

7 & 15 MATTAKEESETT ST.
PEMBROKE, MA

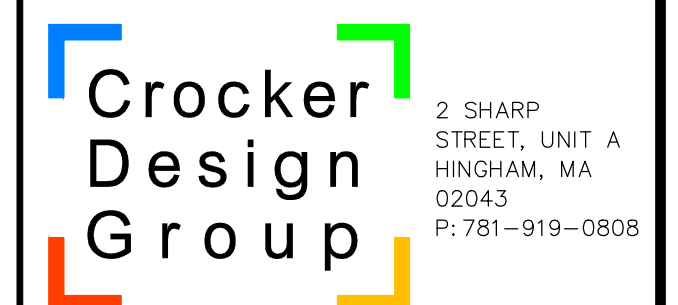
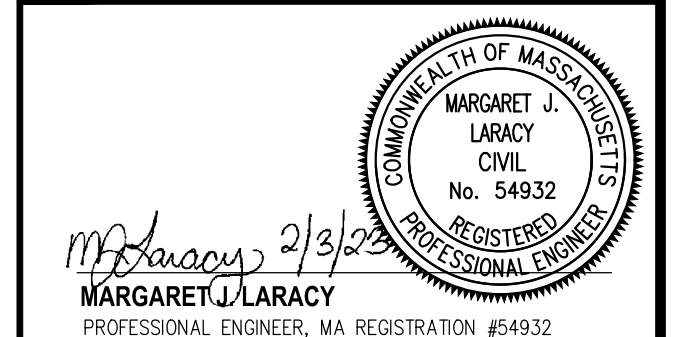
DROHAN TOCCHIO & MORGAN PC
175 DERBY STREET, SUITE 30
HINGHAM, MA 02043
781-749-7200



A horizontal number line with tick marks at 300, 150, 0, 300, and 600. The line is divided into four equal segments by these tick marks. The first segment (300 to 150) is shaded with horizontal lines. The second segment (150 to 0) is unshaded. The third segment (0 to 300) is shaded with horizontal lines. The fourth segment (300 to 600) is unshaded.

EXISTING CONDITIONS PLAN
SEPTIC SYSTEM LAYOUT PLAN

Date	Description	No.
Revisions		



Project

MATTAKEESETT VILLAGE
PEMBROKE, MA 02359

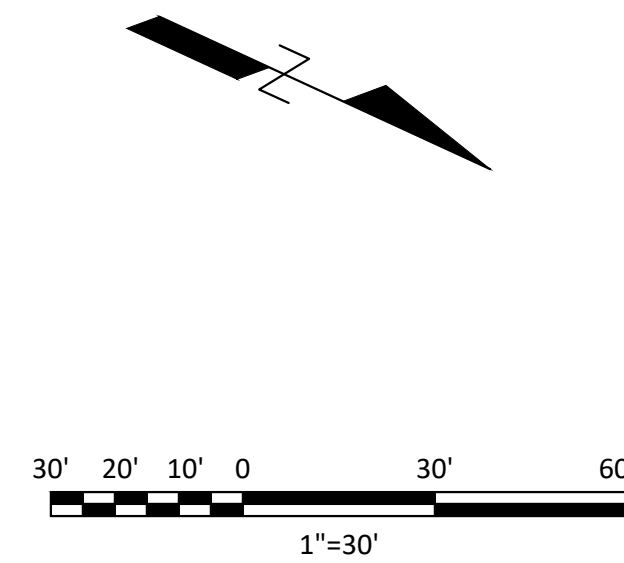
Prepared for

**WEATHERVANE
AT MATTAKEESETT, LLC**

Drawing Title

COVER SHEET

Project No.	100-152	Drawing No. <div style="font-size: 48pt; text-align: center;">C-1</div>
Date	02/03/2023	
Scale	AS NOTED	
Drawn By	RML	
Approved By	GRG	



DEMOLITION LIST			
#s	DESCRIPTION	#s	DESCRIPTION
1	EXISTING RETAINING WALL (TBR)	15	EXISTING FIRE DEPARTMENT CONNECTION (TBR)
2	EXISTING CHAINLINK FENCE (TBR)	16	EXISTING ROOF DRAIN (TBR) (SEE ARCHITECTURAL PLANS)
3	EXISTING WALKWAY PAVERS (TBR)	17	EXISTING OVERHANG (TBR) (SEE ARCHITECTURAL PLANS)
4	EXISTING CAPE COD BERM (TBR)	18	EXISTING DOOR REMOVAL (SEE ARCHITECTURAL PLANS)
5	EXISTING CONCRETE PAD (TBR)	19	EXISTING UNDERGROUND WATER SERVICE / MAIN (TBR)
6	EXISTING PAVEMENT SECTION (TBR)	20	EXISTING UNDERGROUND GAS SERVICE (TBR)
7	EXISTING GRASS / LANDSCAPING (TBR)	21	BUILDING EXCAVATION
8	EXISTING GRAVEL (TBR)	22	PAVEMENT SAWCUT LINE
9	EXISTING SIGN (TBR)	23	EXISTING GUARDRAIL (TBR)
10	REMOVE EXISTING OVERHEAD WIRES (COORDINATE WITH ELECTRIC CO.)	24	EXISTING DRAINAGE PIPE (TBR)
11	EXISTING UNDERGROUND ELECTRIC (TBR)	25	EXISTING DRAINAGE MANHOLE / CATCH BASIN (TBR)
12	EXISTING UTILITY POLE / GUY WIRE (TBR)	26	EXISTING BUILDING (TBR)
13	EXISTING TRANSFORMER (TBR)	27	EXISTING SEPTIC SYSTEM (TBR)
14	EXISTING EV CHARGING STATION (TBR)		

PROTECTION LIST			
ID	DESCRIPTION		
A	EXISTING MONITORING WELL	G	EXISTING CATCH BASIN INLET PROTECTION
B	EXISTING ROOF DRAIN	H	EXISTING FLAGPOLE / SIGN
C	EXISTING CLEAN OUT	I	EXISTING GAS METER
D	EXISTING MANHOLE COVER	J	EXISTING WALL
E	SIGN (TO BE RELOCATED)	K	EXISTING FORCE MAIN
F	EXISTING 24" GAS MAIN MARKER	L	EXISTING SEPTIC SYSTEM
		M	EXISTING STONE WALL

