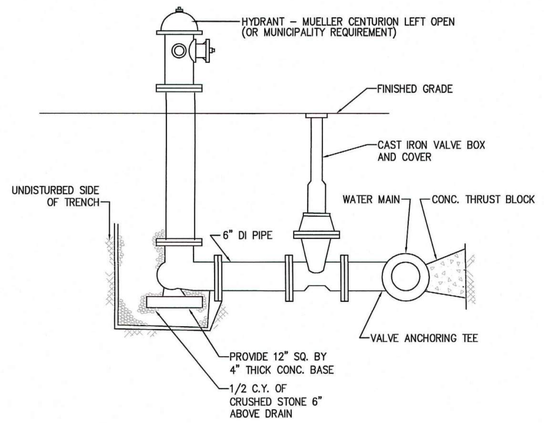
WATER SERVICE CONNECTION DETAIL
SCALE: N.T.S.

MAXIMUM SIZE TAPPED CONNECTION*

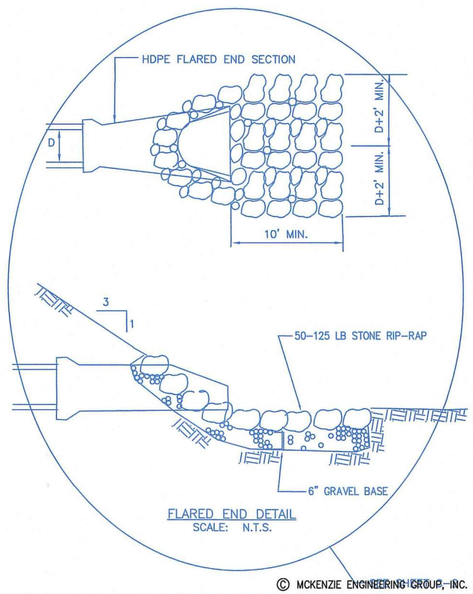
WATER MAIN DIAMETER	MAXIMUM TAP DIAMETER
4"	1/2"
6"	3/4"
8"	3/4"
12"	1"

WHERE THE SIZE OF THE CONNECTION EXCEEDS THAT GIVEN IN THE TABLE A BOSS SHALL BE PROVIDED OR THE TAP SHALL BE MADE BY MEANS OF MUTIPLE CORP. STOPS AND BRANCH FITTINGS, TAPPED TEE, OR TAPPED SADDLE.

NOTES:
1. FOR FITTINGS WITH LESS THAN 45° DEFLECTION, USE BEARING AREAS FOR 45° BEND.
2. BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 P.S.F. AND INTERNAL WATER PRESSURE OF 150 P.S.I.G. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DIREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
3. THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
4. ALL TEES, GATE VALVES, HYDRANTS AND FITTINGS SHALL BE MECHANICAL JOINTS WITH MEGA-LUGS.
5. THRUST BLOCKS SHALL BE BARREL BLOCKS.



FIRE HYDRANT DETAIL
SCALE: N.T.S.



FLARED END DETAIL
SCALE: N.T.S.

REV	DATE	DESCRIPTION	BY	APP
1	6-6-17	PEER REVIEW COMMENTS PLANNING BOARD COMMENTS	SBS	BCM
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3	6-14-18	PLAN MODIFICATION REVISED DRAINAGE	SBS	BCM
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SITE DEVELOPMENT PLAN

(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS
BRADLEY C. McKENZIE
CIVIL
No. 36917
REGISTERED PROFESSIONAL ENGINEER