DEMO LEGEND	
(TBR)	TO BE REMOVED AND DISPOSED OF (EXCAVATE TO PROPOSED SUBGRADE)
(TRIP)	TO REMAIN IN PLACE
	EXISTING ASPHALT (TBR)
	EXISTING CONCRETE (TBR)
	EXISTING BUILDING (TBR)
	EXISTING SCRUB / BRUSH & TREES (TBR)
	PROPOSED CONSTRUCTION ENTRANCE
	EXISTING UNDERGROUND UTILITIES (TBR)
	EXISTING TREE (TBR)
	EXISTING UTILITY STRUCTURE (TBR)
	PROTECT EXISTING STRUCTURE
	SILT SOCK (LIMITS OF DISTURBANCE)

Date	Description	No.
Revisions		

M. Laracy 2/3/23
MARGARET J. LARACY
PROFESSIONAL ENGINEER, MA REGISTRATION #54932

2 SHARP STREET, UNIT A
HINGHAM, MA 02043
P: 781-919-0808

Project

MATTAKEESETT VILLAGE
PEMBROKE, MA 02359

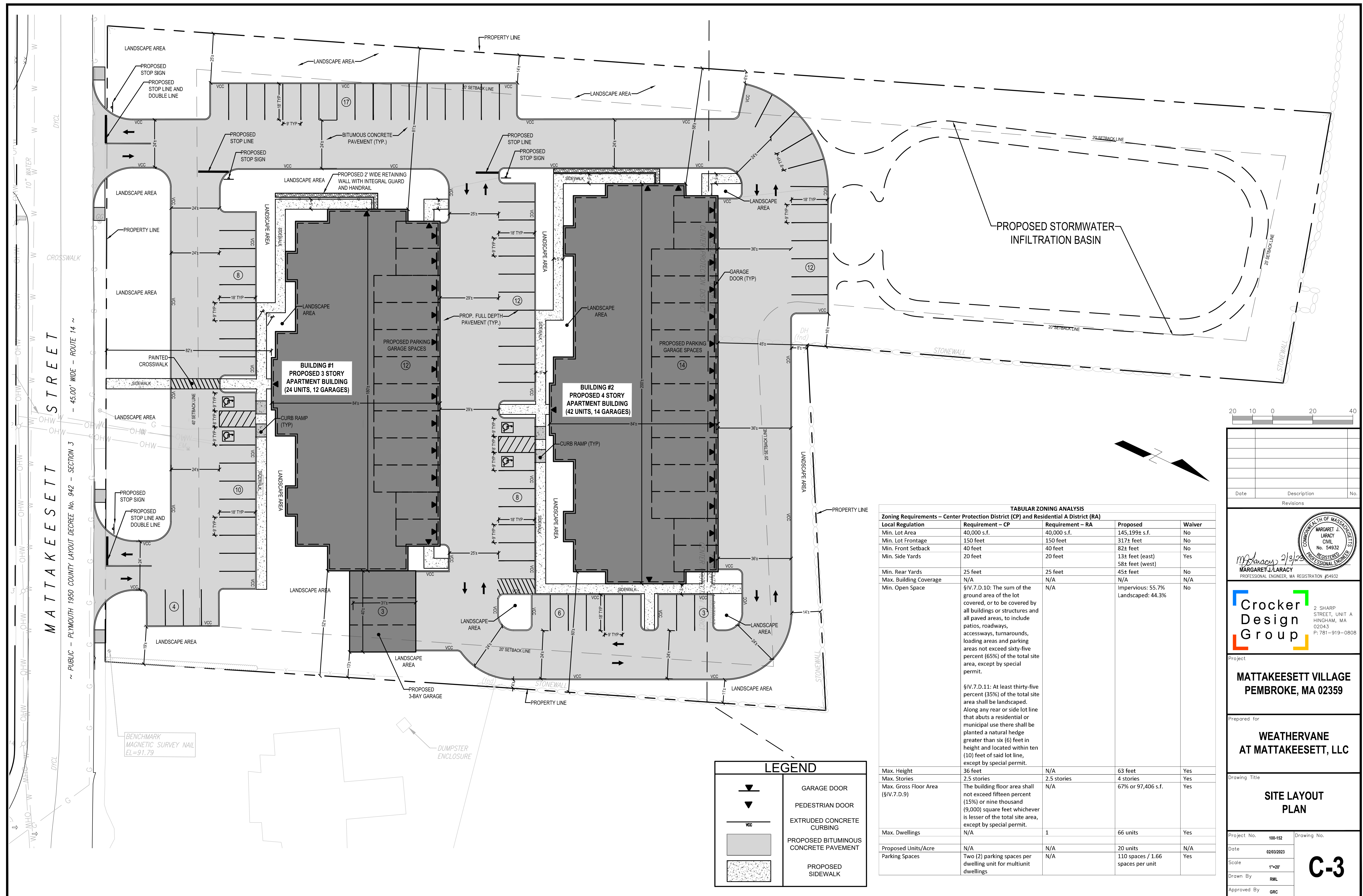
Prepared for

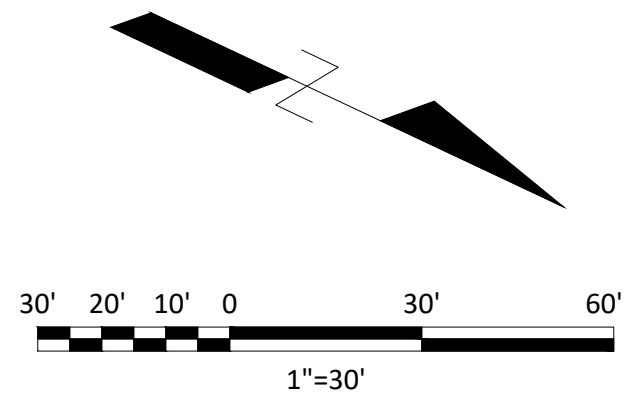
WEATHERVANE
AT MATTAKEESETT, LLC

Drawing Title

DEMOLITION PLAN

Project No.	100-152	Drawing No.	C-2
Date	02/03/2023		
Scale	1"=20'		
Drawn By	RML		
Approved By	GRC		





SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: DAVID NEWHALL S.E. #14226
SOIL TESTING WITNESSED BY: LISA CULLITY
DATE: NOVEMBER 1, 2021 & DECEMBER 14, 2021

SOIL TEST DATA

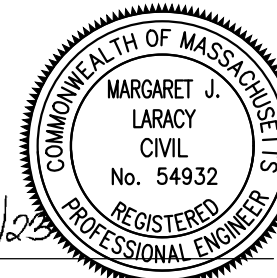
SOIL TESTING AND EVALUATION BY: MARGARET LARACY S.E. #14613
DATE: AUGUST 17, 2022

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JOSHUA GREEN
DATE: JANUARY 4, 2023

<div>21-01</div> <div>EL. 74.2</div> <div>GROUNDWATER ENCOUNTERED AT ±77"</div> <div><div>0" TO 8" A HORIZON LOAMY SAND 10 YR 3/3</div><div>73.6</div></div> <div><div>8" TO 24" B HORIZON LOAMY SAND 10 YR 5/6</div><div>72.2</div></div> <div><div>24" TO 96" C1 LAYER SAND 2.5 Y 5/3</div><div>66.2</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =3 MIN/IN</div></div>	<div>21-02</div> <div>EL. 72.2</div> <div>GROUNDWATER ENCOUNTERED AT ±80"</div> <div><div>0" TO 18" A HORIZON LOAMY SAND 10 YR 3/3</div><div>70.7</div></div> <div><div>18" TO 44" B HORIZON LOAMY SAND 10 YR 5/6</div><div>68.6</div></div> <div><div>44" TO 108" C1 LAYER SAND 2.5 Y 5/3</div><div>63.2</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =6 MIN/IN</div></div>	<div>21-03</div> <div>EL. 70.3</div> <div>GROUNDWATER ENCOUNTERED AT ±52"</div> <div><div>0" TO 12" A HORIZON LOAMY SAND 10 YR 3/3</div><div>69.3</div></div> <div><div>12" TO 36" B HORIZON LOAMY SAND 10 YR 5/6</div><div>67.3</div></div> <div><div>36" TO 96" C1 LAYER SAND 2.5 Y 5/3</div><div>62.3</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>21-04</div> <div>EL. 68.3</div> <div>GROUNDWATER ENCOUNTERED AT ±52"</div> <div><div>0" TO 12" A HORIZON LOAMY SAND 10 YR 3/3</div><div>67.3</div></div> <div><div>12" TO 28" B HORIZON LOAMY SAND 10 YR 5/6</div><div>66.0</div></div> <div><div>28" TO 96" C1 LAYER SAND 2.5 Y 5/3</div><div>60.3</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>21-05</div> <div>EL. 87.0</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 112" FILL</div><div>77.7</div></div> <div><div>112" TO 126" AB HORIZON LOAMY SAND 2.5 YR 6/2</div><div>76.5</div></div> <div><div>126" TO 186" C1 LAYER SAND 2.5 Y 5/3</div><div>71.5</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>TP-1</div> <div>EL. 86.3</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 127" FILL</div><div>75.7</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>TP-2</div> <div>EL. 66.5</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 13" Ap HORIZON</div><div>65.4</div></div> <div><div>13" TO 25" B HORIZON LOAMY SAND 10 YR 5/5</div><div>64.4</div></div> <div><div>25" TO 95" C1 LAYER SAND 2.5 Y 5/4</div><div>58.6</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>TP-3</div> <div>EL. 65.4</div> <div>GROUNDWATER ENCOUNTERED AT ±105"</div> <div><div>0" TO 11" Ap HORIZON</div><div>64.5</div></div> <div><div>11" TO 25" B HORIZON LOAMY SAND 10 YR 5/4</div><div>63.3</div></div> <div><div>25" TO 75" C1 LAYER LOAMY SAND 10 Y 5/6</div><div>59.1</div></div> <div><div>75" TO 105" C2 LAYER SAND 10 Y 4/4</div><div></div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>TP-4</div> <div>EL. 62.4</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 12" Ap HORIZON</div><div>61.4</div></div> <div><div>12" TO 27" B HORIZON LOAMY SAND 10 YR 5/6</div><div>60.2</div></div> <div><div>27" TO 97" C1 LAYER LOAMY SAND 10 Y 5/4</div><div>54.3</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>TP-23-01</div> <div>EL. 74.6</div> <div>GROUNDWATER ENCOUNTERED AT ±110"</div> <div><div>0" TO 8" Ap HORIZON LOAMY SAND 10 YR 3/2</div><div>74.0</div></div> <div><div>8" TO 30" Bw HORIZON LOAMY SAND 10 YR 5/4</div><div>72.1</div></div> <div><div>30" TO 120" C1 LAYER SAND 2.5 Y 6/3</div><div>64.6</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =2 MIN/IN</div></div>	<div>TP-23-02</div> <div>EL. 74.8</div> <div>GROUNDWATER ENCOUNTERED AT ±108"</div> <div><div>0" TO 8" Ap HORIZON LOAMY SAND 10 YR 3/2</div><div>74.2</div></div> <div><div>8" TO 24" Bw HORIZON LOAMY SAND 10 YR 5/6</div><div>72.8</div></div> <div><div>24" TO 120" C1 LAYER SAND 2.5 Y 6/3</div><div>64.8</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =2 MIN/IN</div></div>	<div>TP-23-03</div> <div>EL. 80.1</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 12" Ap HORIZON LOAMY SAND 10 YR 3/2</div><div>79.1</div></div> <div><div>12" TO 34" Bw HORIZON LOAMY SAND 10 YR 5/4</div><div>77.3</div></div> <div><div>34" TO 108" C1 LAYER SAND 2.5 Y 6/3</div><div>71.1</div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =2 MIN/IN</div></div>
<div>21-06</div> <div>EL. 88.4</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 82" FILL</div><div>81.6</div></div> <div><div>112" TO 126" C1 LAYER SAND 2.5 Y 5/3</div><div></div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =3 MIN/IN</div></div>	<div>21-07</div> <div>EL. 87.8</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 102" FILL</div><div>79.3</div></div> <div><div>102" TO 174" C1 LAYER SAND 2.5 Y 5/3</div><div></div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =3 MIN/IN</div></div>	<div>21-08</div> <div>EL. 87.6</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 110" FILL</div><div>78.4</div></div> <div><div>110" TO 180" C1 LAYER SAND 2.5 Y 5/3</div><div></div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>21-09</div> <div>EL. 91.2</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 82" FILL</div><div>84.4</div></div> <div><div>112" TO 126" C1 LAYER SAND 2.5 Y 5/3</div><div></div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>21-10</div> <div>EL. 92.0</div> <div>NO REDOX/GROUNDWATER ENCOUNTERED</div> <div><div>0" TO 82" FILL</div><div>85.2</div></div> <div><div>112" TO 126" C1 LAYER SAND 2.5 Y 5/3</div><div></div></div> <div><div>BOTTOM OF HOLE</div><div></div></div> <div><div>PR =5 MIN/IN</div></div>	<div>NOTE:</div> <div>AB-TP-1 LOCATION AS PER "ASBUILT SEWAGE DISPOSAL LOCATION PLAN, SHEPHERD FUNERAL HOME, 7 MATTAKEESETT ST. PEMBROKE, MASS. BY KENNETH R. TEEBAGY. P.E. DATES JUNE 21, 2011.</div>						