OWNER:
Grissom Park Co., LLP
293R Washington Street
Norwell, Massachusetts 02061

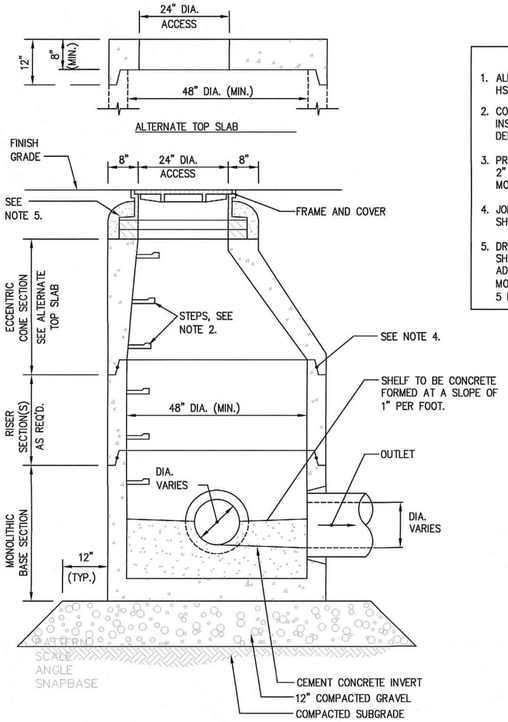
PLAN MODIFICATION SET

DRAWN BY:	SBS
DESIGNED BY:	- -
CHECKED BY:	- -
APPROVED BY:	BCM
DATE:	MARCH 22, 2017
SCALE:	1"=40'
PROJECT NO.:	215-105

DWG. TITLE:
Construction Details II Phase I

DWG. NO:
C-4

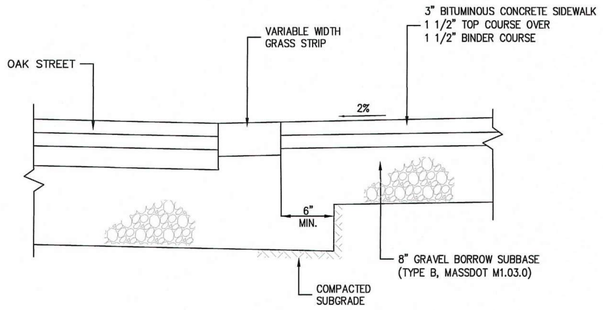
M:\MEG\2015 PROJECTS\215-105\DWGS\CUTSHEETS\AMENDMENT\REV 3\215-105 DETAILS_(A) (R3).DWG



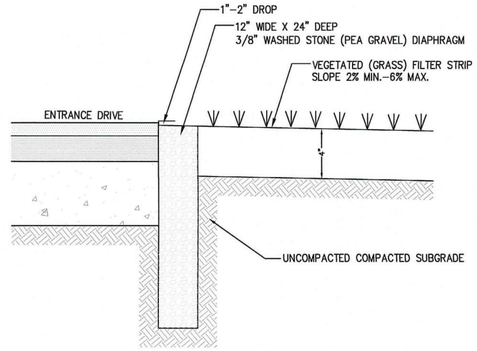
DRAIN MANHOLE DETAIL
SCALE: N.T.S.

NOTES:

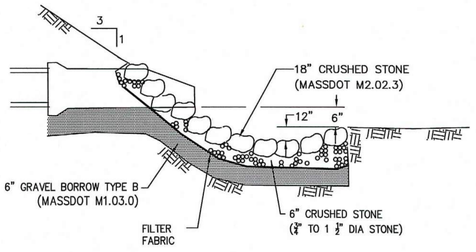
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

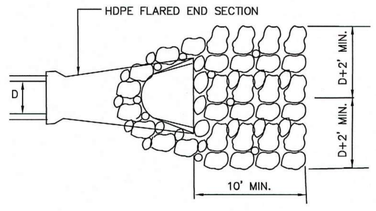


BITUMINOUS CONCRETE SIDEWALK AT OAK STREET
SCALE: N.T.S.



PEA GRAVEL DIAPHRAM
SCALE: N.T.S.





SEDIMENT TRAP DETAIL
SCALE: N.T.S.