Date	Description	No.
Revisions		



MARGARET J. LARACY
PROFESSIONAL ENGINEER, MA REGISTRATION #54932

2 SHARP STREET, UNIT A
HINGHAM, MA
02043
P: 781-919-0808

MATTAKEESETT VILLAGE
PEMBROKE, MA 02359

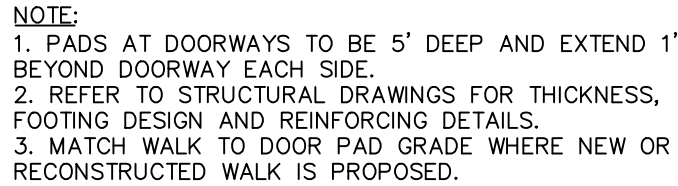
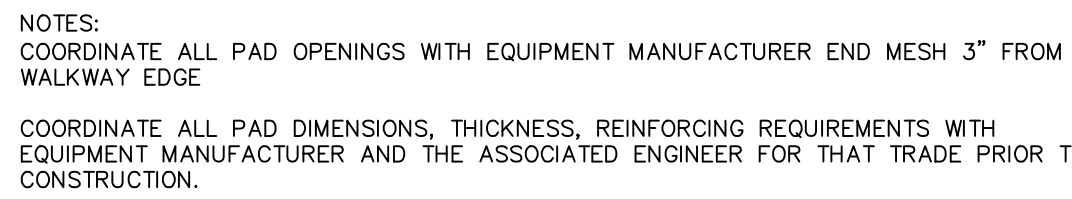
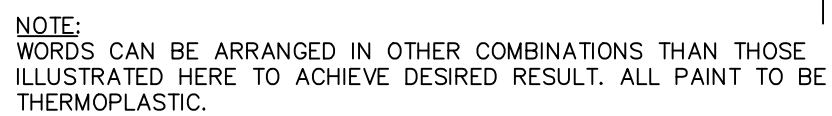
Prepared for
WEATHERVANE
AT MATTAKEESETT, LLC

Drawing Title
TEST PIT PLAN

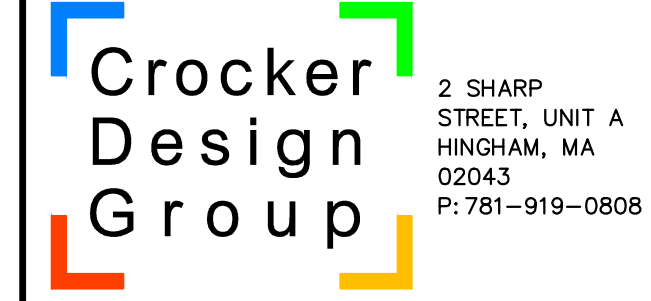
Project No.	100-152	Drawing No.	C-6
Date	02/03/2023	Scale	
Scale	1"=30'	Drawn By	
Drawn By	RML	Approved By	
Approved By	GRC		



CONCRETE CURB RAMP
NOT TO SCALE



Revisions



Project

MATTAKEESETT VILLAGE
PEMBROKE, MA 02359

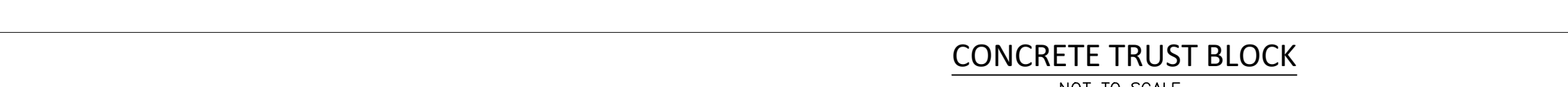
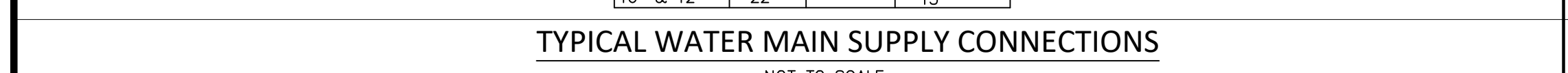
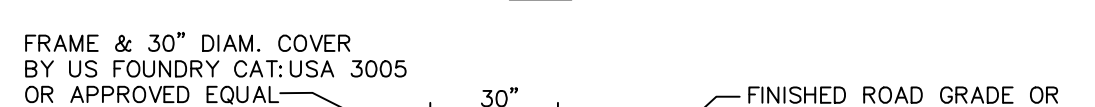
Prepared for

**WEATHERVANE
AT MATTAKEESETT, LLC**

Drawing Title

DETAIL SHEET
(1 OF 4)

Project No.	100-152	Drawing No. C-7.1
Date	02/03/2023	
Scale	AS NOTED	
Drawn By	RML	
Approved By	GRC	



NOTE:
1. IF SOFT MATERIALS ARE
ENCOUNTERED,
THE THRUST BLOCKS SIZES SHALL
BE
ADJUSTED ACCORDINGLY.
2. CONCRETE TO BE 3000 PSI.

PROFESSIONAL ENGINEER, MA REGISTRATION #54932

[illegible]Project

MATTAKEESETT VILLAGE
PEMBROKE, MA 02359

Prepared for

**WEATHERVANE
AT MATTAKEESETT, LLC**

AT 10/17/2014, 11:0

Drawing Title

DETAIL SHEET
(2 OF 4)

(2014)

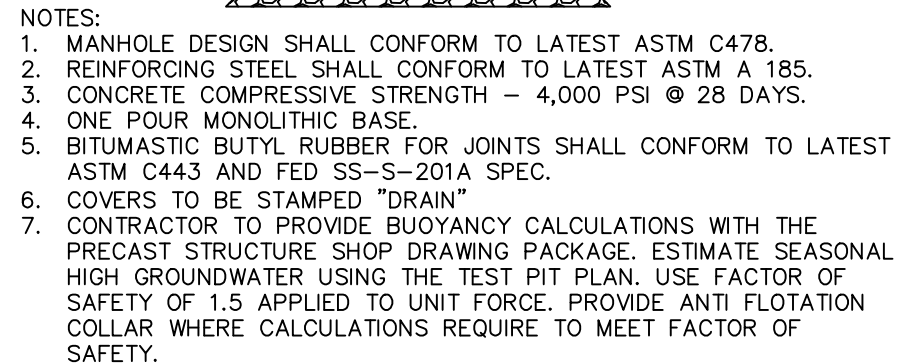
Project No.	100-152	Drawing No.
Date		

Date	02/03/2023
Scale	AS NOTED

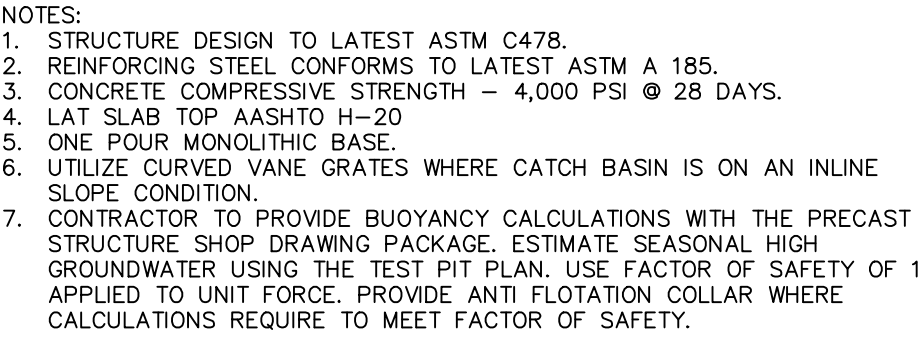
C-72

Drawn By	RML

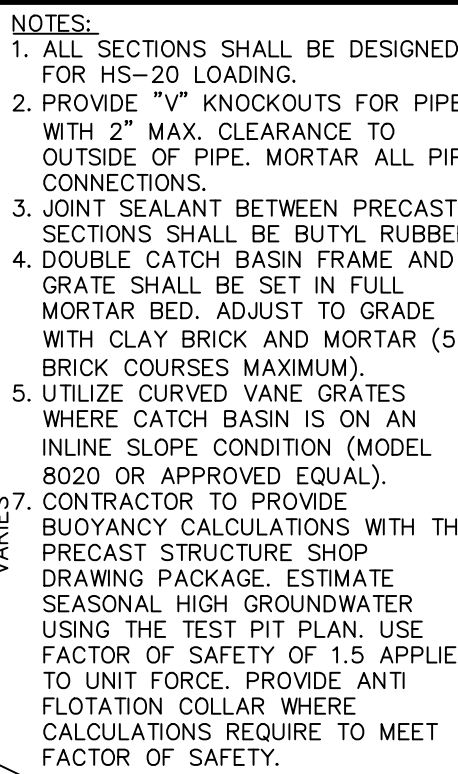
C-7.2



PRECAST CONCRETE DRAIN MANHOLE



SINGLE GRATE CATCH BASIN
NOT TO SCALE

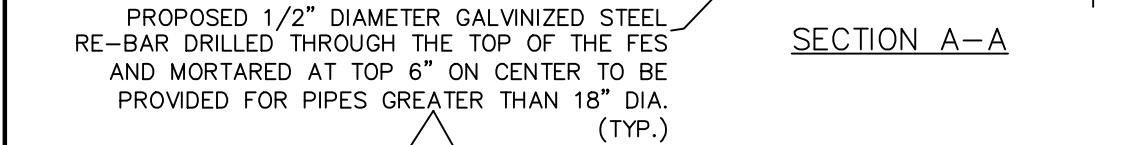


DOUBLE GRATE CATCH BASIN



RIP RAP DETAIL AT BASIN INLET PIPE

NOT TO SCALE



CONCRETE FLARED END SECTION WITH SECURITY BARS



Date	Description	No.			
Revisions					
<div style="text-align: right;"> MARGARET J. LARACY PROFESSIONAL ENGINEER, MA REGISTRATION #54932</div> <div>MPLaracy 2/3/23</div> <div>MARGARET J. LARACY PROFESSIONAL ENGINEER, MA REGISTRATION #54932</div>					
		2 SHARP STREET, UNIT A HINGHAM, MA 02043 P: 781-919--0808			
Project					
MATTAKEESETT VILLAGE PEMBROKE, MA 02359					
Prepared for					
WEATHERVANE AT MATTAKEESETT, LLC					
Drawing Title					
DETAIL SHEET (3 OF 4)					
Project No. 100-152		Drawing No.			
Date 02/03/2023		<div>C-7.3</div>			
Scale AS NOTED					
Drawn By RML					
Approved By GRG					