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

_____

_____

_____

_____

_____

_____

_____

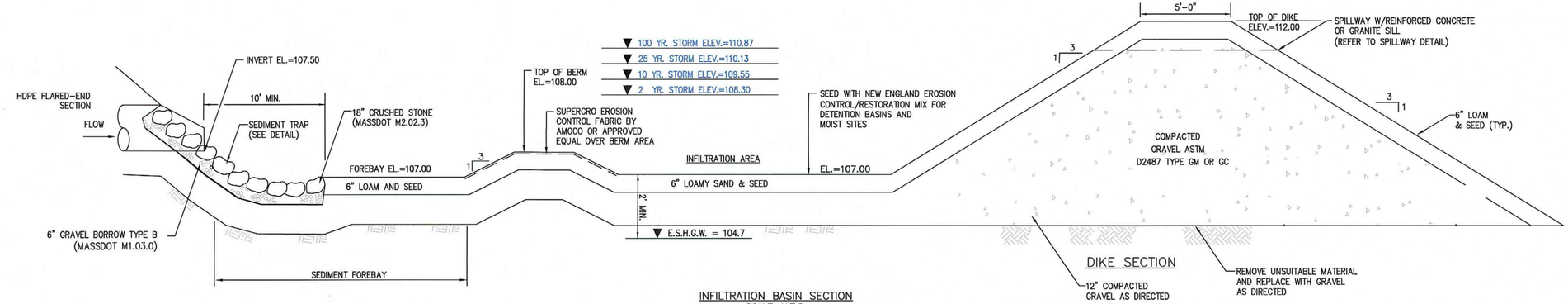
PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY-LAW.

I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

_____ DATE

_____ TOWN CLERK



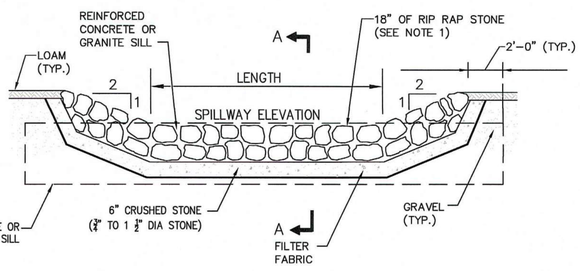
INFILTRATION BASIN SECTION
SCALE: N.T.S.

SPILLWAY SCHEDULE

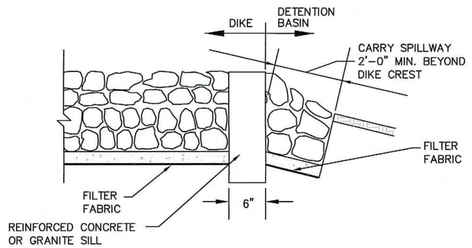
BASIN	SPILLWAY ELEV.	LENGTH	100-YR FLOOD ELEV.
IB-1	111.29	10 FT	111.31

NOTE:

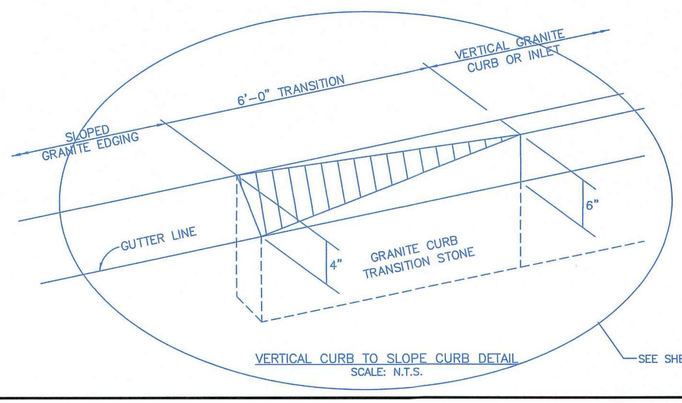
1. RIP RAP TO BE HAND CHINKED WITH A SMOOTH SURFACE ALONG THE TOP OF THE DIKE AND A ROUGH SURFACE ALONG THE DOWNSTREAM FACE AND TOE OF THE DIKE. STONE TO MEET MASSDOT (M2.02.3) REQUIREMENTS.



SPILLWAY DETAIL
SCALE: N.T.S.



SECTION A-A



VERTICAL CURB TO SLOPE CURB DETAIL
SCALE: N.T.S.