ELEVATION

PLAN

HAY BALES & SILT FENCE
NOT TO SCALE

PLAN VIEW

CROSS SECTION

CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE—USE "2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
a. LEAVE STONE DEPTH GREATER THAN OR EQUAL TO 50 FEET WHERE SOILS ARE SANDS AND GRAVELS AND 100 FEET IN SILT AND CLAYS.
2. THICKNESS—NOT LESS THAN SIX (6) INCHES.
3. WIDTH—FIFTEEN (15) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
5. FILTER CLOTH—SHALL BE PLACED OVER THE ENTIRE AREA OF THE ENTRANCE TO THE TRENCH.
6. SURFACE WATER—ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE INSTALLED.
7. MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OF FINE PARTICLES OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO PREVENT TRACKING OF FINE PARTICLES OF SEDIMENT ONTO A TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

CONSTRUCTION ENTRANCE
NOT TO SCALE

PLAN

SECTION

DRAIN INLET PROTECTION
NOT TO SCALE

NOTE:

STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

SOIL STOCKPILE
NOT TO SCALE

PLAN VIEW

12" SILT SOCK / SILT FENCE DETAIL

NOT TO SCALE

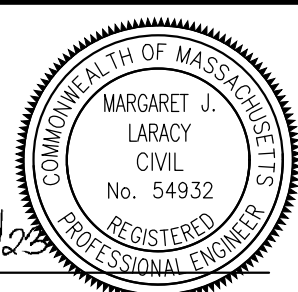
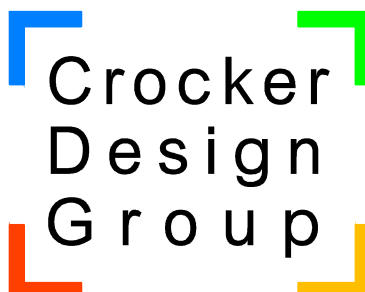
NOTES:

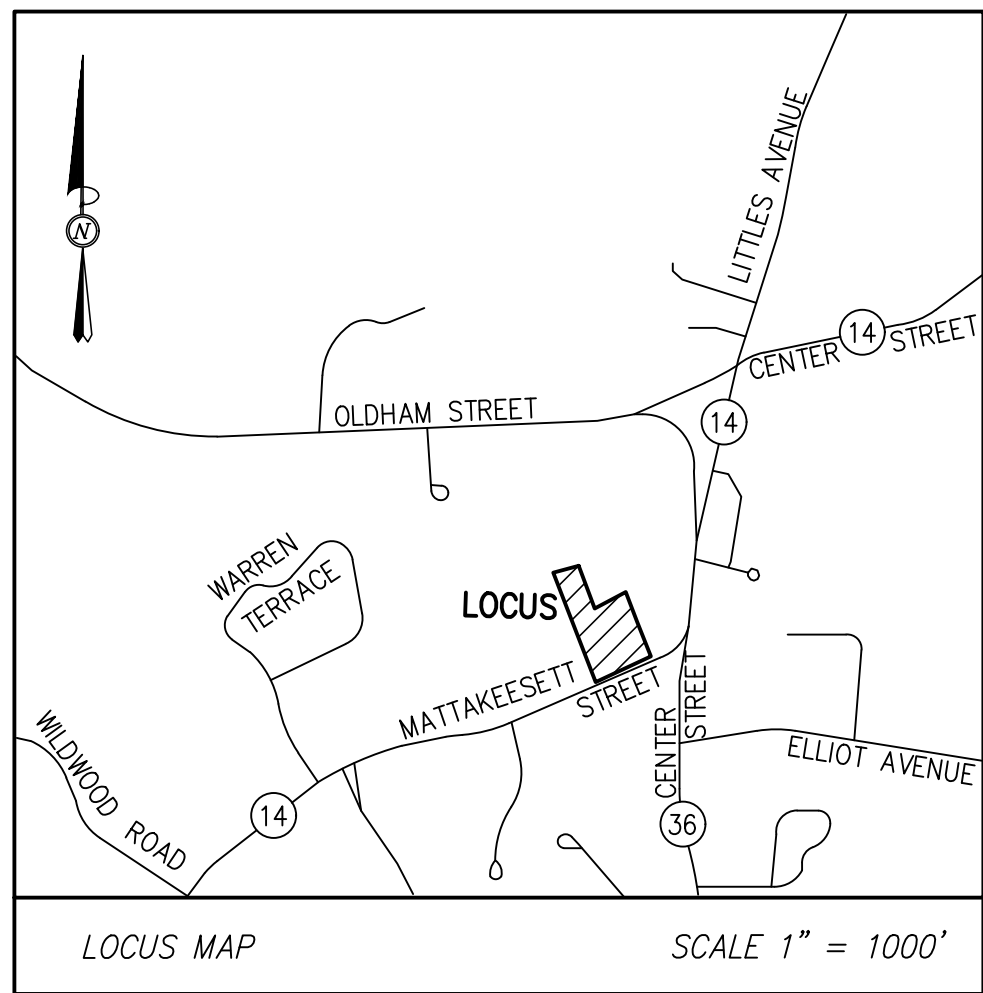
1. TO BE INSTALLED IN ALL GRATED TREATMENT UNITS AFTER INSTALLATION AND UNTIL COMPLETION OF CONSTRUCTION.
2. BOOT ADAPTER MAY BE TRIMMED TO SIZE.

FILTER BAG
NOT TO SCALE

SILT FENCE

SILT FENCE
NOT TO SCALE

Date	Description	No.			
Revisions					
<div> <i>M. Laracy</i> 2/3/23 MARGARET J. LARACY PROFESSIONAL ENGINEER, MA REGISTRATION #54932</div>					
<div>2 SHARP STREET, UNIT A HINGHAM, MA 02043 P: 781-919-0808</div>					
Project					
MATTAKEESETT VILLAGE PEMBROKE, MA 02359					
Prepared for					
WEATHERVANE AT MATTAKEESETT, LLC					
Drawing Title					
DETAIL SHEET (4 OF 4)					
Project No.		100-152		Drawing No.	
Date		02/03/2023			
Scale		AS NOTED			
Drawn By		RML			
Approved By		GRC			
<div>C-7.4</div>					



RECORD OWNER:

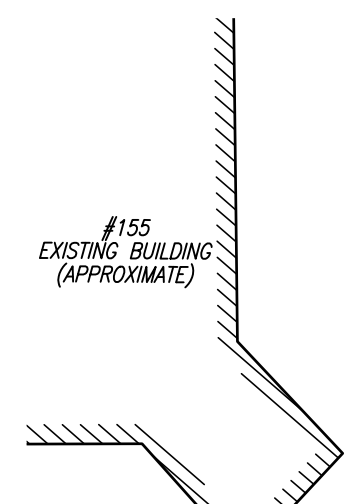
MAP C9 LOT 14
7 MATTAKESSETT STREET

MAP C9 LOT 15
15 MATTAKESSETT STREET

1317 WASHINGTON RE HOLDINGS, LLC
190 OLD DERBY STREET, SUITE 311
HINGHAM, MA 02043
DEED BOOK 57576 PAGE 83
LOT AREA = 145,199± S.F.

NOTES:

- PROPERTY LINE AND OWNER INFORMATION SHOWN HEREON IS BASED UPON RECORDS ON FILE AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS AND PEMBROKE TOWN HALL.
- PROPERTY LINE AND DETAIL INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CROCKER DESIGN GROUP, LLC BETWEEN APRIL AND JUNE OF 2022.
- SUBJECT PROPERTY FALLS WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP No. 25023C0208K, WITH AN EFFECTIVE DATE OF JULY 6, 2021 AND DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA.
- THE SITE IS LOCATED IN THE CENTER PROTECTION ZONING DISTRICT AND RESIDENTIAL A ZONING DISTRICT PER THE TOWN OF PEMBROKE ZONING MAP DATED OCTOBER 27, 2015.
- ALL ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



MAP C9 LOT 100
#14 MATTAKESSETT STREET
N/F PEMBROKE PLAZA LIMITED PARTNERSHIP
DEED BOOK 38237 PAGE 278
PLAN BOOK 31 PAGE 38

MAP C9 LOT 73
#147 CENTER STREET
N/F ARC ROCK 17MA LLC
DEED BOOK 35933 PAGE 94
PLAN BOOK 10 PAGE 107

ASSESSORS
MAP C9 LOTS 14 & 15
7 & 15 MATTAKESSETT STREET
1317 WASHINGTON RE HOLDINGS, LLC
DEED BOOK 57576 PAGE 83
145,199± S.F.
OR
3.33± ACRES

MAP C9 LOT 13
#125 CENTER STREET
N/F CHRISTY'S REALTY LIMITED PART
DEED BOOK 13442 PAGE 281

LEGEND

EXISTING	DESCRIPTION
30	1" CONTOUR
+30.5	SPOT ELEVATION
EOP	PROPERTY LINE
VSC	EDGE OF PAVEMENT
SSC	VERTICAL GRANITE CURB
CCB	SLOPE GRANITE CURB
VSC	CAPE COD BERM
VSC	VERTICAL CONCRETE CURB
EDGE OF GRAVEL	EDGE OF GRAVEL
BRICK WALKWAY	BRICK WALK
RET. WALL	RETAINING WALL
WATER LINE	WATER LINE
GAS LINE	GAS LINE
TEL & CABLE	TELEPHONE & CABLE
ELEC TEL CABLE	ELECTRIC & TELEPHONE CABLE
E	ELECTRIC SERVICE
OVERHEAD WIRE	OVERHEAD WIRE
TELECOM	UNDERGROUND TELECOM
SEWER LINE	SEWER LINE
SEWER LINE	SEWER LINE
STONE WALL	STONE WALL
FENCE	FENCE
EXIST. GUARD RAIL	GUARDRAIL
HYD	HYDRANT
WATER GATE	WATER GATE
GAS GATE	GAS GATE
GAS METER	GAS METER
ELECTRICAL METER	ELECTRICAL METER
UTILITY POLE	UTILITY POLE
GUY WIRE	GUY WIRE
SEPTIC TANK	SEPTIC TANK
SEWER MANHOLE	SEWER MANHOLE
DRAIN MANHOLE	DRAIN MANHOLE
CATCH BASIN	CATCH BASIN
ROOF DRAIN	ROOF DRAIN
AIR CONDITIONER UNITS	AIR CONDITIONER UNITS
PARKING	PARKING
TRAFFIC MARKINGS	TRAFFIC MARKINGS

ENVIRONMENTAL NOTES:

- SITE IS NOT WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (A.C.E.C.).
- NO WETLAND AREAS WERE ENCOUNTERED DURING THIS FIELD SURVEY.
- SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.
- SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2021 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10).
- SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2021 "CERTIFIED VERNAL POOLS."

PLAN REFERENCES:

- 1950 PLYMOUTH COUNTY LAYOUT SECTION 3 - DECREE No. 942 - COUNTY TAKING BOOK 0 PAGE 24
- PLAN BOOK 3 PAGE 745 PLAN BOOK 7 PAGE 711
- PLAN No. 616 OF 1954 PLAN BOOK 10 PAGE 107
- PLAN No. 25 OF 1963 PLAN BOOK 12 PAGE 830
- PLAN No. 24 OF 1963 PLAN BOOK 2993 PAGE 208
- PLAN No. 711 OF 1979 PLAN BOOK 21 PAGE 110
- PLAN No. 788 OF 1988 PLAN BOOK 31 PAGE 38
- PLAN No. 128 OF 1992 PLAN BOOK 34 PAGE 1121
- PLAN No. 346 OF 2011 PLAN BOOK 56 PAGE 846
- MASSDOT PROJECT No. 600381, PLAN No. 10089
- MASSDOT PROJECT No. 604957, PLAN No. 11637



Date	Description	No.
2/3/23	UPDATED OWNERSHIP	1.