SEE SHEET I-1

REV	DATE	DESCRIPTION	BY	APP
1	6-6-17	PEER REVIEW COMMENTS PLANNING BOARD COMMENTS	SBS	BCM
2	6-13-17	PEER REVIEW COMMENTS	SBS	BCM
3	6-14-18	PLAN MODIFICATION REVISED DRAINAGE	SBS	BCM
4	7-30-18	PEER REVIEW COMMENTS	SBS	BCM
5	10-18-19	PLAN MODIFICATION	SBS	BCM
6	12-10-19	NO CHANGES THIS SHEET	SBS	BCM
7	1-27-2020	NO CHANGES THIS SHEET	SBS	BCM
8	3-4-2020	TRANSITION CURB DETAIL	SBS	BCM

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
781.792.3900
www.mckeng.com

SITE DEVELOPMENT PLAN

(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS
BRADLEY C. MCKENZIE
CIVIL
No. 36917
REGISTERED PROFESSIONAL ENGINEER

OWNER:
Grissom Park Co., LLP
293R Washington Street
Norwell, Massachusetts 02061

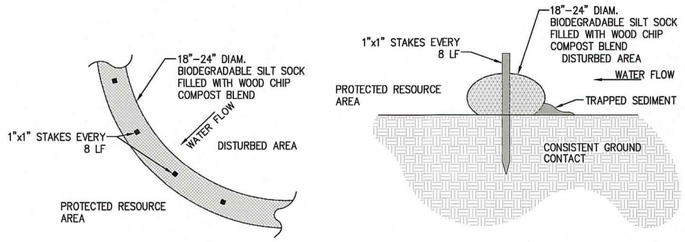
PLAN MODIFICATION SET

DRAWN BY:	SBS
DESIGNED BY:	- -
CHECKED BY:	- -
APPROVED BY:	BCM
DATE:	MARCH 22, 2017
SCALE:	1"=40'
PROJECT NO.:	215-105

DWG. TITLE:
Construction Details III Phase I

DWG. NO:
C-5

M:\MEG\2015 PROJECTS\215-105\DWGS\CUTSHEETS\AMENDMENT\REV 3\215-105 DETAILS_(A) (R3).DWG



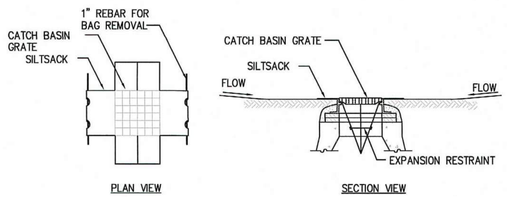
PLAN VIEW

SECTION VIEW

CONSTRUCTION NOTES:

1) SILT SOCKS SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING OR LAPPING THE ADJACENT SECTIONS.
2) SILT SOCKS SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE–BARS DRIVEN EVERY 8 LF.
3) INSPECTION SHALL BE FREQUENT, AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED.
4) SILT SOCKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

SILT SOCK DETAIL
SCALE: N.T.S.



PLAN VIEW

SECTION VIEW

SILT SACK SEDIMENT TRAP CONTRUCTION NOTES:

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

SILT SACK SEDIMENT TRAP DETAIL
SCALE: N.T.S.

EROSION AND SEDIMENTATION CONTROL

1. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SILT SOCK BARRIER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY DIVERSION SWALES WITH STONE CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION.
2. STABILIZATION PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE TEMPORARY SEEDING, GEOTEXTILES (JUTE MESH), MULCHING, AND PERMANENT SEEDING.
3. IN GENERAL, THE SMALLEST POSSIBLE AREA OF LAND SHOULD BE EXPOSED AT ONE TIME. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE CONFINED TO A MAXIMUM PERIOD OF 3 MONTHS. LAND SHALL NOT BE EXPOSED DURING THE WINTER MONTHS. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND THAT WILL BE REGRADED AT A LATER DATE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH WINTER RYE TO PREVENT EROSION.