Revisions

SHANE M. BRENNER
PROFESSIONAL LAND SURVEYOR, MA REGISTRATION #45917

2/3/23

Crocker Design Group

2 SHARP STREET, UNIT B
HINGHAM, MA 02043
P: 781-919-0808

Project

**7 & 15
MATTAKESSETT STREET**
PEMBROKE, MA 02359

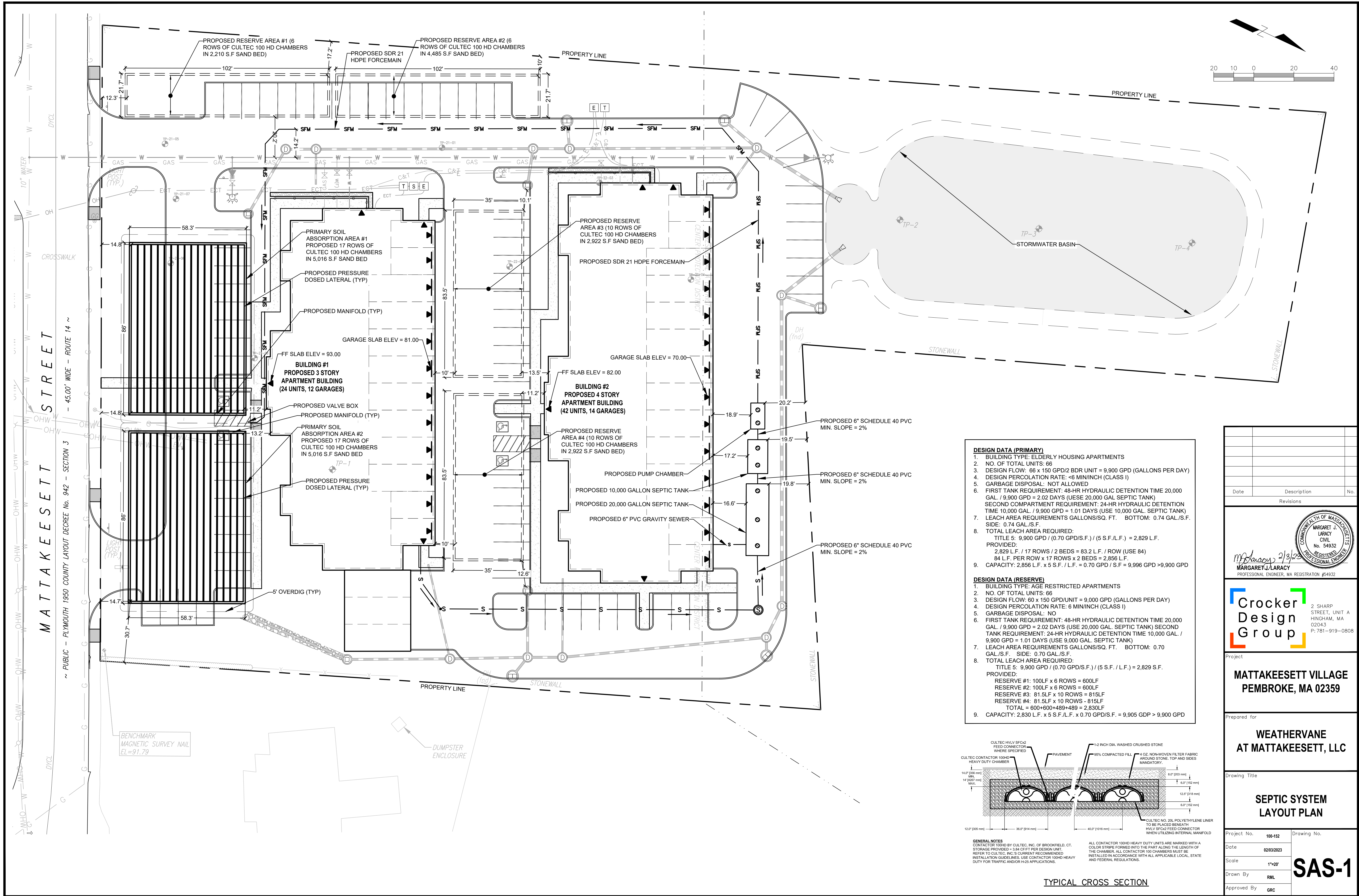
Prepared for

**1317 WASHINGTON
RE HOLDINGS, LLC**
190 OLD DERBY STREET, SUITE 311
HINGHAM, MA 02043

Drawing Title

**EXISTING
CONDITIONS
PLAN**

Project No.	100-152	Drawing No.	1 OF 1
Date	5/27/2022		
Scale	1"=30'		
Drawn By	SVP		
Approved By	SMB		



Date	Description	No.
Revisions		

M. J. Laracy 2/3/23
MARGARET J. LARACY
PROFESSIONAL ENGINEER, MA REGISTRATION #54932

COMMONWEALTH OF MASSACHUSETTS
MARGARET J. LARACY
CIVIL
No. 54932
REGISTERED PROFESSIONAL ENGINEER

Crocker Design Group

2 SHARP STREET, UNIT A
HINGHAM, MA 02043
P: 781-919-0808

Project
**MATTAKEESETT VILLAGE
PEMBROKE, MA 02359**

Prepared for
**WEATHERVANE
AT MATTAKEESETT, LLC**

Drawing Title
**SEPTIC SYSTEM
LAYOUT PLAN**

Project No.	100-152	Drawing No.	SAS-1
Date	02/03/2023		
Scale	1"=20'		
Drawn By	RML		
Approved By	GRC		