CONSTRUCTION SEQUENCE

TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED

1. PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN. PLACE EROSION CONTROL BARRIERS AT LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT OAK STREET WITH ASSOCIATED SEDIMENT BASINS.
2. CLEAR AND GRUB ALL AREAS ASSOCIATED WITH THE CONSTRUCTION OF THE DRIVEWAY, PARKING, BUILDING AND RELATED INFRASTRUCTURE.
3. EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE ON SITE IN LOCATIONS SHOWN ON THE PLAN. CONSIDERATION SHOULD BE GIVEN TO LOCATING STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, WHERE POSSIBLE, TO ACT AS TEMPORARY DIVERSIONS. CONSTRUCT CUT AND FILL AREAS, INSTALLING HAYBALE CHECK DAMS AT TOES OF ALL 3:1 OR GREATER SLOPES, AND AT ENDS OF ALL CUT AREAS.
4. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS.
5. PLACE ALL SLOPE PROTECTION WHERE INDICATED ON THE PLAN.
6. CONSTRUCT TEMPORARY DIVERSION SWALES W/ STONE CHECK DAMS ALONG SIDE THE PROPOSED ROADWAYS UNTIL THEY ARE PAVED. THE TEMPORARY DIVERSION SWALES WILL ROUTE STORMWATER TO TEMPORARY SEDIMENT BASINS.
7. INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE COVERED WITH SILTSACK OR EQUIVALENT INLET PROTECTION.
8. GRADE ROADWAY TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENT CONTROL" SECTION OF THIS PLAN.
9. PLACE GRAVEL SUBBASE PER TOWN SPECIFICATIONS.
10. PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON DRIVEWAYS AND PARKING AREAS.
11. GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH.
12. PLACE THE FINAL WEARING COURSE OF PAVEMENT.
13. COMPLETE FINE GRADING OF SHOULDERS AND PLACE PAVEMENT IN MISCELLANEOUS AREAS (DRIVEWAY APRONS, PAVED SWALES, ETC.) REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

_____

_____

_____

_____

_____

_____

_____

PEMBROKE PLANNING BOARD

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE PEMBROKE ZONING BY–LAW.

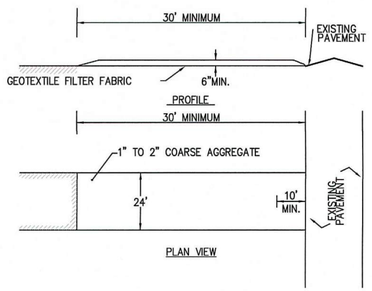
I, _____, TOWN CLERK OF THE TOWN OF PEMBROKE, MA, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

_____ _____

DATE TOWN CLERK

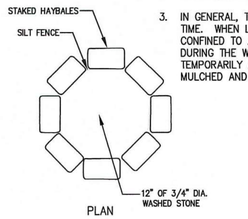
(STABILIZED CONSTRUCTION ENTRANCE) (SCE) CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS–OF–WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS–OF–WAY MUST BE REMOVED PROMPTLY.

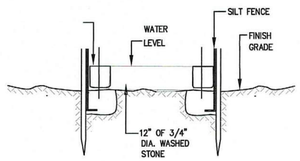


PLAN VIEW

STABILIZED CONSTRUCTION ENTRANCE (SCE) DETAIL
SCALE: N.T.S.



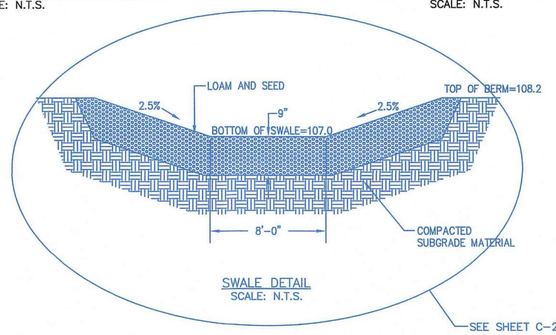
PLAN



SECTION

DEWATERING METHODS SHALL BE EMPLOYED IN ANY AREA WHERE PUMPING OF GROUNDWATER IS NECESSARY TO CONSTRUCT THE PROPOSED PARKING LOT AND UTILITIES. DETAILS SHOWN ON THIS PLAN SHALL BE USED AND ANY MODIFICATION SHALL BE APPROVED BY THE TOWN OF PEMBROKE.

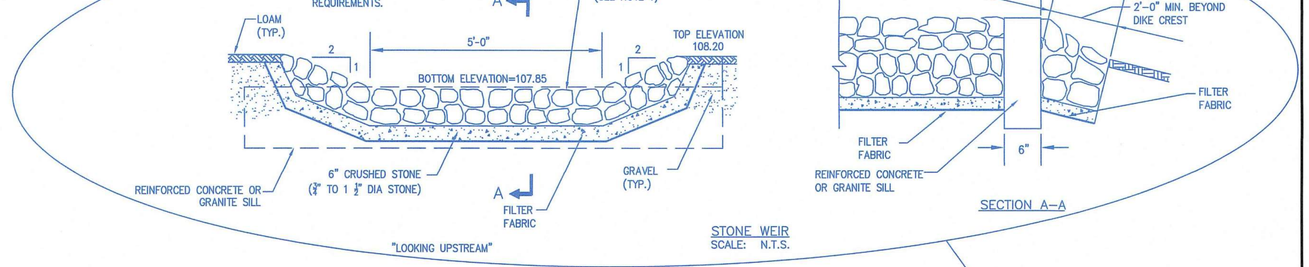
DEWATERING FILTER DETAIL
SCALE: N.T.S.



SWALE DETAIL
SCALE: N.T.S.

SEE SHEET C–2

NOTE:
1. RIP RAP TO BE HAND CHINKED WITH A SMOOTH SURFACE ALONG THE TOP OF THE BERM AND A ROUGH SURFACE ALONG THE DOWNSTREAM FACE AND TOE OF THE BERM. STONE TO MEET MASSDOT (M2.02.3) REQUIREMENTS.

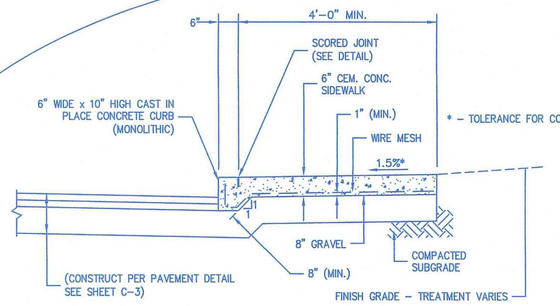


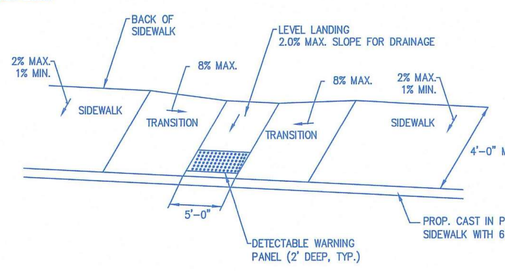
STONE WEIR
SCALE: N.T.S.

SECTION A–A

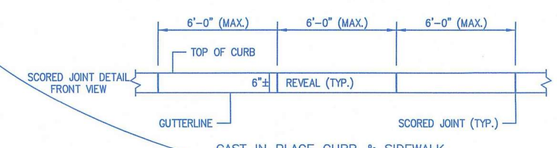
SEE SHEET C–2

SEE SHEET I–1





HANDICAP RAMP NARROW SIDEWALK
SCALE: N.T.S.



CAST IN PLACE CURB & SIDEWALK
SCALE: N.T.S.

REV	DATE	DESCRIPTION	BY	APP
1	6–6–17	PEER REVIEW COMMENTS PLANNING BOARD COMMENTS	SBS	BCM
2	6–13–17	PEER REVIEW COMMENTS	SBS	BCM
3	6–14–18	PLAN MODIFICATION REVISED DRAINAGE	SBS	BCM
4	7–30–18	NO CHANGES THIS SHEET	SBS	BCM
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SITE DEVELOPMENT PLAN

(PARCEL ID: G14-25F & G14-25G)
260-280 OAK STREET
PEMBROKE, MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS
BRADLEY C. MCKENZIE
CIVIL
No. 39917
REGISTERED PROFESSIONAL ENGINEER

OWNER:
Grissom Park Co., LLP
293R Washington Street
Norwell, Massachusetts 02061

PLAN MODIFICATION SET

DRAWN BY:	SBS
DESIGNED BY:	– –
CHECKED BY:	– –
APPROVED BY:	BCM
DATE:	MARCH 22, 2017
SCALE:	1"=40'
PROJECT NO.:	215–105

DWG. TITLE:
Erosion Control Plan Phase I

DWG. NO:
C-6